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gwinnettcounty

**MUNICIPAL-GWINNETT COUNTY
PLANNING COMMISSION**

PUBLIC HEARING AGENDA

**GWINNETT JUSTICE AND ADMINISTRATION CENTER
TUESDAY, OCTOBER 4, 2011 AT 7:00 P.M.**

AS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT OF 1992, THE GWINNETT COUNTY GOVERNMENT DOES NOT DISCRIMINATE ON THE BASIS OF DISABILITY AND WILL ASSIST CITIZENS WITH SPECIAL NEEDS GIVEN PROPER NOTICE (SEVEN WORKING DAYS). FOR INFORMATION, PLEASE CALL THE FACILITIES MANAGEMENT DIVISION AT 770.822.8015.

- A. CALL TO ORDER, INVOCATION, PLEDGE TO FLAG
- B. APPROVAL OF MINUTES (SEPTEMBER 6, 2011 MEETING)
- C. OLD BUSINESS - TABLED CASES FROM PREVIOUS MEETINGS
- D. NEW BUSINESS

- I. CASE NUMBER :**RZC2011-00022**
- APPLICANT :INDUSTRIAL DEVELOPMENTS INTERNATIONAL, INC.
- CONTACT :HAROLD BUCKLEY, JR. OR GAYLE LEE
- PHONE NUMBER :404.881.7860 OR 404.881.7745
- ZONING :O-1 TO M-1
- LOCATION :1300 BLOCK OF SATELLITE BOULEVARD
- MAP NUMBER :R7124 006
- ACREAGE :32.62 ACRES
- PROPOSED DEVELOPMENT :OFFICE/WAREHOUSE
- SQUARE FEET :559,407 SQUARE FEET
- COMMISSION DISTRICT :(1) LASSETER
- DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

2. CASE NUMBER :**CIC2011-00018**
APPLICANT :BEAZER HOMES, CORP.
CONTACT :JIM BOWERSOX
PHONE NUMBER :404.759.7038
ZONING :R-60
LOCATION :3600 BLOCK OF SUWANEE CREEK ROAD
:1400 BLOCK OF BUFORD HIGHWAY
:3800 BLOCK OF IDLEWILD PLACE
MAP NUMBER :R7197 181 & R7197 002
ACREAGE :14.62 ACRES
PROPOSED DEVELOPMENT :AMEND BUILDING MATERIAL REQUIREMENTS
AND REDUCE 30-FOOT CONSTRUCTION BUFFER
UNITS :51 UNITS
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
3. CASE NUMBER :**CIC2011-00019**
APPLICANT :JONATHAN P. DUGAN
CONTACT :JONATHAN P. DUGAN
PHONE NUMBER :770.962.5678
ZONING :C-2
LOCATION :600 BLOCK OF AIRPORT ROAD
MAP NUMBER :R5208 028
ACREAGE :1.10 ACRES
PROPOSED DEVELOPMENT :AMEND USE RESTRICTIONS, BUILDING
ARCHITECTURAL TREATMENTS, SIGN HEIGHT
AND FENCING
SQUARE FEET :11,880 SQUARE FEET
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
4. CASE NUMBER :**SUP2011-00057**
APPLICANT :JONATHAN P. DUGAN
CONTACT :JONATHAN P. DUGAN
PHONE NUMBER :770.962.5678
ZONING :C-2
LOCATION :600 BLOCK OF AIRPORT ROAD
MAP NUMBER :R5208 028
ACREAGE :1.10 ACRES
PROPOSED DEVELOPMENT :OUTDOOR SALES AND STORAGE; PAWN SHOP;
TITLE LOAN FACILITY; CHECK CASHING FACILITY
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

5. CASE NUMBER :**CIC2011-00020**
APPLICANT :CHRIS MOON
CONTACT :ERIC JOHANSEN
PHONE NUMBER :678.571.4843
ZONING :C-2
LOCATION :500 BLOCK OF ATHENS HIGHWAY
MAP NUMBER :R5131 202
ACREAGE :1.96 ACRES
PROPOSED DEVELOPMENT :AMEND USE RESTRICTIONS
SQUARE FEET :16,000 SQUARE FEET
COMMISSION DISTRICT :(3) BEAUDREAU
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
6. CASE NUMBER :**SUP2011-00059**
APPLICANT :CHRIS MOON
CONTACT :ERIC JOHANSEN
PHONE NUMBER :678.571.4843
ZONING :C-2
LOCATION :500 BLOCK OF ATHENS HIGHWAY
MAP NUMBER :R5131 202
ACREAGE :1.96 ACRES
PROPOSED DEVELOPMENT :LAWN & GARDEN EQUIPMENT SALES & SERVICE
COMMISSION DISTRICT :(3) BEAUDREAU
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
7. CASE NUMBER :**SUP2011-00055**
APPLICANT :CHARLES M. GRENNOR
CONTACT :CHARLES M. GRENNOR
PHONE NUMBER :770.337.5329
ZONING :R-75
LOCATION :0-100 BLOCK OF LEVEL CREEK ROAD
:4800 BLOCK OF WEST PRICE ROAD
MAP NUMBER :R7288 007
ACREAGE :3.29 ACRES
PROPOSED DEVELOPMENT :FAMILY PERSONAL CARE HOME
SQUARE FEET :4,300 SQUARE FEET
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

8. CASE NUMBER :**SUP2011-00056**
APPLICANT :ARIRANG TAXI & LIMO, LLC
CONTACT :KUN C. PAK
PHONE NUMBER :770.582.0995
ZONING :C-2
LOCATION :3700 BLOCK OF VENTURE DRIVE
MAP NUMBER :R6208 103
ACREAGE :7.97 ACRES
PROPOSED DEVELOPMENT :TAXI SERVICE
SQUARE FEET :125 SQUARE FEET
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

9. CASE NUMBER :**SUP2011-00058**
APPLICANT :ANTHONY KIPPES
CONTACT :ANTHONY KIPPES
PHONE NUMBER :228.273.9099
ZONING :C-2
LOCATION :2700 BLOCK OF LAUREL DRIVE
MAP NUMBER :R7146 023
ACREAGE :2.27 ACRES
PROPOSED DEVELOPMENT :TRUCK RENTAL (RENEWAL)
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

10. CASE NUMBER :**SUP2011-00060**
APPLICANT :THE REDEEMED CHRISTIAN CHURCH OF GOD
CHRIST CENTERED INTERNATIONAL CHAPEL, INC.
CONTACT :STACEY GALOS
PHONE NUMBER :678.427.7967
ZONING :M-1
LOCATION :1100 BLOCK OF HURRICANE SHOALS ROAD
:1200 BLOCK OF CEDARS ROAD
MAP NUMBER :R5209 032
ACREAGE :3.47 ACRES
PROPOSED DEVELOPMENT :CHURCH
SQUARE FEET :2,867 SQUARE FEET
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

11. CASE NUMBER :**SUP2011-00061**
APPLICANT :HONDUMEX FAST CASH TITLE LOANS, LLC
CONTACT :LIZETH GARCIA
PHONE NUMBER :678.261.7972
ZONING :C-2
LOCATION :4700 BLOCK OF BRITT ROAD
:4500-4600 BLOCKS OF JIMMY CARTER BLVD
MAP NUMBER :R6164 261
ACREAGE :9.20 ACRES
PROPOSED DEVELOPMENT :TITLE LOAN FACILITY AND
PRECIOUS METALS DEALER
SQUARE FEET :1,194 SQUARE FEET
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

12. CASE NUMBER :**BRD2011-00002 - WITHDRAWN**

D. AUDIENCE COMMENTS

E. COMMITTEE REPORTS

F. COMMENTS BY STAFF AND PLANNING COMMISSION

G. ADJOURNMENT

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :RZC2011-00022
ZONING CHANGE :O-1 TO M-1
LOCATION :1300 BLOCK OF SATELLITE BOULEVARD
MAP NUMBER :R7124 006
ACREAGE :32.62 ACRES
PROPOSED DEVELOPMENT :OFFICE/WAREHOUSE
SQUARE FEET :559,407 SQUARE FEET
COMMISSION DISTRICT :(1) LASSETER

FUTURE DEVELOPMENT MAP: **PREFERRED OFFICE**

APPLICANT: INDUSTRIAL DEVELOPMENTS INTERNATIONAL, INC.
1100 PEACHTREE STREET, SUITE 1100
ATLANTA, GA 30309

CONTACT: HAROLD BUCKLEY, JR. PHONE: 404.881.7860
GAYLE LEE PHONE: 404.881.7745

OWNER: LAND INVESTMENT PARTNERS, LLC
2303 CUMBERLAND PARKWAY, S.E.
ATLANTA, GA 30339

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests the rezoning of a 32.62-acre tract from O-1 (Office-Institutional District) to M-1 (Light Industry District) for the development of an office/warehouse building. The subject property is located on Satellite Boulevard just north of its intersection with Old Peachtree Road, and extends to the western side of Interstate 85. The property is part of the larger Huntcrest mixed-use development, comprised of commercial, office and residential uses. It is also noted that the property is located in the Civic Center Overlay District, and will be subject to those requirements.

The submitted site plan indicates the development would consist of a 559,407 square foot building, along with associated parking, driveways and stormwater detention. The applicant's letter of intent states that the building would include 58,000 square feet of office and professional training space and 501,407 square feet of warehouse area. A total of 527 spaces are indicated on the site plan, meeting parking requirements. Access to the building would be provided via three direct entrances along Satellite Boulevard.

ZONING HISTORY:

In 1970, the subject property was zoned R-100. A portion of the property was rezoned to RA-200 per an areawide rezoning in 1975. In 1984, the subject property was rezoned to M-1, pursuant to RZ-25-84 and RZ-20-83. The property was rezoned to O-1, pursuant to RZ-98-002, along with special use permits for a hotel and a building height increase, pursuant to SUP-98-001 and SUP-98-002, as part of the Huntcrest development.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property contains potential wetlands as depicted on the U.S. Department of Interior, Fish, and Wildlife Service – National Wetlands Inventory Map or on the Federal Emergency Management Agency – Flood Insurance Rate Map. The applicant/developer shall obtain all required approvals from Gwinnett County Department of Planning and Development and the U.S. Army Corps of Engineers.

DEVELOPMENT REVIEW SECTION COMMENTS:

The Buffer, Landscape and Tree Ordinance requires a ten-foot wide landscape strip adjacent to all street rights-of-way for non-residential developments.

The Buffer, Landscape and Tree Ordinance requires submittal and approval of a Tree Preservation and Replacement Plan prepared by a professional landscape architect prior to securing a Land Disturbance or Development permit.

Section 606.3 of the 1985 Zoning Resolution requires screening of dumpsters and loading/unloading facilities.

Parking lots and interior driveways shall be designed in accordance with Section 1001 of the 1985 Zoning Resolution.

Parking spaces shall be provided at a ratio of:

One space per 1,500 to 2,500 square feet for warehouse (including office)

Section 6.3.3 and/or 6.3.4 of the Development Regulations requires a 200-foot deceleration lane with a 50-foot taper at each project entrance that proposes access to a Minor Collection Street or Major Thoroughfare. Right-of-way dedication to accommodate the deceleration lane and an 11-foot shoulder is also required. Reduction in length of a deceleration lane requires approval of a Modification by the Development Division; elimination of a deceleration lane requires approval of a Waiver by the Board of Commissioners.

Section 6.13 of the Development Regulations requires construction of five-foot wide sidewalks along all exterior roadways adjoining the project, and four-foot wide sidewalks adjacent to both sides of all interior public streets (excluding cul-de-sac turnarounds).

A 50-foot building setback is required from the right-of-way of Satellite Boulevard.

The developer must submit detailed site development plans, including a landscape and tree preservation/replacement plan, for review and approval of the Development Division prior to any construction.

The developer must obtain a Land Disturbance or Development Permit from the Development Division prior to any construction.

Section 8.2.1 of the Development Regulations requires submittal of a Storm Water Management Report for the project prior to obtaining a Land Disturbance or Development Permit.

Section 1.5.1.c of the Floodplain Management Ordinance requires that the lowest floor, including the basement, of all non-residential building be constructed at an elevation of at least one foot above the 100-year floodplain.

This project lies within an Activity Center/Corridor Overlay District, and is subject to all requirements set forth in Section 1315 of the Gwinnett County 1985 Zoning Resolution.

STORMWATER REVIEW SECTION COMMENTS:

Stormwater Management does not object to the applicant's request as noted on the application. Stormwater best management practices must be addressed upon development permit issuance, if applicable.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Satellite Boulevard is a Major Arterial and 50 feet of right-of-way is required from the centerline, with 60 feet required within 500 feet of a major intersection.

Standard deceleration lanes with appropriate tapers and adequate right-of-way will be required.

Prior to the issuance of a Development Permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 16-inch water main located on the northern right-of-way of Satellite Boulevard.

Due to the uncontrollable variables, the Department of Water Resources makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. Demands imposed by the proposed development may require reinforcements or extensions of existing water mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department.

The available utility records show that the subject development is currently in the vicinity of a 16-inch sanitary sewer main located on the property.

The subject development is located within the North Chattahoochee service area. There are currently no connection restrictions within this service area. Treatment capacity within this area is presently available on a first come - first serve basis.

Demands imposed by the proposed development may require reinforcements or extensions of existing sewer mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department. Developer shall provide easements for future sewer connection to all locations designated by DWR during plan review.

As-built information for this department is dependent upon outside entities to provide record drawings for the utilities. Therefore this department does not guarantee the accuracy of the information provided.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances. Proceeding design, construction, inspection, and final acceptance of the required utilities, service to these utilities would then become available under the applicable utility permit rate schedules.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit civil site drawings to Building Plan Review for review and approval.
2. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for each building for review and approval by Building Plan Review.
3. Each building shall comply with the height and area limitations of Table 503 and the fire resistive and horizontal separation requirements of Table 601 and 602 of the 2006 International Building Code with Georgia state amendments based on occupancy group classification, type of construction, and location of each building from property lines and

other buildings.

4. Architectural design of the proposed building (s) shall incorporate the requirements of the Activity Center/Corridor Overlay District, Section 1315 of the 1985 Zoning Resolution of Gwinnett County.
5. Upon completion of plan review approvals, the applicant shall obtain a building permit for each building and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6040 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

Fire Plan Review has no objections to the above rezoning requests, under the following conditions:

1. Applicant submits civil drawings to Fire Plan Review for review and approval.
2. Applicant submits architectural drawings to Fire Plan Review for review and approval.
3. Upon completion of plan review approvals, applicant successfully achieves a satisfactory Fire field inspection, for issuance of a Certificate of Occupancy - Business Operation.

For assistance, you may contact this office at (678) 518-6000, Monday through Friday, from the hours of 8:00 a.m. to 5:00 p.m.

DEPARTMENT ANALYSIS:

The subject property is a 32.62-acre tract located on the east side of Satellite Boulevard, north of its intersection with Old Peachtree Road. The site is vacant and has been cleared for development.

The 2030 Unified Plan Future Development Map indicates that the property lies within the Preferred Office Character Area. The proposed office and professional training activities within the development would be consistent with the recommendations for Preferred Office areas, and although not strictly consistent with this recommendation, the proposed warehouse activities would be compatible with similar development in the neighboring Shawnee Ridge and Northbrook business parks.

The subject property is surrounded by various uses including office, warehouse and residential uses along Satellite Boulevard, with commercial development at the intersection of Old Peachtree Road. Industrial developments including the Shawnee Ridge and Northbrook business parks are located north and east of the subject property. West of the property across Satellite Boulevard is The Gates office condominiums and adjacent to the north is the Noble Village senior residence development. A multifamily residential development is planned for the

property located adjacent to the south. With appropriate conditions, including buffers/landscaping and signage controls, the proposed rezoning could be compatible with the surrounding area and consistent with similarly intense land uses along the Interstate 85 corridor.

In conclusion, the requested M-I zoning with proper conditions could be consistent with nearby office/warehouse development, and is generally consistent with the recommendations of the Unified Plan. The site is located adjacent to Interstate 85, and is separated from established single-family residential areas, further suggesting that the rezoning could be suitable. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval as M-1 subject to the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Office, office/warehouse/distribution, light manufacturing and accessory uses.
 - B. Abide by all requirements of Section 1315 (Activity Center/Corridor Overlay District). This condition shall not preclude a variance application.
 - C. Buildings shall be finished with architectural treatments of glass and/or brick, stacked stone, or textured architectural precast concrete or tilt-wall panels.
 - D. Architectural renderings, screening, signage and landscape plans shall be submitted for review and approval of the Director of Planning and Development prior to issuance of development and building permits.
 - E. Any outdoor storage of equipment or materials shall be screened and located to the rear of the building.

2. To satisfy the following site development considerations:
 - A. Provide a 25-foot wide planted buffer adjacent to the north and south property lines.
 - B. Provide a 10-foot wide landscaped strip adjacent to Satellite Boulevard.
 - C. Provide a 25-foot landscaped strip adjacent to Interstate 85.
 - D. Inter-parcel access shall not be required to adjacent properties.
 - E. Dumpsters shall be screened by a 100% opaque masonry wall with an opaque metal gate enclosure. Dumpster pickup shall be between the hours of 7:00 a.m. and 7:00 p.m.
 - F. Outdoor lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to reflect into adjacent properties.
 - G. Outdoor loudspeakers shall be prohibited.
 - H. Ground signs shall be limited to monument type signs with a minimum two-foot high brick or stacked stone base matching the building(s), not to exceed 10 feet in height. Ground signs shall be prohibited along the Interstate 85 frontage.
 - I. Billboards or oversized signs shall be prohibited.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The subject property is adjacent to the I-85 corridor which contains numerous office-warehouse uses. With the recommended conditions designed to afford protection to the surrounding area, the proposed rezoning and use could be suitable at this location.

ADVERSE IMPACTS

With the recommended conditions, potential impacts could be minimized on adjacent or nearby properties.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

An increase in traffic, utility demand, and storm water run-off would be anticipated from development of the property as proposed.

CONFORMITY WITH POLICIES

The proposed office and professional training activities within the development would be consistent with the recommendations for Preferred Office areas, and the proposed warehouse activities would be compatible with similar development in the neighboring Shawnee Ridge and Northbrook business parks.

CONDITIONS AFFECTING ZONING

The intensity of uses in the surrounding area, including office/warehouse, commercial and institutional developments along the Interstate corridor gives supporting grounds for approval of the request.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

SEE ATTACHED LETTER OF INTENT

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:



ALSTON & BIRD LLP

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1201 West Peachtree Street
Atlanta, GA 30309-3424

404-881-7000
Fax: 404-881-7777
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T. Michael Tennant
Harold Buckley, Jr.

Direct Dial: 404-881-7860
Direct Dial: 404-881-7860

E-mail: mike.tennant@alston.com
E-mail: harold.buckley@alston.com

August 3, 2011

VIA HAND DELIVERY

Mr. Jeff West
Gwinnett County Dept. of Planning and Dev.
446 West Crogan Street
Lawrenceville, GA 30045

Re: Letter of Intent for Application by IDI, Inc. to Rezone a 32.62-Acre Property Located at 1340 Satellite Boulevard (Tax Parcel No. R7124006) (the "Subject Property") From O-I to M-1 to Facilitate the Development of a Class-A Office/Warehouse Facility.

Dear Jeff:

We represent IDI, a development firm with considerable expertise in developing Class-A Office/Warehouse facilities for its clients throughout North America, and specifically Gwinnett County. IDI has developed in excess of seven (7) million square feet of Class-A facilities in Gwinnett County – namely the 587-acre Shawnee Ridge Business Park on Satellite Boulevard and 250 acre Hamilton Mill Business Center on Hamilton Mill Road. IDI is marketing the Subject Property to a Fortune Global 500 company that currently operates a office/warehouse facility within Gwinnett County (the "Company"), but due to expanded business operations, is considering a relocation and expansion of their operations. The Company is currently considering Build-to-Suits in Gwinnett County, as currently there are no available buildings in Gwinnett County that meet the Company's specific requirements. There are available, existing buildings which meet the Company's requirements in neighboring counties which are also being considered. To accommodate the Company's facility requirements, IDI would develop the Subject Property with a facility encompassing approximately 500,000 square feet of warehouse space and 58,000 square feet of office and professional training space.

The Company employs approximately 200 people at its current Gwinnett County office/warehouse facilities with a total payroll of approximately \$23 million, which translates to an average payroll of approximately \$115,000 per employee. The Company expects its employment numbers to grow to 260 employees and a total payroll of \$30 million by the year 2012 – the planned year of occupancy for the Subject Property. In addition, the company anticipates increasing its employment to over 400 employees over the next 10 years with



newly created jobs paying an average annual salary of approximately \$125,000. In addition, the Company brings approximately 1,200 people to Gwinnett County every year for 3-day on-site training seminars, resulting in a substantial economic benefit for Gwinnett County's hospitality industry. The Company expects to increase the number of seminar attendees by approximately 5% annually once it occupies its new facility.

IDI in conjunction with the Gwinnett Chamber of Commerce and Alfie Meek, previous Director of Economic Analysis Division of the Gwinnett County Board of Commissioners has conducted a LOCI (Local Fiscal Impact Analysis) study based on employment data and other pertinent data supplied by Project Vulcan. The outcome of the LOCI study demonstrates the proposed project has fiscal benefits with a net present value well in excess of \$5 Million. Further, the LOCI study indicated that by the time the proposed project is completed in 2012, it will result in excess of \$10 Million/year in new retail sales, and generate new annual household income of \$18 Million/year, of which 60% will be Gwinnett households.

Office/warehouse facilities require M-1 (Light Industrial) zoning. Therefore, IDI respectfully requests a rezoning of the Subject Property from O-I to M-1, which includes office/warehouse facilities as a permitted land use. Our request satisfies all the rezoning approval criteria set forth in Section 1702 of the Gwinnett County Zoning Ordinance as follows:

1. **The proposed office/warehouse facility is a use that is suitable in view of the use and development of adjacent and nearby properties;**

The Subject Property fronts approximately 1,220 feet on the east side of Satellite Boulevard and abuts the I-85 right-of way along the full length of its rear boundary. The site has been cleared but remains undeveloped.

The area surrounding the Subject Property is heavily developed with commercial (Home Depot retail store and multiple restaurant and retail venues) and office/warehouse facilities. The Subject Property is located within the northwestern portion of Huntcrest, a +/- 283-acre multi-use development. The Huntcrest Design Control Committee has approved the proposed Class A office/warehouse use and the required master plan change to reflect this approval.

The property across Satellite Boulevard from the Subject Property is developed with the Gates, a small office-condo development. The properties developed to the north of the Subject Property are a small medical office and Noble Village at Sugarloaf, an active adult lifestyle center. IDI's Shawnee Ridge, a 587-acre Class-A office/warehouse development, is located a short walking distance north of Noble Village. I-85 runs along the rear of the Subject Property. A significant retail activity node is located a short distance to the south of the Subject Property at the intersection of Old Peachtree Road and Satellite Boulevard, including the Home Depot store. This intersection is located within a significant node of commercial activity.



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For these reasons, IDI's proposed office/warehouse facility is consistent with the prevailing development patterns in the surrounding area.

2. **The proposed office/warehouse facility would positively affect the existing use or usability of nearby properties;**

The Company has executed a letter of intent authorizing IDI to move forward with a Class A office/warehouse facility on the Subject Property, subject to Gwinnett County's approval of IDI's rezoning application. The proposed office/warehouse facility will provide 260 high-wage jobs by the year 2012. In addition, its professional training component will draw more than 1,200 people to the Subject Property every year, providing a consistent income stream to the hotels and restaurants in the nearby area. Gwinnett County will potentially lose these jobs, and the benefit of the professional training component, if the Company is prevented from selecting the Subject Property as the site of its new office/warehouse facility.

The intersection of Satellite Boulevard and Old Peachtree Road, which is located a short distance south of the Subject Property, is the focal point for a significant retail activity node. Additional retailers and other commercial business are located to the north on Lawrenceville-Suwanee Road. These retailers and commercial businesses, as well as hoteliers in the surrounding area, should experience a substantial economic benefit from their proximity to the office/warehouse facility's employees and invitees. Conversely, the denial of IDI's rezoning request would potentially amplify the already severe impact of the current economic downturn on Gwinnett County's retail, commercial, and hospitality industries.

3. **The Subject Property does not have a reasonable economic use as presently zoned;**

The Subject Property is part of a 60-acre parcel that Gwinnett County rezoned more than 12 years ago, on March 24, 1998 from M-1 to O-I. While limited low density office development took place in the surrounding area during economic boom periods after that rezoning, much of the property within the rezoned area remains vacant. Furthermore, given current market conditions with office vacancy rates exceeding 20% (and long-term office market projections) it is not reasonable to expect the economic benefits of developing new offices within the area to justify the costs of such development in the near-term. Therefore, the Subject Property does not have a reasonable economic use for the foreseeable future as presently zoned.

4. **The proposed office/warehouse facility will maximize the efficient use of existing local infrastructure;**

I-85, Lawrenceville-Suwanee Road, Old Peachtree Road, Satellite Boulevard, and Northbrook Parkway form a well designed collector-distribution system. The county created this system specifically to accommodate the type of vehicular circulation associated with the proposed office/warehouse facility.



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One of the Subject Property's strongest assets is its close proximity to the I-85 access ramps on Old Peachtree Road. To reach the Subject Property, virtually all vehicles will follow a local route from I-85 to Old Peachtree Road (Exit #109) and, from there, a short distance north on Satellite Boulevard to the Subject Property. This route is well-designed and already accommodates commercial and light industrial vehicular circulation, which is consistent with the type of vehicular activity associated with the proposed office/warehouse facility. In addition, the interchange at Exit 109, with its upgraded overpass and design, has significant capacity available to accommodate the proposed Company's use, and would also help alleviate some of the over capacity at the Company's current exit (Exit #110 Lawrenceville-Suwanee Road). As the county intended, this route avoids sending commercial and light industrial vehicles through residential areas.

A secondary route to the Subject Property is available from Lawrenceville-Suwanee Road, which also has I-85 access. From I-85, vehicles would travel west on Lawrenceville-Suwanee Road and south on Satellite Boulevard to reach the Subject Property. As the county intended, this secondary route also avoids sending commercial and light industrial vehicles through residential areas.

Furthermore, because the Satellite Boulevard corridor is already developed with high density retail, commercial and light industrial uses, the water and sewer infrastructure required for the proposed office/warehouse facility is already in place. Therefore, developing the office/warehouse facility on the Subject Property represents an opportunity to take advantage of existing commercial and industrial scale infrastructure.

For these reasons, locating the proposed office/warehouse facility on the Subject Property will maximize the efficient use of existing local infrastructure as the county intended.

5. **The proposed rezoning conforms with the policy and intent of the land use plan; and**

Gwinnett County's comprehensive plan (the 2030 Unified Plan) designates the Subject Property for "preferred office" use. The county's land use policies place a high priority on office development because it provides high-wage jobs, substantial tax benefits, and sustainable economic development. Therefore, to accomplish this, the Office Policy (set forth in the county's land use plan for preferred office) notes the following action as a key implementation step:

Protect parcels designated for office use rather than rezoning these parcels to uses that do not support sustained economic health and higher wage jobs in the County

As stated, an increased number of high-wage jobs is an enumerated measure of effectiveness and monitoring benchmark for the Office Policy.



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IDI's proposed office/warehouse facility is consistent with the Office Policy because:

- I. The proposed office/warehouse facility would generate the kind of economic impact the Office Policy was adopted to encourage.

First, the Company currently provides 200 jobs at an average payroll of \$115,000 per job, which will increase to 260 jobs at the same payroll average. Therefore, the quality of wages provided by the proposed office/warehouse facility would be commensurate with, or superior to, those of jobs in office-only environments. The approval of IDI's rezoning request would save 200 existing high-wage jobs and generate 60 new high-wage jobs for Gwinnett County over the course of the next two years. Over the next ten years, the company expects to have over 400 employees, with an average wage rate of approximately \$120,000/job.

In addition, the Company currently draws 1,200 people to Gwinnett County for 3-day professional training seminars, which represents a substantial economic benefit for Gwinnett County's hospitality industry. The number of seminar attendees will increase annually by 5% once the Company occupies the proposed office/warehouse facility. Therefore, the economic impact of the office/warehouse facility's 260 permanent high-wage jobs is substantially multiplied by the facility's professional training component.

For these reasons, the proposed office/warehouse facility not only generates the economic activity intended by the Office Policy, denial of IDI's rezoning request would potentially impose a substantial economic detriment on Gwinnett County businesses and residents.

- II. The office/warehouse center represents the type of targeted development the office land use policy was intended to facilitate.

As explained above, the Subject Property is located within Huntcrest, a +/- 283-acre mixed-use development. Shawnee Ridge, a large light industrial development that IDI developed, is located just north of Huntcrest on Satellite Boulevard. The intersection of Old Peachtree Road and Satellite Boulevard, which is a short distance south of the Subject Property, is the focus of a significant amount of retail activity. Consequently, the portion of Satellite Boulevard running through these three activity centers forms a definable high density commercial and industrial corridor. Therefore, locating the proposed office/warehouse facility within this high density commercial and industrial corridor would represent targeted growth and development.

The proposed office/warehouse facility would generate a substantial amount of property and ad valorem tax revenue for Gwinnett County, in addition to preserving and generating high-wage jobs. Therefore, approving IDI's rezoning request would be consistent with the County's stated policies of strengthening the tax base with targeted growth and focusing development in specific areas.



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6. **There are conditions affecting the use and development of the Subject Property that support the approval of the Application.**

The Subject Property is currently zoned and master planned to accommodate four multi-story office buildings and 2,250 parking spaces. By contrast, IDI's proposed office/warehouse development would generate a lower volume of overall vehicular traffic and impose a much lower demand on local water, sewer and public safety infrastructure. Furthermore, IDI's proposed development would provide: (1) a substantial number of high-wage jobs, and (2) a significant amount of demand for nearby hospitality services.

In addition, a high percentage of the Company's current employees are Gwinnett County residents, who enjoy the proximity of their homes to the Company's current office/warehouse facility. These residents would lose this geographic benefit if the Company were to move its facility to another county.

Finally, IDI's proposed office/warehouse facility would generate a substantial amount of property tax revenue and ad valorem tax revenue for Gwinnett County. The facility would provide Gwinnett County with a direct ad valorem tax benefit (through payroll taxes on newly created jobs) and an indirect ad valorem tax benefit (through increased economic activity the facility will foster for nearby businesses).

Therefore, approving IDI's rezoning request would:

1. Reduce the Subject Property's potential impact on local infrastructure while preserving high-quality jobs,
2. Preserve the convenience of nearby high-quality jobs for a significant number of Gwinnett County residents, and
3. Preserve and generate substantial tax revenues for Gwinnett County.

For the foregoing reasons, IDI respectfully requests the rezoning of the Subject Property from O-I to M-1 to facilitate the development of the proposed office/warehouse facility. Please let me know if I may provide you with any additional information or clarification.

Sincerely,
ALSTON & BIRD LLP

*J. Michael Tennant w/express permission
by Cindy Carter*

T. Michael Tennant

Harold Buckley, Jr.

Harold Buckley, Jr., AICP
Attorneys for IDI, Inc.

Attachments

cc: Ms. Lisa Ward, IDI, Inc.
Mr. Jay Mitchell, IDI, Inc.

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RZC2011-00022

CASE NUMBER RZ-98-002

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

<u>Present</u>	<u>VOTE</u>
Wayne Hill, Chairman	<u>AYE</u>
Tommy Hughes, District 1	<u>AYE</u>
Patti Muise, District 2	<u>AYE</u>
Judy Waters, District 3	<u>AYE</u>
Kevin Kenerly, District 4	<u>AYE</u>

On motion of COMM. HUGHES, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from

M-1 to O-I

by M.D. HODGES ENTERPRISES, INC. for the proposed use of

OFFICE PARK/HOTEL (REDUCTION IN BUFFERS) on a tract of land described by the attached legal description, which

CASE NUMBER RZ-98-002

is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on MARCH 24, 1998, and objections were filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners this the 24TH day of MARCH, 1998, that the aforesaid application to amend the Official Zoning Map from M-1 to O-I is hereby APPROVED as O-I with a Special Use Permit for a hotel and a Special Use Permit for building height increases up to 10-stories subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Office and accessory uses which may include one hotel as a Special Use.
 - B. The tract shall not exceed 900,000 square feet of gross floor area or a density of 15,000 square feet per acre.
 - C. Limit the height of the buildings to no more than 10 stories.
 - D. If a hotel is developed on the site, it shall be a minimum of 6 stories and a maximum of 10 stories in height and shall not contain any in-room, apartment-type ovens or dishwashers. Provided, however, that the

hotel may be less than six stories in height upon approval by the Planning Commission of the proposed type of hotel and the proposed site plan.

2. To satisfy the following site development considerations:
 - A. Provide a 25-foot wide natural buffer, undisturbed except for approved perpendicular access and utility crossings and replantings where sparsely vegetated, adjacent to residentially zoned property.
 - B. Provide a 25-foot wide natural buffer adjacent to the right-of-way of I-85. The buffer may be converted to a landscaped strip subject to submission to the Department of Planning and Development of an acceptable landscape design and enhancement plan.
 - C. Buildings shall be finished with architectural treatments of glass, brick, stone, or stucco; or architectural pre-cast concrete, or other alternate building materials which shall be subject to the review and approval of the Director of Planning and Development.
 - D. All development under consideration (RZ-98-002 through RZ-98-012 and SUP-98-001 through SUP-98-008) shall conform to a unified development design plan to be incorporated into recorded covenants governing the overall development. This plan shall govern architectural design and exterior finish materials, signage and landscaping, and shall be submitted for review and approval of the Director of Planning and Development prior to the issuance of a development permit on any part of the project.
 - E. All ground signage shall be limited to monument-type design.
 - F. Natural vegetation shall remain on the property until the issuance of a development permit.
 - G. Provide ten-foot wide landscaped strips outside the dedicated rights-of-way of all road frontages.

- H. Provide five-foot wide landscaped strips adjacent to all internal property lines.
 - I. No billboards shall be permitted.
 - J. No outdoor storage shall be allowed.
 - K. Provide interparcel access throughout the development, and as required by the Development Division.
 - L. Dumpsters shall be screened by a fence or wall.
 - M. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property.
 - N. Maintain and upgrade the existing lakes on the property as shown on the Master Plan of the Old Peachtree Road Tract West Side prepared by Hughes, Good, O'Leary & Ryan and dated October 2, 1997 (last revised January 9, 1998).
3. To abide by the following requirements, dedications, and improvements:
- A. Dedicate, at no cost to Gwinnett County or the State of Georgia, the following:
 - 1. 50-feet of right-of-way from centerline of Old Peachtree Road and Satellite Boulevard, and 60-feet from centerline within 500 feet of an intersection.
 - B. Reserve right-of-way and easements for the proposed I-85 collector-distributor system, including the interchange reconfiguration at Old Peachtree Road and I-85 as per the proposed plans on file with the Georgia Department of Transportation.
 - C. The number, location and design of all entrances/exits shall be subject to the review and approval of the Gwinnett County Department of Transportation.

- D. Contribute 100% of the cost of signalization at ~~the~~ following intersections: project entrance on Old Peachtree Road opposite Old Satellite Boulevard, Wildwood Road/Satellite Boulevard, and for project entrances along Satellite Boulevard, as required by the Gwinnett Department of Transportation. Each intersection shall be limited to an amount not ~~to~~ exceed \$60,000.
- E. Provide, at a minimum, five-foot wide sidewalks ~~per~~ specifications of the Gwinnett County Development Regulations along both sides of Satellite Boulevard and all internal roads, and along the property ~~frontage~~ of Old Peachtree Road.
- F. Provide a pedestrian and bicycle access plan, ~~covering~~ the entire project, for the review and approval ~~of~~ the Department of Planning and Development prior to ~~the~~ issuance of a development permit on the site.
- G. Design of the project shall incorporate ~~designated~~ bus/van drop-off and pick-up locations and ~~electric~~ recharging facilities for alternative-fueled ~~vehicles~~. Final design and location of these facilities ~~shall~~ be subject to review and approval of the Department of Planning and Development Department.

GWINNETT COUNTY BOARD OF COMMISSIONERS

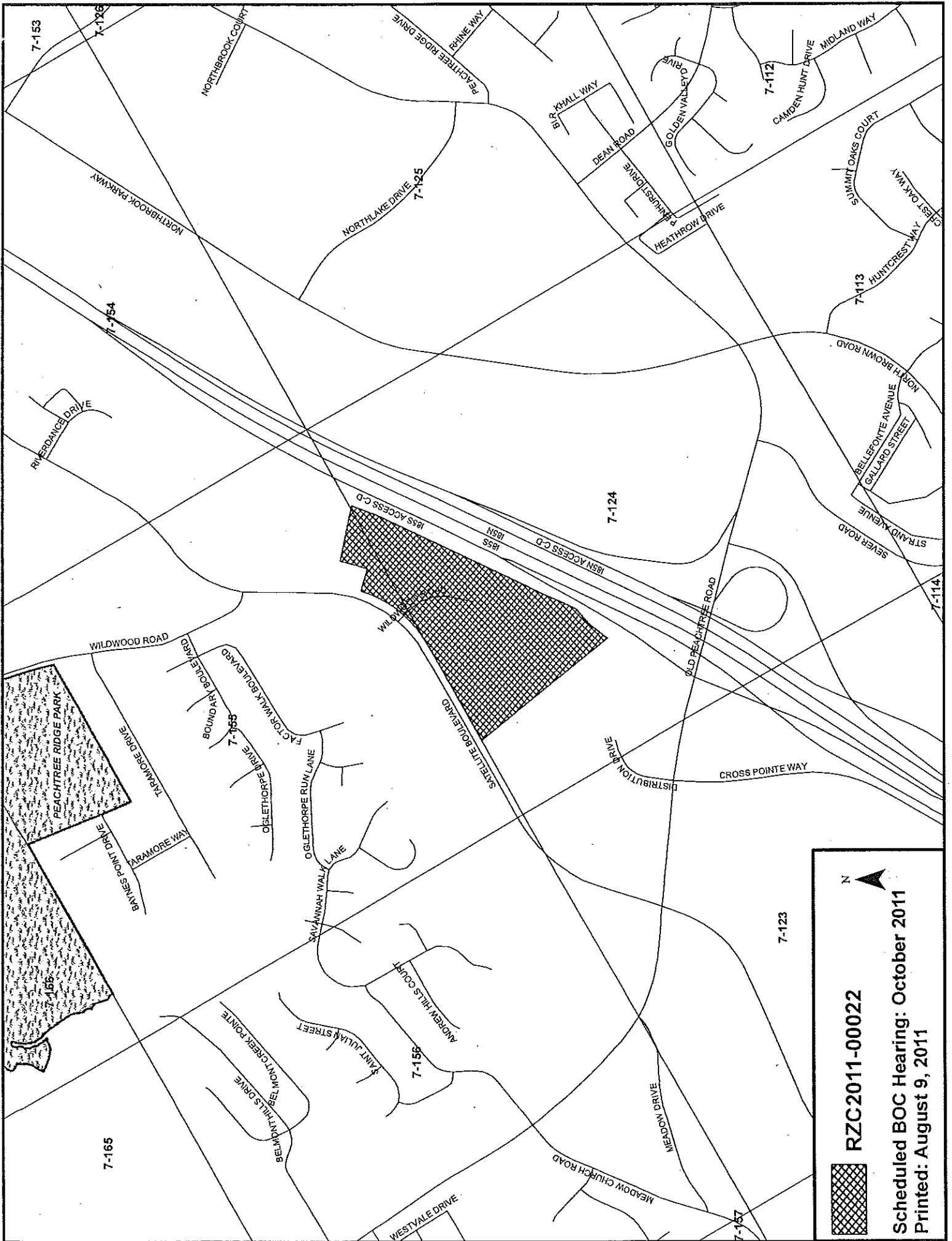
By: *F. Wayne Hill*

F. Wayne Hill, Chairman

Date Signed: *9-20-98*

ATTEST:

Brenda Maddy
Deputy Clerk



RZC2011-00022

Scheduled BOC Hearing: October 2011
Printed: August 9, 2011



NO.	REVISIONS	DATE	BY

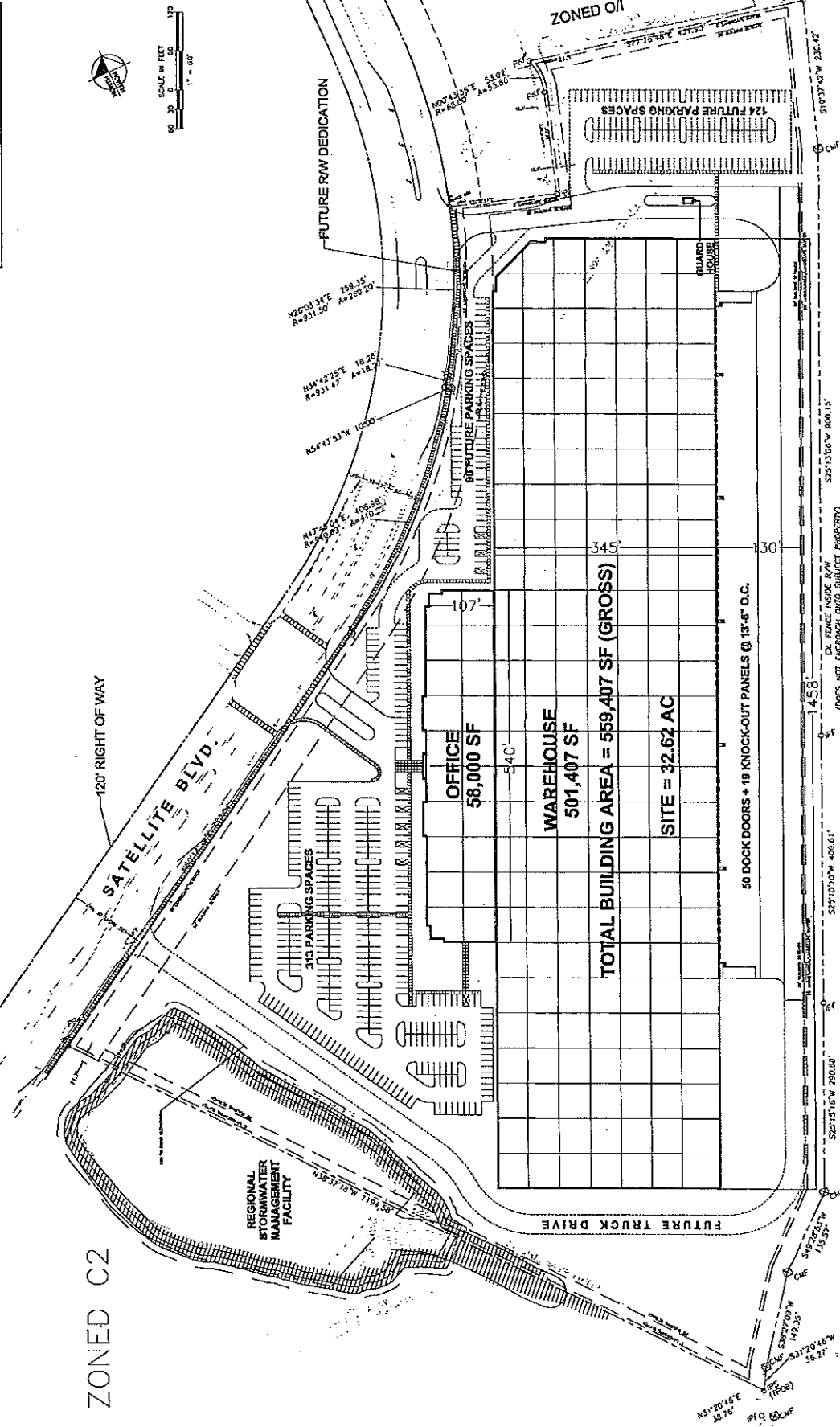
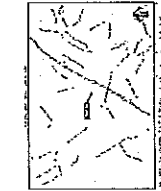
Kimley-Horn
and Associates, Inc.
301 WEST PHOENIX ST. SUITE 200, ALABAMA, CA 94501
PH: (916) 438-7373 FAX: (916) 438-7371
WWW.KIMLEY-HORN.COM CA 000279

INDUSTRIAL DEVELOPMENTS INTERNATIONAL
3100 DUNWOODY COURT, SUITE 300, HOUSTON, TX 77057
DATE: 01-23-10
DESIGNED BY: JLS
CHECKED BY: JLS
DRAWN BY: JLS
SCALE: 1" = 60'

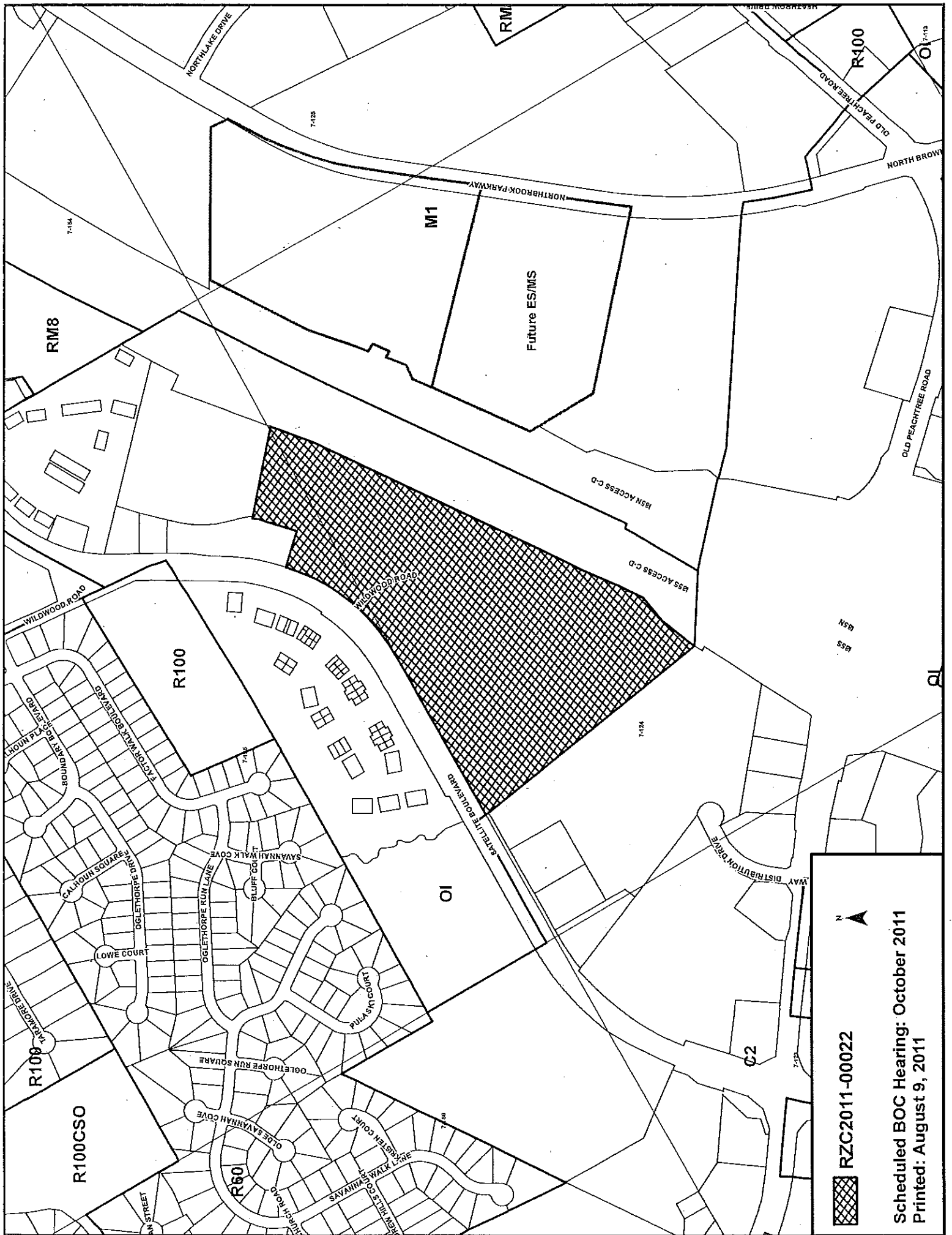
PROJECT: PROJECT WILCAN
COUNTY: GWINNETT COUNTY, GA
SHEET TITLE: REZONING SITE PLAN
PROJECT NO.: 012500000
SHEET NUMBER: 1
DATE: 01-23-10

PROJECT	PROJECT WILCAN
COUNTY	GWINNETT COUNTY, GA
SHEET TITLE	REZONING SITE PLAN
PROJECT NO.	012500000
SHEET NUMBER	1
DATE	01-23-10

- SITE PLAN REZONING NOTES:**
- SEE EXHIBIT FOR THE PROPOSED LAYOUT OF THE PROJECT AND THE PROPOSED LAYOUT OF THE EXISTING LOTS.
 - SEE EXHIBIT FOR THE PROPOSED LAYOUT OF THE PROJECT AND THE PROPOSED LAYOUT OF THE EXISTING LOTS.
 - SEE EXHIBIT FOR THE PROPOSED LAYOUT OF THE PROJECT AND THE PROPOSED LAYOUT OF THE EXISTING LOTS.
 - SEE EXHIBIT FOR THE PROPOSED LAYOUT OF THE PROJECT AND THE PROPOSED LAYOUT OF THE EXISTING LOTS.



INDUSTRIAL DEVELOPMENTS INTERNATIONAL
3100 DUNWOODY COURT, SUITE 300, HOUSTON, TX 77057
DATE: 01-23-10
DESIGNED BY: JLS
CHECKED BY: JLS
DRAWN BY: JLS
SCALE: 1" = 60'



 RZC2011-00022

Scheduled BOC Hearing: October 2011
 Printed: August 9, 2011

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
CHANGE IN CONDITIONS ANALYSIS**

CASE NUMBER :CIC2011-00018
ZONING :R-60
LOCATION :3600 BLOCK OF SUWANEE CREEK ROAD
:1400 BLOCK OF BUFORD HIGHWAY
:3800 BLOCK OF IDLEWILD PLACE
MAP NUMBER :R7197 181 & R7197 002
ACREAGE :14.62 ACRES
PROPOSED DEVELOPMENT :AMEND BUILDING MATERIAL REQUIREMENTS AND
REDUCE THE 30-FOOT CONSTRUCTION BUFFER
UNITS :51 UNITS
COMMISSION DISTRICT :(1) LASSETER

FUTURE DEVELOPMENT MAP: **CORRIDOR MIXED USE &
EXISTING / EMERGING SUBURBAN**

APPLICANT: BEAZER HOMES, CORP.
6755 SHILOH ROAD EAST, SUITE 101
ALPHARETTA, GA 30005

CONTACT: JIM BOWERSOX PHONE: 440.759.7038

OWNER: BEAZER HOMES, CORP.
6755 SHILOH ROAD EAST, SUITE 101
ALPHARETTA, GA 30005

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

CHANGE IN CONDITIONS SUMMARY:

The applicant requests a change in conditions of zoning for Chelsea Falls, a proposed 51-unit, single-family subdivision on 14.62 acres, to allow an adjustment to the required building materials and to reduce the width of the required construction buffer. The property is located at the southern corner of the Buford Highway and Suwanee Creek Road intersection.

It is noted that a change in conditions for the R-60 zoned property was processed in 2006 (CIC-06-024) to allow street access to Suwanee Creek Road. The interior streets and utilities have been installed; however, no dwellings have been constructed to date.

The current change in conditions request is to amend two conditions of CIC-06-024:

Condition I. B., which governs the building materials, and reads as follows:

1.B. Homes shall be constructed of three side's brick, stacked stone or stucco with the balance being the same or fiber-cement type-siding.

Architectural renderings indicate that the proposed dwellings would contain four sides of brick with minor treatments of siding as an accent material. Amending this condition would allow for the accent materials as proposed in the renderings (see attached).

Condition 2.A., which governs the construction buffer, and reads as follows:

2.A. Provide a 30-foot construction buffer adjacent to residentially-zoned property.

This condition affects the adjacent Idlewild and Highland Lake subdivisions. In lieu of a 30-foot wide construction buffer, the applicant proposes a 15-foot wide replanted landscaped buffer that would include a double-staggered row with a minimum of two species of evergreen trees, six feet in height at the time of planting, and planted 15 feet on-center.

In the Department's opinion, the proposed four-sided brick dwellings could be considered a higher standard than required by the current condition, and could be suitable. The current 30-foot construction buffer contains some bare areas, and includes underbrush and a mix of evergreens and deciduous trees which may not result in an adequate year-round visual buffer. Creating a more effective, full evergreen buffer and supplementing the sparse buffer areas could provide justification for a reduction in the width of the buffer strip.

In conclusion, establishing a higher building standard for the subdivision could be considered appropriate. If conditioned to provide a better visual screen, the reduction in the buffer width could also be acceptable. The proposed changes could be considered minor and, if properly conditioned, would not be expected to significantly impact the neighboring communities. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

ZONING HISTORY:

The subject properties were zoned R-75 (Single Family Residence District) and R-100 (Single Family Residence District) in 1970. Though applied to be rezoned as C-2 in 2004, it was approved as R-60 pursuant to RZC-04-011. A change in conditions for the R-60 planned subdivision was processed in 2006, pursuant to CIC-06-024 to allow access to Suwanee Creek Road.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams, and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish, and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett Department of Planning and Development.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

No comment.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 10-inch water main located on the southern right-of-way of Buford Highway, and an 8-inch water main located on the northern right-of-way of Suwanee Creek Road.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located on the property.

BUILDING CONSTRUCTION COMMENT SECTION:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Additions in **BOLD**

Deletions in STRIKETHROUGH

Approval as R-60 for single family residences and accessory uses subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Single-Family detached dwellings and accessory uses.
 - B. **Dwellings shall be constructed of brick, stacked stone and shake, with minor accents of siding, in general accordance with the elevations submitted on August 5, 2011. Accent siding materials shall be fiber-cement type siding (vinyl siding shall be prohibited). Additional/ supplemental elevations shall be of a similar standard, and shall be subject to review and approval by the Director of Planning and Development.**
 - C. The minimum heated floor area per dwelling unit shall be 2,000 square feet for single-story dwellings and 2,200 square feet for two-story dwellings.
2. To satisfy the following site development considerations:
 - A. ~~Provide a 30-foot construction buffer adjacent to residentially-zoned property.~~ **Provide a 15-foot wide construction buffer adjacent to residentially-zoned property. The buffer shall be planted with a double-staggered row of evergreen trees (8 to 10 feet tall at the time of planting, and spaced 10 feet on center). The evergreen trees shall consist of Cryptomeria, southern magnolia, and tree-form hollies in equal distribution. The final buffer design shall be subject to review and approval by the Director of Planning and Development.**
 - B. All utilities shall be placed underground.
 - C. Provide a 30-foot landscaped setback and entrance feature to include a wrought-iron style fence with brick columns (10-feet on center). Landscape and fence plan shall be subject to review and approval of the Director of Planning and Development.
 - D. Subdivision entrance shall be subject to review and approval of Gwinnett DOT.
 - E. All yards shall be sodded.
 - F. The Developer shall dedicate all right-of-way and provide \$10,000.00 for the construction of intersection improvements at Buford Highway and Suwanee Creek Road.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING EXERCISE OF ZONING

SUITABILITY OF USE

The proposed change in conditions could be suitable since it would be expected to upgrade the standard of the homes and the effectiveness of the buffer screen.

ADVERSE IMPACTS

Adjusting the architectural standards as proposed and planting the construction buffer to a higher standard would not be expected to adversely impact the surrounding area.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

No change in impacts on public facilities would be expected.

CONFORMITY WITH POLICIES

The subject request could be consider a minor adjustment to the existing zoning conditions and would not significantly differ from Board policy as established in the previous zoning action (CIC-06-024).

CONDITIONS AFFECTING ZONING

Allowing minor changes in the conditions may be appropriate due to a proposed higher architectural standard of four-side brick construction and full evergreen buffer plantings, which may also help compensate for a reduction in buffer width, lending support to the applicant's request.

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY: All properties immediately adjacent to the property are zoned residential. The adjoining properties are zoned as R-100 and R-75 Modified. Both districts and Chelsea Falls are single-family detached districts.
- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY: There will be no affect upon adjoining properties if the requested conditions are removed. The 30' TCE is only enforced through the building process.
- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED: No zoning change is requested. The condition change if approved improves the marketing and sales potential for the property.
- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS: The CIC request will not alter the currently planned number of lots and therefore will not impact the already planned impacts on any public system.
- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN: The CIC request is not contradictory to the policy and intent of the County land use plan.
- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS: If the request to remove the TCE remains is denied, significant retaining wall systems will be needed to grade house pads that have adequate depth for home construction. The 3-sides masonry requirement places a competitive disadvantage in the current distressed nature of this particular sub-market in Gwinnett County and the distressed nature of the overall housing market in general.





Gwinnett County Department of Planning and Development
Planning Division
446 West Crogan Street, Suite 250
Lawrenceville, GA 30046
Re: Change in Conditions Application – Chelsea Falls Subdivision, 242 Chelsea Falls Lane

Dear Planning Division:

Beazer Homes respectfully requests a **Change In Conditions** for the single family subdivision known as Chelsea Falls Subdivision (F.K.A Allen Estates), parcel #7-197-002. The property was previously rezoned to the single-family detached residential district of R-60 with zoning case number RZC -04-011. Previous Change-In-Condition applications (CIC-06-024) were processed with the County by the original developer. The project also was permitted for land disturbance under SDP# 2005-00065 and was substantially completed although no Final Plat has been approved for the property by Gwinnett County.

Chelsea Falls is located in the southwest corner of the intersection of Suwanee Creek Road & Buford Highway. The property is comprised of 14.615-acre, containing 51, R-60 lots. There is no designated or required open space area for the project. The resulting gross and net densities for the project are 3.49 units per acre. These homes to be built upon the lots within the development will consist of a minimum heated floor area of 2,000 square feet (SF) for one-story units and 2,200 SF for two-story units.

Beazer Homes would like to request two changes in the current zoning conditions as stated in the Rezoning Notes, Case RZC-04-011 approved December 14, 2004 & Case CIC-06-024 approved August 22, 2006. The requested changes are to remove the following conditions:

1. Item 1 - A. Which states *homes shall be constructed of three sides brick, stacked stone or stucco with the balance being the same or fiber-cement type siding.*
2. Item 2 - A. Which states *provide a 30-Foot Construction Buffer adjacent to residentially-zoned property.*

Should you have any questions, comments or a need for additional information, please don't hesitate to contact me at the phone listed below.

Sincerely,

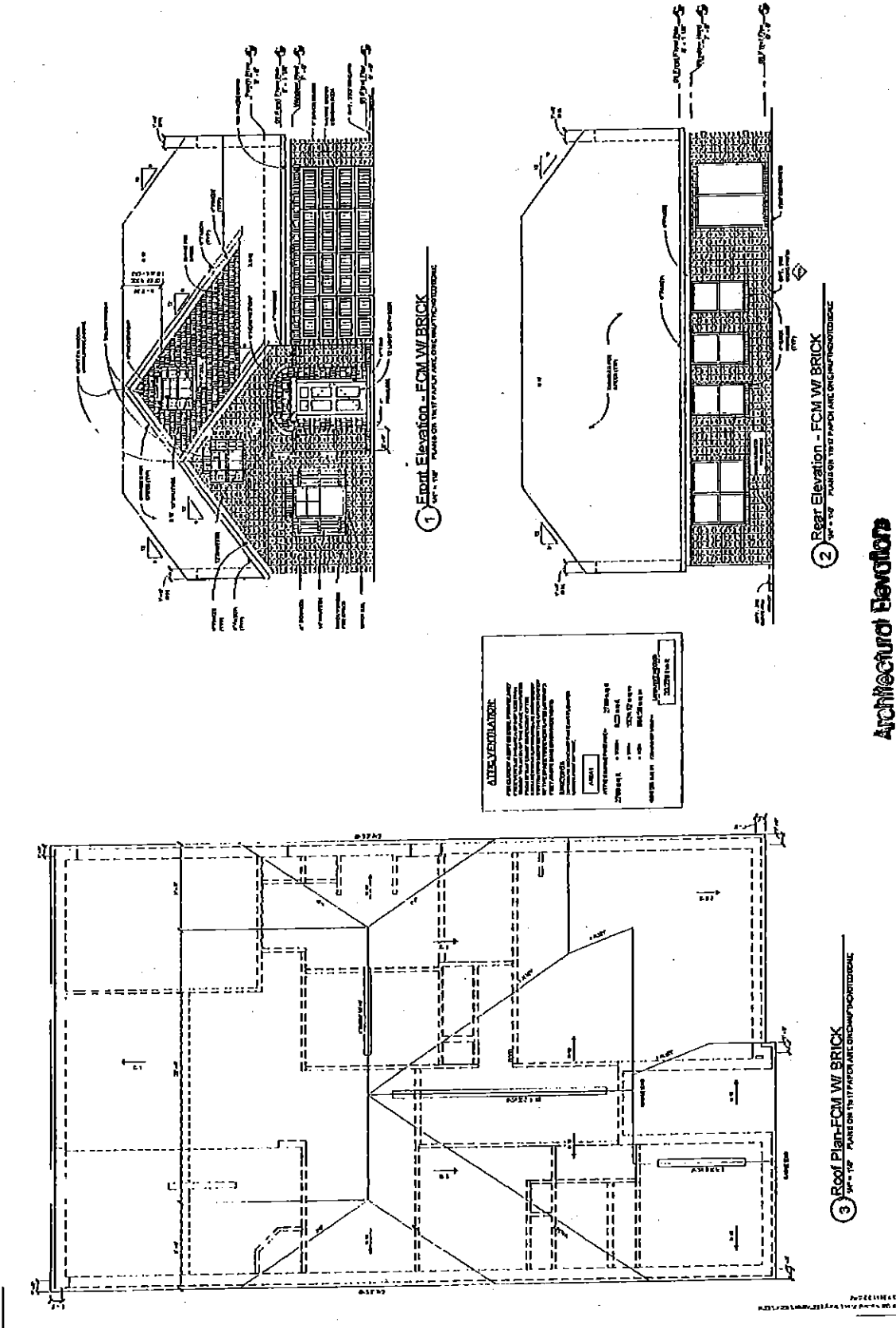
James F. Bowersox, II
Director, Land Acquisition & Development
Beazer Homes, Corp.
O: 770.781.0617
F: 770.781.0611
C: 404-759.7038
Email: jim.bowersox@beazer.com
www.beazer.com

Atlanta Office

6755 Shiloh Road East, Suite 101
Alpharetta, GA 30005



O: 770.781.0610
F: 770.781.0611
RECEIVED 8-2-11
www.beazer.com
CIC2011-00018



1 Front Elevation - FCM WALL BRICK

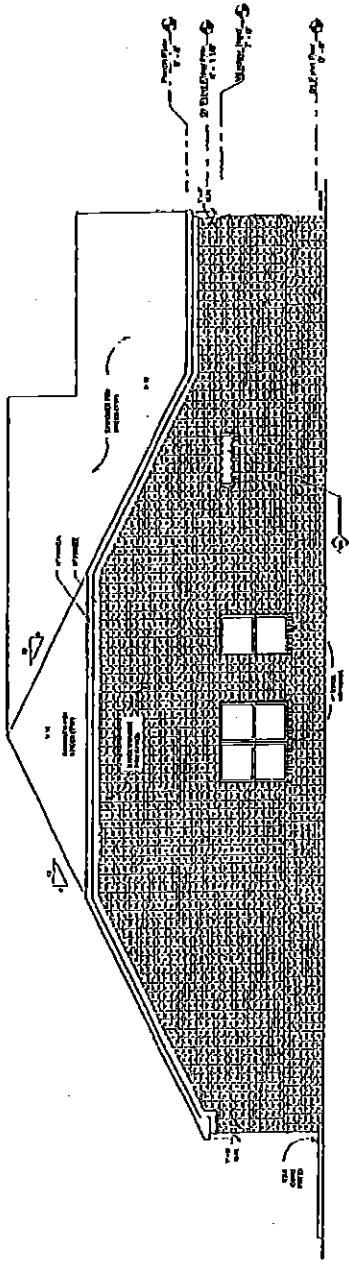
2 Rear Elevation - FCM WALL BRICK

3 Roof Plan - FCM WALL BRICK

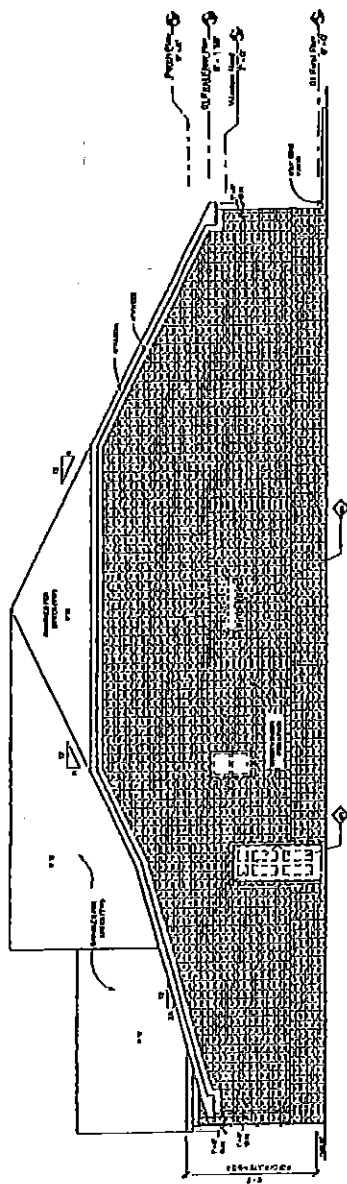
ALTERNATIVES:
 1. BRICK
 2. STUCCO
 3. SIDING
 4. SHINGLES
 5. SLATE
 6. METAL
 7. CLAY TILE
 8. CONCRETE
 9. POLYMER
 10. OTHER

Architectural Elevations
 APPROVED BY Director
 Planning & Development
 Chebea Falls
 8/5/11

3920E027		01 FCM
SIDE ELEVATIONS FCM W/ BRICK		
1.2		
This Form is the property of Eastman Architectural Elevations and is not to be reproduced or used in any way without the express consent of Eastman Architectural Elevations.		
DATE		
BY		
FOR		
PROJECT		
NO.		
REV.		



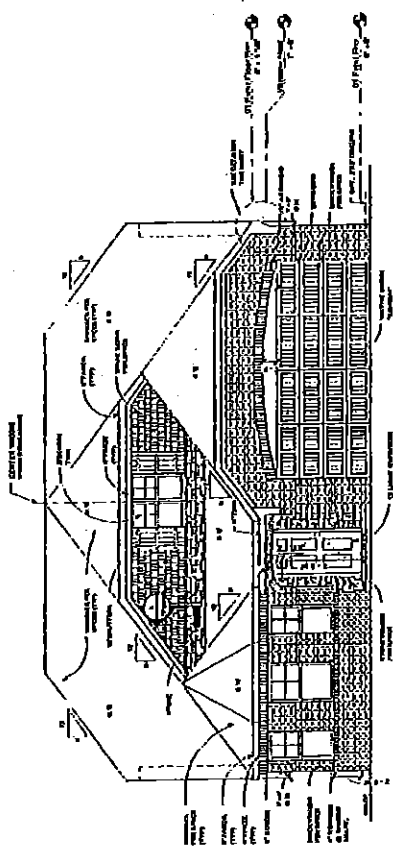
① Left Elevation - FCM W/ BRICK
1/8" = 1'-0" PLAN AND 1/4" = 1'-0" ELEVATION



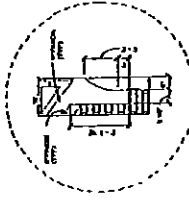
② Right Elevation - FCM W/ BRICK
1/8" = 1'-0" PLAN AND 1/4" = 1'-0" ELEVATION

Architectural Elevations
 APPROVED BY Director
 Eastman County Department of Planning & Development
Sharon Cook
 Chelsea Falls

3920E027		3920E027	3920E027
FRONT & REAR ELEVATIONS FCN W/ BRICK		FRONT & REAR ELEVATIONS FCN W/ BRICK	FRONT & REAR ELEVATIONS FCN W/ BRICK
02 FCN		02 FCN	02 FCN
A-2FCNWB		A-2FCNWB	A-2FCNWB



1 Front Elevation - FCN W/ BRICK
1/4" = 1'-0" PLANS ON THIS PAGE ARE ARCHITECTURAL



4 SHEEPHEAD DETAIL W/ BRICK
1/4" = 1'-0" PLANS ON THIS PAGE ARE ARCHITECTURAL

ATTN: VENTILATION

FOR ALL ROOMS WITH CEILING VENTILATION, THE FOLLOWING INFORMATION MUST BE PROVIDED TO THE CONTRACTOR:

1. ROOM NUMBER

2. ROOM NAME

3. ROOM TYPE

4. ROOM AREA

5. ROOM VOLUME

6. ROOM HEIGHT

7. ROOM FINISHES

8. ROOM EQUIPMENT

9. ROOM COMMENTS

10. ROOM NOTES

11. ROOM DIMENSIONS

12. ROOM SCHEDULE

13. ROOM SPECIFICATIONS

14. ROOM REQUIREMENTS

15. ROOM CONSTRAINTS

16. ROOM CONSTRAINTS

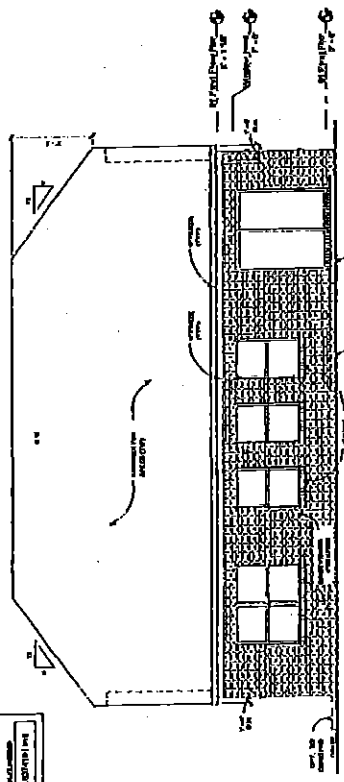
17. ROOM CONSTRAINTS

18. ROOM CONSTRAINTS

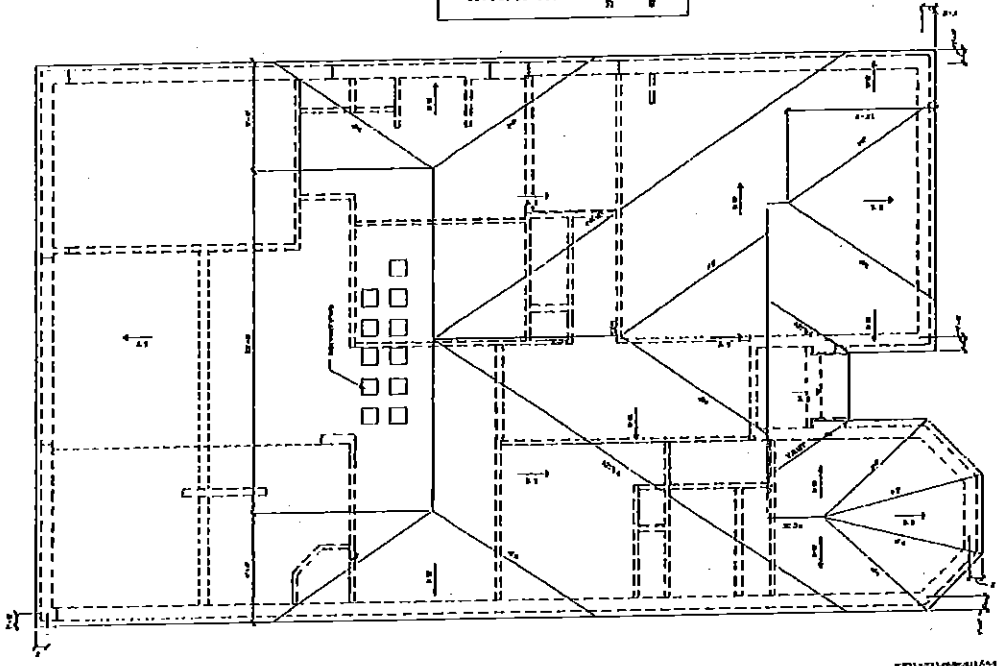
19. ROOM CONSTRAINTS

20. ROOM CONSTRAINTS

5 TRANSITION W/ BRICK
1/4" = 1'-0" PLANS ON THIS PAGE ARE ARCHITECTURAL

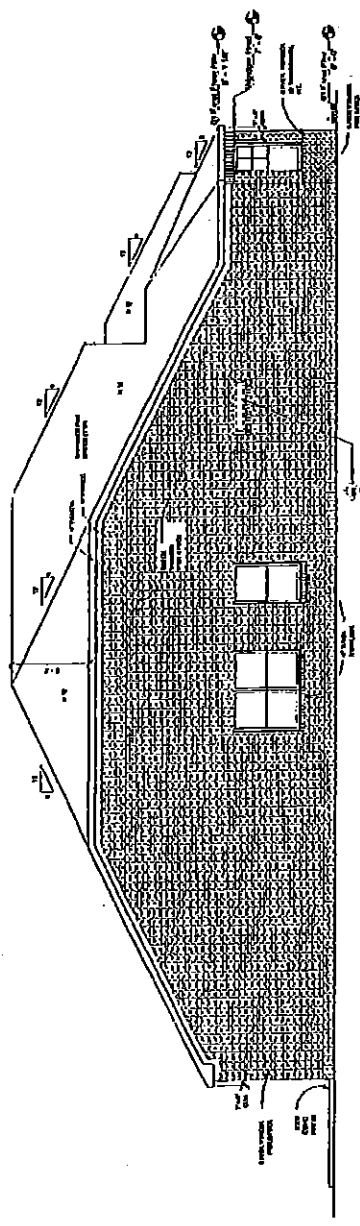


2 Rear Elevation - FCN W/ BRICK
1/4" = 1'-0" PLANS ON THIS PAGE ARE ARCHITECTURAL

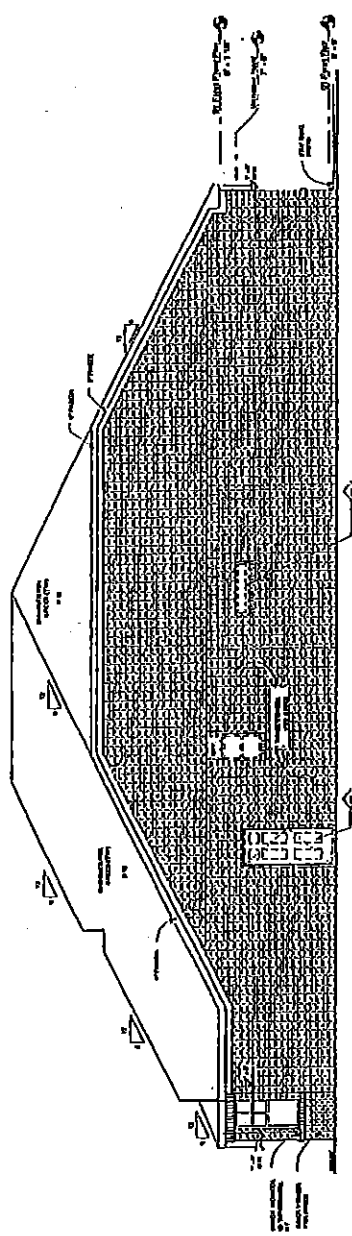


3 Roof Plan - FCN W/ BRICK
1/4" = 1'-0" PLANS ON THIS PAGE ARE ARCHITECTURAL

Architectural Elevations
 APPROVED BY Director
 Department of Planning & Development
 Chelsea Falls
 Chelsea Falls



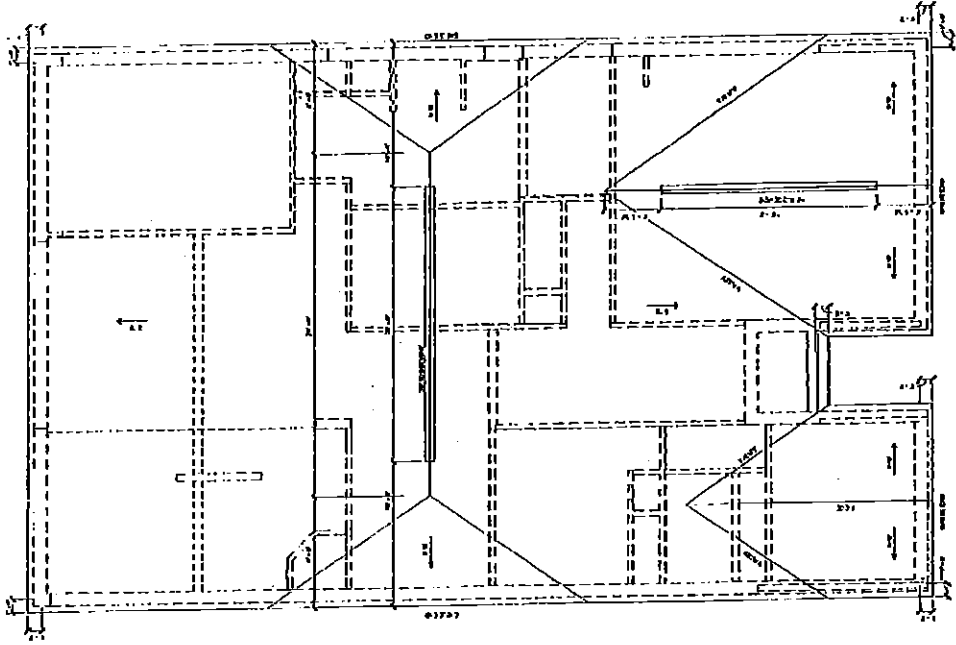
1 Left Elevation - FCN W/ BRICK
 1/4" = 1'-0" PLANE ON THIS PAPER ARE ORIENTED HORIZONTALLY



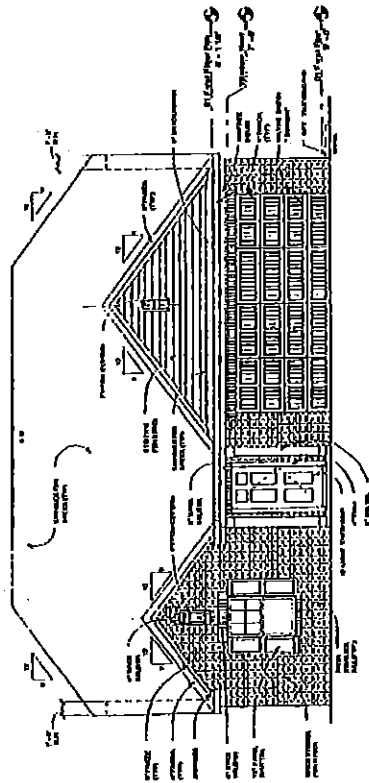
2 Right Elevation - FCN W/ BRICK
 1/4" = 1'-0" PLANE ON THIS PAPER ARE ORIENTED HORIZONTALLY

Chelsea Falls
 Architectural Elevations
 APPROVED BY Director
 Chester County Department of Planning & Development
 SHANAHAN
 8/5/11

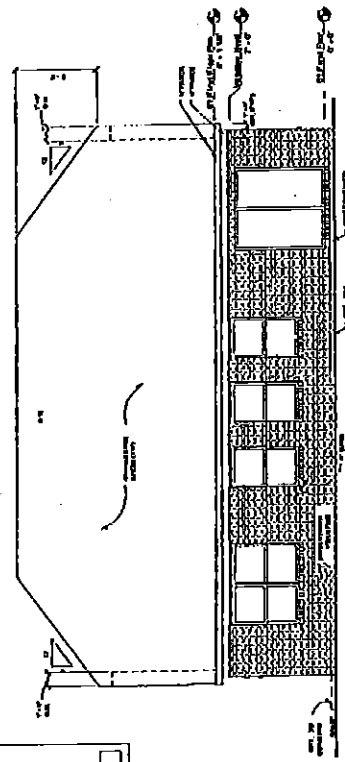
3920E027		1.2	FRONT & REAR ELEVATIONS, TRL W/ BRICK	03 TRL
A-2, 2TRL WB		THIS DOCUMENT IS THE PROPERTY OF THE COUNTY OF SHERBORN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE COUNTY OF SHERBORN.		
DATE	BY	CHECKED	DATE	BY



3 Roof Plan - TRL W/ BRICK
DATE: 03/11/11 BY: [Signature]



1 Front Elevation - TRL W/ BRICK
DATE: 03/11/11 BY: [Signature]




2 Rear Elevation - TRL W/ BRICK
DATE: 03/11/11 BY: [Signature]

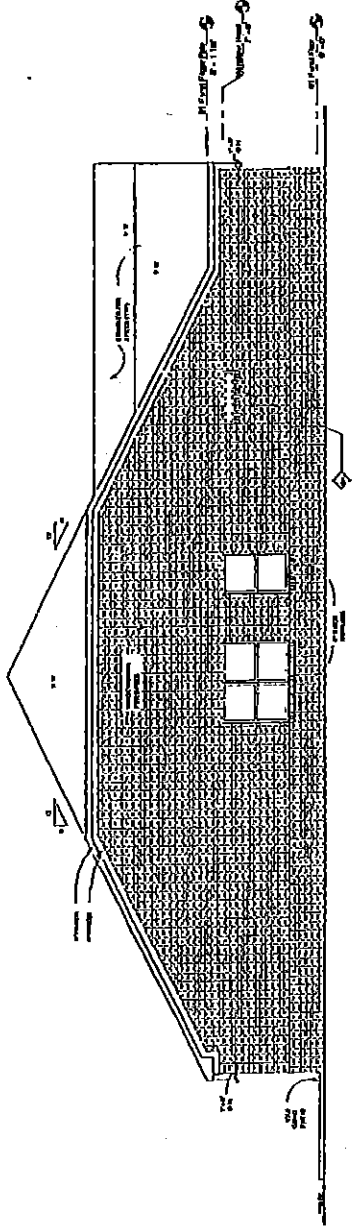
NOTES:

- SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
- SEE ELECTRICAL SPECIFICATIONS FOR LIGHTING AND FIXTURES.
- SEE MECHANICAL SPECIFICATIONS FOR HEATING AND VENTILATION.
- SEE CIVIL SPECIFICATIONS FOR FOUNDATION AND GRADING.
- SEE LANDSCAPE ARCHITECTURE FOR PLANTING AND HARDSCAPE.

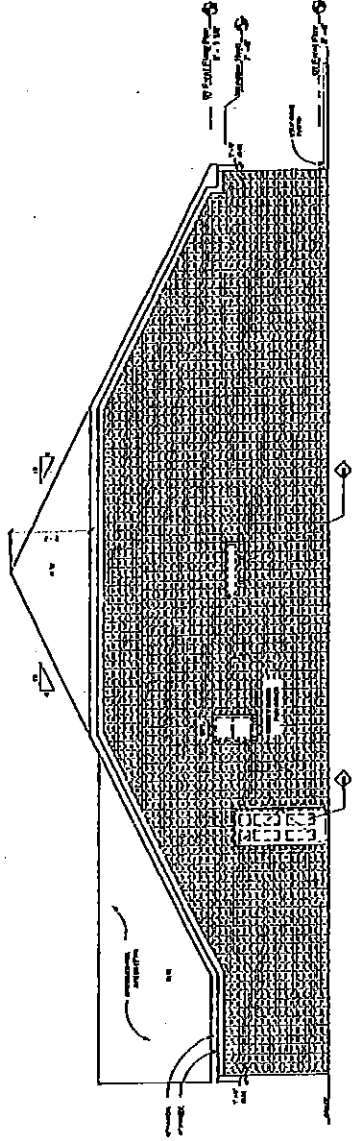
Sherborn County Department of Planning & Development
 Sherborn, MA 01901
 508-365-8511

Sherborn
 Chelsea Falls

DATE		THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.		3920E027	03 TR
REV	DATE			1.2	SIDE ELEVATIONS: TRL W/ BRICK
PROJECT		A-23TRL-WB			



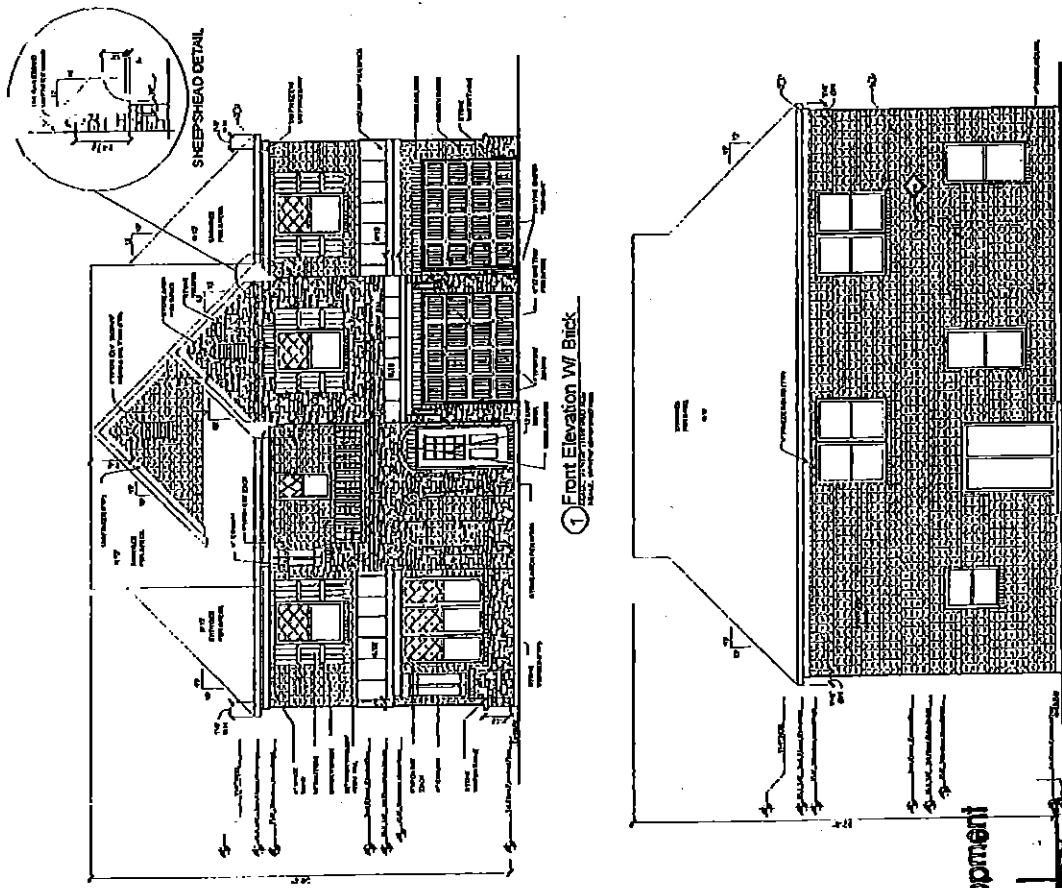
① Left Elevation - TRL W/ BRICK
NOT TO SCALE - PLANES ON THIS ELEVATION ARE UNLESS OTHERWISE NOTED



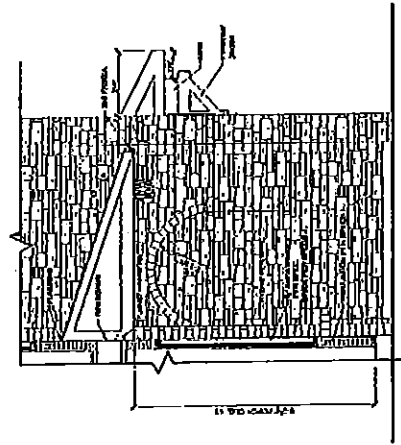
② Right Elevation - TRL W/ BRICK
NOT TO SCALE - PLANES ON THIS ELEVATION ARE UNLESS OTHERWISE NOTED

Architectural Elevations
 Approved by Director
 Guilford County Department of Planning & Development
SHARON COOK
 Chelsea Falls

4027E3431.1		Elevation ERU W/Brick		Front Elevation ERU Brick	
PROJECT NO.	DATE	BY	CHECKED	DATE	BY
<p>THIS DRAWING IS THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</p>					
<p>© 2018 ARCHITECTURE 1000 W. 10TH AVENUE SUITE 100 DENVER, CO 80202 TEL: 303.733.1111 WWW.A22ERU.COM</p>					
A22ERU		TITULOP			



1	FOUNDATION	CONCRETE
2	1ST FLOOR	CONCRETE
3	2ND FLOOR	CONCRETE
4	ROOF	ASPH/FLT
5	ROOF	WOOD SHAKES
6	ROOF	WOOD SHAKES
7	ROOF	WOOD SHAKES
8	ROOF	WOOD SHAKES
9	ROOF	WOOD SHAKES
10	ROOF	WOOD SHAKES
11	ROOF	WOOD SHAKES
12	ROOF	WOOD SHAKES
13	ROOF	WOOD SHAKES
14	ROOF	WOOD SHAKES
15	ROOF	WOOD SHAKES
16	ROOF	WOOD SHAKES
17	ROOF	WOOD SHAKES
18	ROOF	WOOD SHAKES
19	ROOF	WOOD SHAKES
20	ROOF	WOOD SHAKES



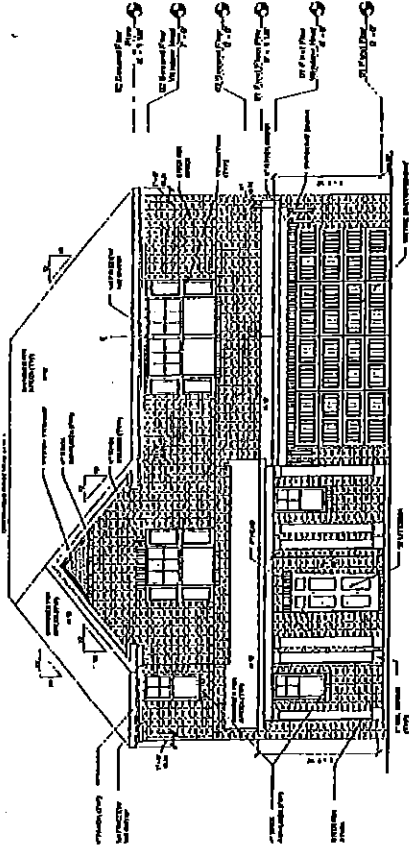
3 Plumb Section
 ROOF STRUCTURE

APPROVED BY DIRECTOR
 EASTON COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT
 Shawna L. Dale
 Chelsea Falls.

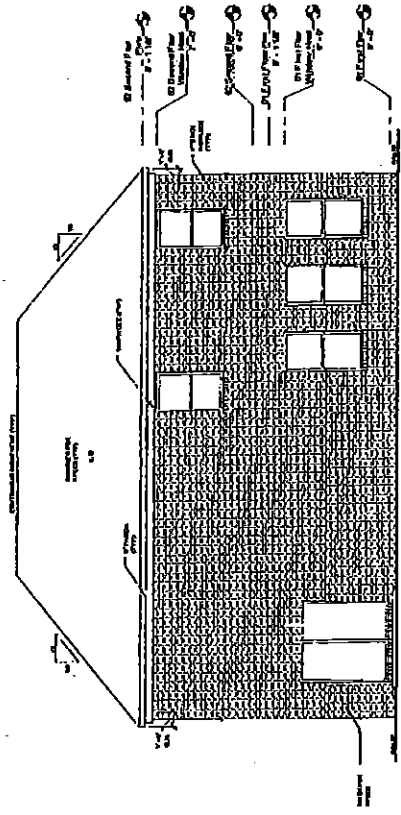
2 Rear Elevation W/Brick

1 Front Elevation W/Brick

3923E433		FRONT & REAR ELEVATIONS		04 SNA TR	
1.2					
This plan is prepared in accordance with the requirements of the Building Code of the City of Chelsea, Massachusetts. It is intended to be used in conjunction with the other plans and specifications submitted herewith.					
100% COMPLETE					
DATE: 11/11/11					
DRAWN BY: [Name]					
CHECKED BY: [Name]					
PROJECT NO: 04 SNA TR					
SHEET NO: 1.2					
TOTAL SHEETS: 1.2					
PROJECT NAME: [Name]					
ADDRESS: [Address]					
CITY: Chelsea, MA					
STATE: MA					
ZIP: 01928					
SCALE: AS SHOWN					
NOTES:					
1. SEE OTHER SHEETS FOR DETAILS.					
2. ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF THE CITY OF CHELSEA, MASSACHUSETTS.					
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.					
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.					
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.					
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION.					
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.					
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.					
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.					
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.					



1 FRONT ELEVATION - TR L W/ BRICK
 1/4" = 1' - 0" PLUMB OR THIS PAPER ARE OTHERWISE INDICATED

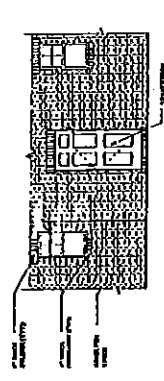


2 REAR ELEVATION - TR L W/ BRICK
 1/4" = 1' - 0" PLUMB OR THIS PAPER ARE OTHERWISE INDICATED

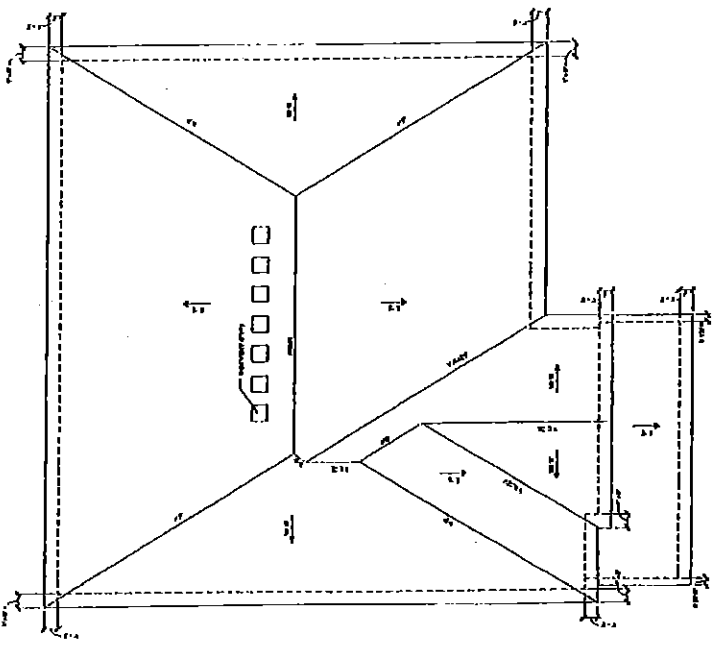
AIR VENTILATION

FOR EACH ROOM, THE AIR VENTILATION SHALL BE PROVIDED AS FOLLOWS:

- 1. ALL ROOMS SHALL HAVE NATURAL VENTILATION THROUGH WINDOWS OR DOORS.
- 2. ALL BATHS SHALL HAVE MECHANICAL EXHAUST FANS.
- 3. ALL KITCHENS SHALL HAVE MECHANICAL EXHAUST FANS.
- 4. ALL BEDROOMS SHALL HAVE MECHANICAL EXHAUST FANS.
- 5. ALL HALLWAYS SHALL HAVE MECHANICAL EXHAUST FANS.
- 6. ALL CLOSETS SHALL HAVE MECHANICAL EXHAUST FANS.
- 7. ALL ATTIC SPACE SHALL HAVE MECHANICAL EXHAUST FANS.
- 8. ALL GARAGES SHALL HAVE MECHANICAL EXHAUST FANS.
- 9. ALL PORCHES SHALL HAVE MECHANICAL EXHAUST FANS.
- 10. ALL PATIOS SHALL HAVE MECHANICAL EXHAUST FANS.



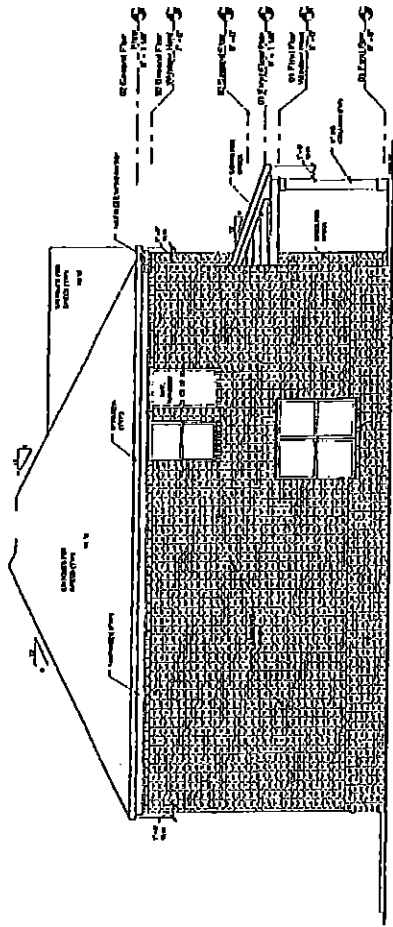
4 FRONT DOOR & WINDOW - TR L W/ BRICK
 1/4" = 1' - 0" PLUMB OR THIS PAPER ARE OTHERWISE INDICATED



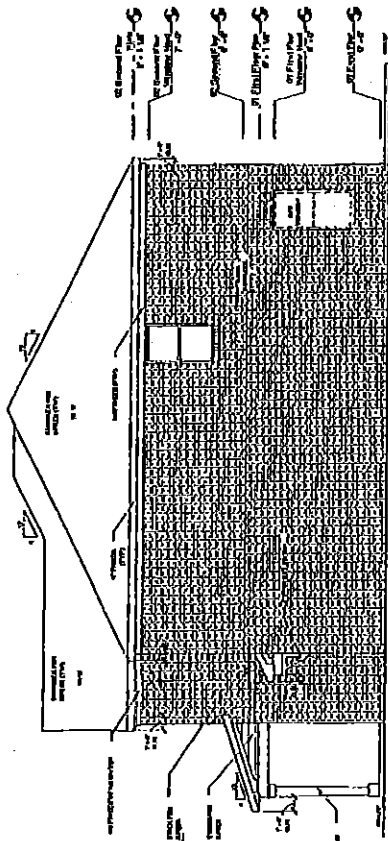
3 ROOF PLAN - TR L
 1/4" = 1' - 0" PLUMB OR THIS PAPER ARE OTHERWISE INDICATED

Chelsea, MA
 01928
 9000
 Department of Planning & Development
 Street Cook
 Chelsea Falls

3923E433		SIDE ELEVATIONS		04/30/12	
1.2		SIDE ELEVATIONS		04/30/12	
A-23TRUWB		A-23TRUWB		A-23TRUWB	



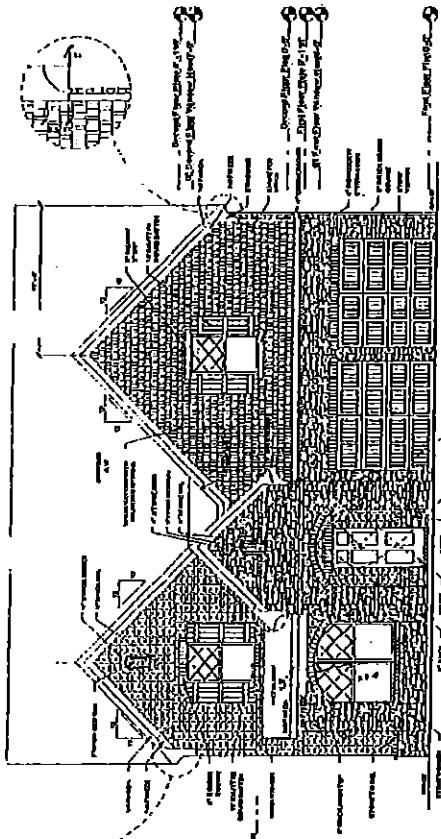
1 LEFT ELEVATION - TR L W BRICK
SEE PLAN FOR WINDOW AND DOOR SCHEDULES



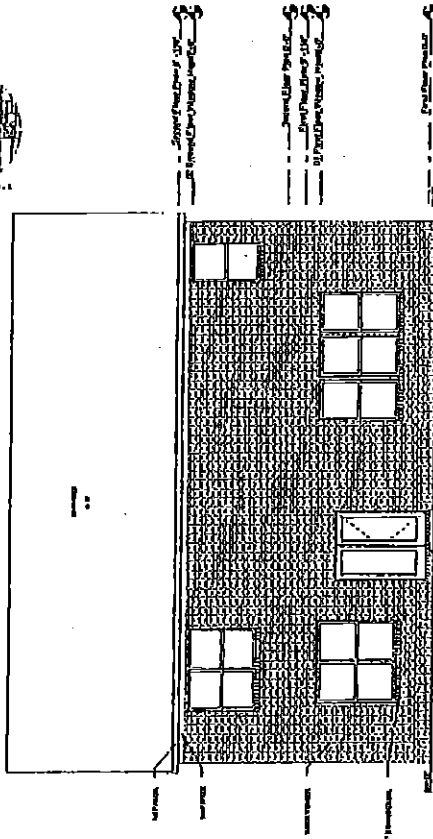
2 RIGHT ELEVATION - TR L W BRICK
SEE PLAN FOR WINDOW AND DOOR SCHEDULES

Architectural Elevations
 Approved by Director
 Chester County Department of Planning & Development
 Sharon Cook Date 8/5/11
 Chelsea Falls

3923V005		1.2		FRONT & REAR ELEVATIONS W/ BRICK		01 Style ERU	
A-1.5ERUWB		DATE		PROJECT NO.		SHEET NO.	
DRAWN BY		CHECKED BY		DATE		SCALE	
PROJECT NAME		PROJECT ADDRESS		PROJECT CITY		PROJECT STATE	
PROJECT COUNTY		PROJECT ZIP		PROJECT PHONE		PROJECT FAX	
PROJECT EMAIL		PROJECT WEBSITE		PROJECT URL		PROJECT URL	



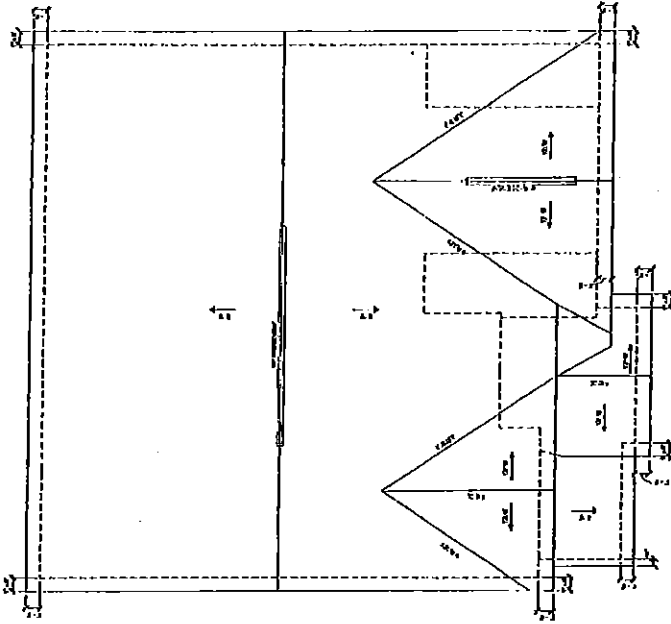
1 Front Elevation - ERU w/ Brick



2 Rear Elevation - ERU w/ Brick

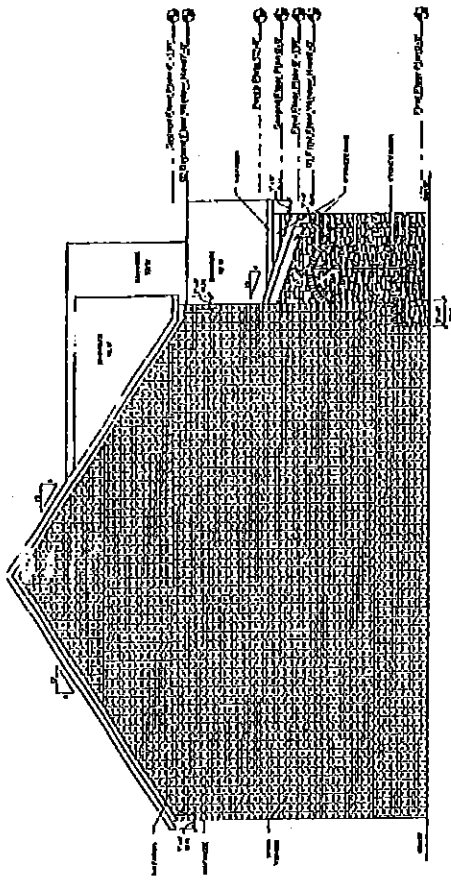


VENTILATION	
1. All rooms shall have adequate ventilation.	2. All rooms shall have adequate ventilation.
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97. All rooms shall have adequate ventilation.	98. All rooms shall have adequate ventilation.
99. All rooms shall have adequate ventilation.	100. All rooms shall have adequate ventilation.

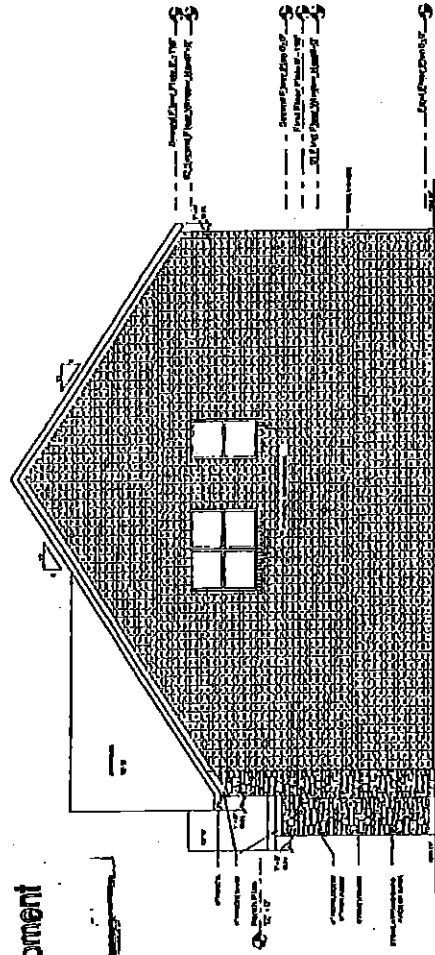


3 Roof Plan - ERU w/ Brick

Structural Elevations
 Approved by Director
 Eastern County Department of Planning & Development
 Sharp
 Chelsea Falls



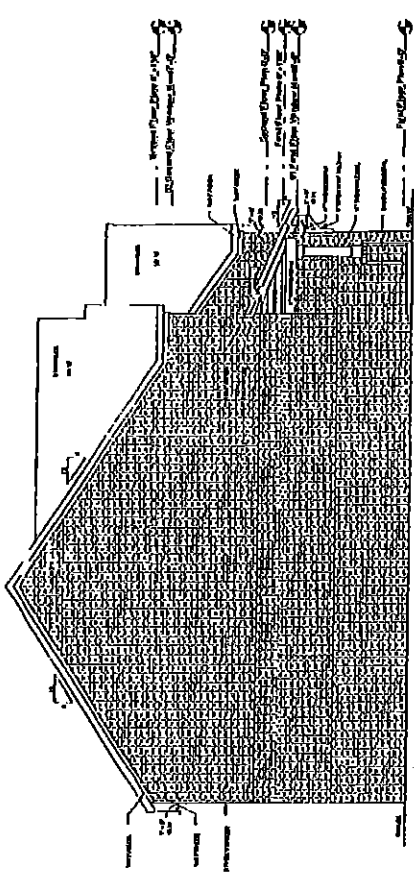
1 Left Elevation - ERU w/ Brck



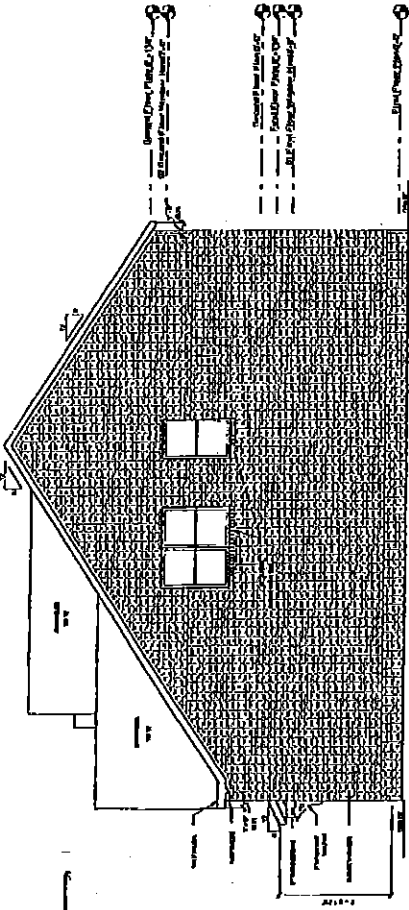
2 Right Elevation - ERU w/ Brck

APPROVED BY Director
 Department of Planning & Development
 Shannon Cook Date 8/6/11
 Chelsea Falls

3923V005		1,2	04 5/16 TRL
SIDE ELEVATIONS W/ BRICK			
04 5/16 TRL			
This plan was prepared by the Architect for the purpose of illustrating the proposed design and is not to be used for any other purpose without the written consent of the Architect.			
DATE: _____ DRAWN BY: _____ CHECKED BY: _____ PROJECT NO.: _____			
A-1-5TRL W/B			

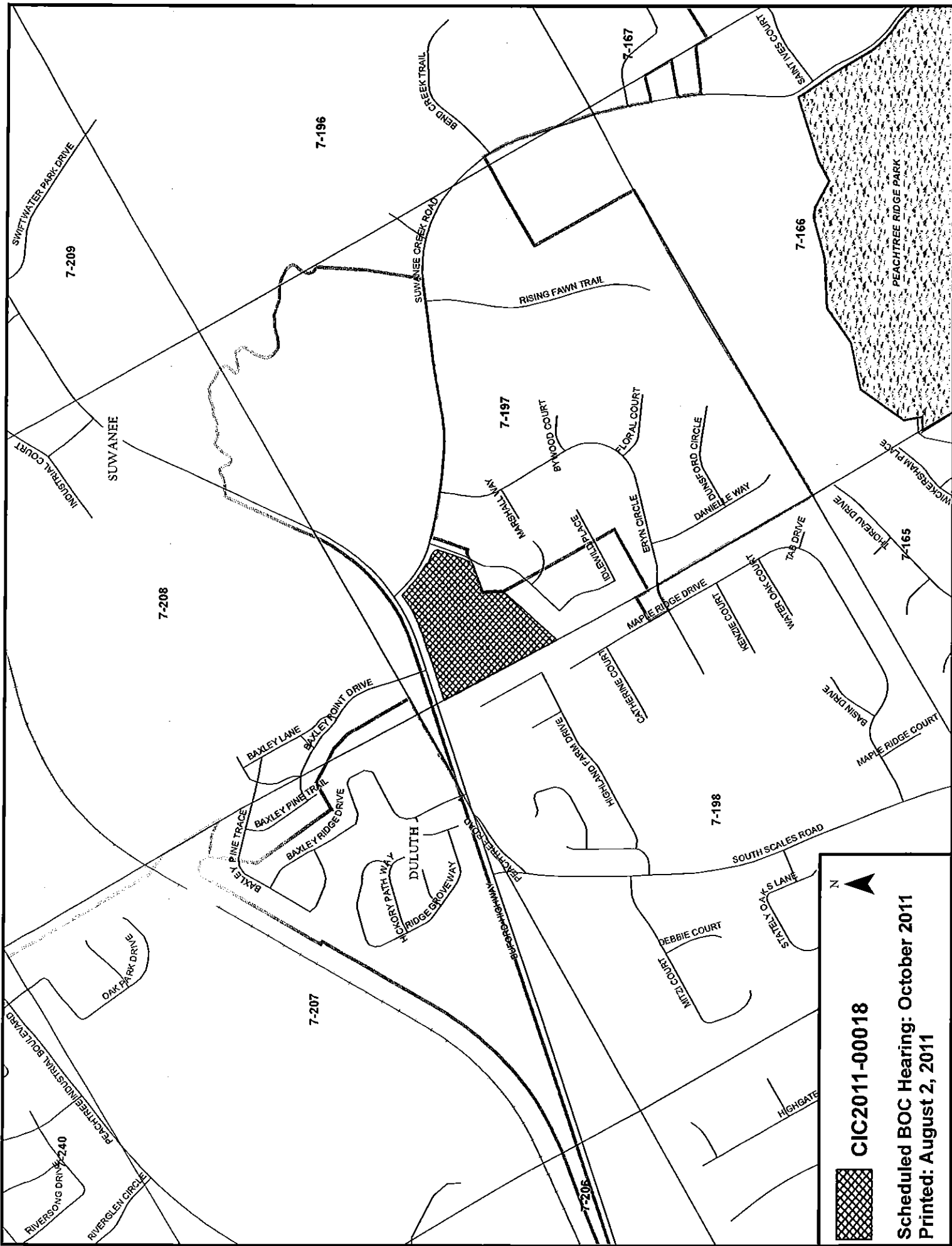


1 Left Elevation - TRL w/ Brick
 1/4" = 1' - 0" MAKE OR BUY PER ALL SPECIFICATIONS



2 Right Elevation - TRL w/ Brick
 1/4" = 1' - 0" MAKE OR BUY PER ALL SPECIFICATIONS

Architectural Elevations
 APPROVED BY Director
 Engineer County Department of Planning & Development
Sharon Cook Date *8/2/11*
 Chelsea Falls.



CIC2011-00018



**Scheduled BOC Hearing: October 2011
Printed: August 2, 2011**

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			

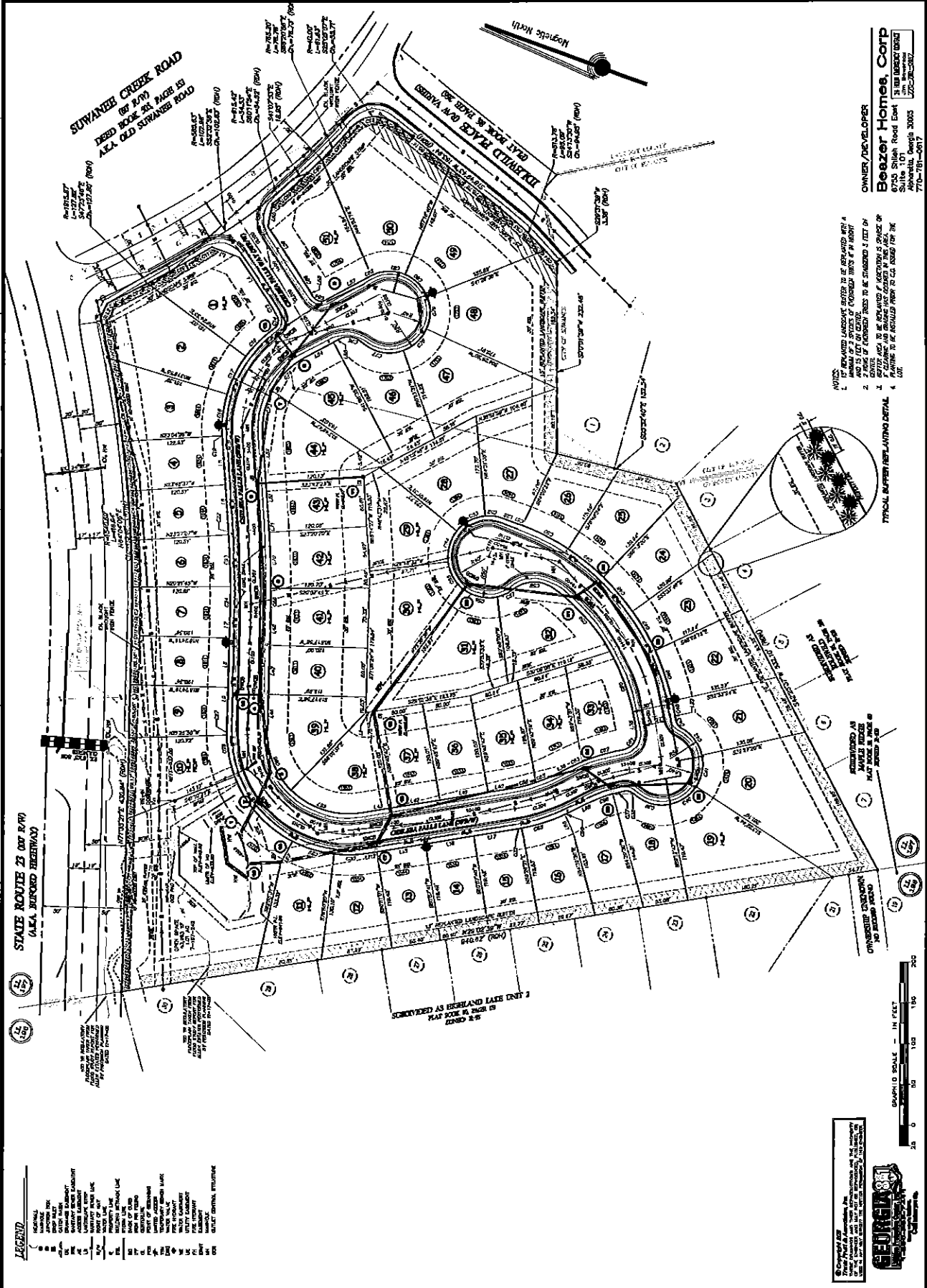
8117 Park Drive - Suite 200
 Marietta, Georgia 30066
 Phone: 770-424-1111
 Fax: 770-424-1112
 TERRY PROSS
 Professional Engineer
 State of Georgia
 License No. 11112

CHELSEA FALLS

EXHIBIT PLAT

PAGE 02, LOTS 192, DISTRICT 7

DRAWN BY: [Name]
 DATE: [Date]
 SCALE: [Scale]
 SHEET NO. 1 OF 1



SUNAWEE CREEK ROAD
 DEED BOOK 20, PAGE 20
 ALA. OLD SUNAWEE ROAD

STATE ROUTE 23 (OLD R/W)
 (ALA. BUREAU HIGHWAY)

CHELSEA FALLS
 EXHIBIT PLAT

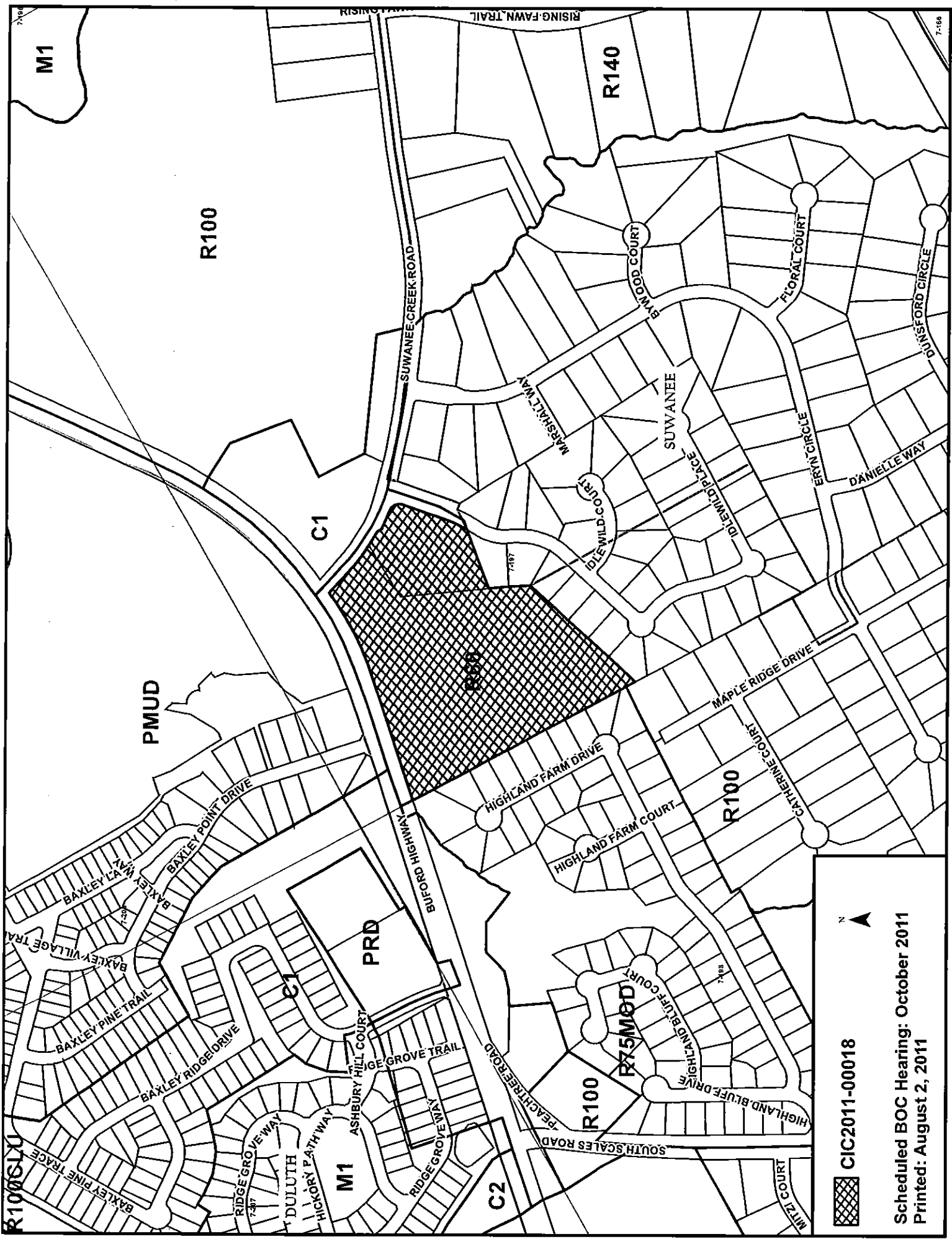
8117 Park Drive - Suite 200
 Marietta, Georgia 30066
 Phone: 770-424-1111
 Fax: 770-424-1112
 TERRY PROSS
 Professional Engineer
 State of Georgia
 License No. 11112

OWNER/DEVELOPER
Beezer Homes, Corp
 8733 Shiloh Road East
 Atlanta, Georgia 30328
 770-781-0817

NOTES:
 1. THE SHOWN LOTS ARE TO BE DIVIDED INTO 4 LOTS OF APPROXIMATELY 1/2 ACRE EACH.
 2. THE LOTS ARE TO BE DIVIDED INTO 4 LOTS OF APPROXIMATELY 1/2 ACRE EACH.
 3. THE LOTS ARE TO BE DIVIDED INTO 4 LOTS OF APPROXIMATELY 1/2 ACRE EACH.
 4. THE LOTS ARE TO BE DIVIDED INTO 4 LOTS OF APPROXIMATELY 1/2 ACRE EACH.

TYPICAL BUFFER RETAINING DETAIL

GRAPHIC SCALE - IN FEET
 0 50 100 150 200



CIC2011-00018

Scheduled BOC Hearing: October 2011
Printed: August 2, 2011



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
CHANGE IN CONDITIONS AND SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :CIC2011-00019
ZONING :C-2
LOCATION :600 BLOCK OF AIRPORT ROAD
MAP NUMBER :R5208 028
ACREAGE :1.10 ACRES
PROPOSED DEVELOPMENT :CHANGE IN CONDITIONS TO AMEND: USE
RESTRICTIONS, BUILDING ARCHITECTURAL
TREATMENTS, SIGN HEIGHT, AND FENCING
SQUARE FEET :11,880 SQUARE FEET
COMMISSION DISTRICT :(4) HEARD

CASE NUMBER :SUP2011-00057
ZONING :C-2
LOCATION :600 BLOCK OF AIRPORT ROAD
MAP NUMBER :R5208 028
ACREAGE :1.10 ACRES
PROPOSED DEVELOPMENT :OUTDOOR SALES AND STORAGE; PAWN SHOP;
TITLE LOAN FACILITY; CHECK CASHING FACILITY
COMMISSION DISTRICT :(4) HEARD

FUTURE DEVELOPMENT MAP: **RESEARCH AND DEVELOPMENT CORRIDOR**

APPLICANT: JONATHAN P. DUGAN
659 AIRPORT ROAD
LAWRENCEVILLE, GA 30046

CONTACT: JONATHAN DUGAN PHONE: 770.962.5678

OWNER: JONATHAN P. DUGAN
2148 WALKER DRIVE
LAWRENCEVILLE, GA 30045

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

CHANGE IN CONDITIONS SUMMARY:

The applicant requests a change to the conditions of a prior rezoning case, RZC2011-00004, in order to amend the use restrictions, building architectural treatments, sign height and fencing requirements. The applicant also requests a Special Use Permit to allow outdoor sales and storage and to allow a pawn shop, title loan facility and/or a check cashing facility. The property is a 1.10-acre parcel, developed with an existing building and associated parking, occupied by Dugan's Automotive and Recycle Shop Antique Center. The property is located on the north side of Airport Road, east of its

intersection with Hurricane Shoals Road. The property also adjoins the south side of Georgia Highway 316.

In the past, the property was zoned M-1, and the applicant used the property to manufacture and distribute specialty automotive equipment. Subsequently, the business began offering auto parts installation and general auto repair; and more recently, the applicant began operating an antique store within the building, which was all approved under a rezoning to C-2 with a Special Use Permit, granted pursuant to RZC2011-00004.

The applicant proposes the following condition changes to RZC2011-00004:

Condition I. A. governs the permitted uses of the property. The condition currently reads as follows:

I.A. Retail, service commercial and accessory uses; which may include an automobile repair shop as a special use. The following uses shall be prohibited:

- adult bookstores or entertainment
- alcohol sales
- extended stay hotels or motels
- pawn shops, title loan and check cashing facilities
- recovered materials processing facilities
- smoke shops/novelty stores

The applicant proposes to amend condition I.A. to allow a pawn shop, title loan, check cashing facility and/or recovered materials processing facility as potential permitted uses.

Condition I.B. governs the building architecture. The condition currently reads as follows:

I.B. Any new buildings or additions shall be finished with architectural treatments of glass, stacked stone, or brick. Stucco may be used as an accent material. Final architectural elevations shall be subject to review and approval by the Director of Planning and Development.

The applicant proposes to amend I.B. to eliminate architectural requirements for any new buildings in the rear of the facility such as storage buildings or for any addition to the existing facility.

Condition 2.A. governs sign height and the sign's architectural materials. The condition currently reads as follows:

2.A. Ground signage shall be limited to monument type signs with a minimum two-foot high brick or stacked stone base. Ground signs shall not exceed 8 feet in height. Signs shall be prohibited along the Georgia Highway 316 frontage.

The applicant proposes to amend condition 2.A. to increase the sign height of a proposed monument type sign adjacent to Georgia Highway 316. The Department notes that variances may also be necessary to increase the size or height of signs.

Condition 2.B. governs screening adjacent to Georgia Highway 316. The condition currently reads as follows:

2. B. Maintain the existing opaque fencing along Georgia Highway 316 to provide and effective screen of the automobile repair shop and parking area. The fence shall be maintained in a structurally sound condition and in good repair. The fence shall not contain any signage.

The applicant proposes to amend 2.B. to change the fence location, which could allow for the sign to be placed on the site, adjacent to Georgia Highway 316, where a sign was attached to the fence in the past.

Condition 2.D. governs outdoor storage and sales of merchandise. The condition currently reads as follows:

2.D. Outdoor sales shall be prohibited. Outdoor storage of merchandise, equipment, junk vehicles, auto parts, tires and other materials shall be prohibited.

Since the approval of RZC2011-00004 which allowed the antique shop, there have been items displayed and sold from the sidewalk in front of the building. The applicant proposes to amend 2.D. to allow this type of activity.

Condition 2.E. governs vehicles waiting for repair. The condition currently reads as follows:

2.E. Vehicles awaiting repair shall be stored indoors or within the existing screened outdoor storage area. The outdoor storage area shall be within the existing opaque fencing and screening along Georgia Highway 316.

The applicant's letter of intent indicates that condition 2.E. prohibits vehicles from being parked within the storage area due to this portion of the site being a gravel surface. Staff notes that the condition specifically requires the vehicles be parked in this area, but a variance must be obtained to park on an unpaved surface.

The 2030 Unified Plan Future Development Map indicates that the site is located within the Research and Development Corridor. Although not strictly consistent with the previous rezoning, amending some of the conditions may be suitable given nearby land uses. Allowing a pawn shop, check cashing or title loan business within the existing building may not be expected to adversely affect nearby properties. Eliminating the requirement for certain building materials, and relaxing fence and sign restrictions for the existing automobile repair shop and antique store could be suitable in light of the intensity of the surrounding developments, which are characterized by auto repair, light industrial, aviation and commercial uses. The requested Special Use Permit could be consistent with Board policy, if the change in conditions prohibiting outdoor storage and sales is removed.

The surrounding area includes numerous intensely developed commercial/retail and light industrial uses fronting along Hurricane Shoals Road, Airport Road and the Georgia Highway 316 corridor. Located to the south, across Airport Road, is the Gwinnett County Airport. To the north of the subject site, across Georgia Highway 316, are office/warehouse and light industrial uses within the Gwinnett Progress Center and public/institutional uses including Gwinnett Police Headquarters. Immediately to the east is an automotive collision repair center. Immediately to the west of the subject property is a multi-tenant retail/office center, zoned C-2. Given the variety of zonings and the intensity of use in the area, the current requests could be considered suitable.

In conclusion, the requested change in conditions and Special Use Permits could be considered compatible with the intensity of adjacent and nearby land uses. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

ZONING HISTORY:

In 1970, the subject property was zoned RA-200 (Agriculture-Residence District). The subject property was rezoned to M-1 as part of a larger area-wide rezoning in 1975. A request to rezone the property to C-3 was approved as C-2 with a Special Use Permit pursuant to RZC2011-00004 in January of 2011.

GROUNDWATER RECHARGE AREA:

The subject property is located within an identified Significant Groundwater Recharge Area. The Georgia Department of Community Affairs and Department of Natural Resources have mandated that Significant Groundwater Recharge Areas be identified and that minimum lot sizes for septic tanks be increased in these resource areas. Please contact the Gwinnett County Board of Health for septic system information and/or Gwinnett Department of Public Utilities regarding availability of sanitary sewer for this site.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett Department of Planning and Development.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

No comment.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of an 8-inch water main located on the southern right-of-way of Airport Road.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located approximately 500 feet east of the property in the right-of-way of Airport Road.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for any proposed interior tenant space modifications or exterior modifications for review and approval by Building Plan Review.
2. Upon completion of plan review approvals, the applicant shall obtain a building permit for any proposed modification/renovation work and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.
3. The applicant shall submit structural details for fences exceeding 8 feet in height and achieve satisfactory field inspections for a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6040 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

Fire Plan Review has no objections to the above rezoning requests, under the following conditions:

1. Applicant submits civil drawings to Fire Plan Review for review and approval.
2. Applicant submits architectural drawings to Fire Plan Review for review and approval.
3. Upon completion of plan review approvals, applicant successfully achieves a satisfactory Fire field inspection, for issuance of a Certificate of Occupancy - Business Operation.

For assistance, you may contact this office at (678) 518-6000, Monday through Friday, from the hours of 8:00 a.m. to 5:00 p.m.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Additions in **BOLD**

Deletions in STRIKETHROUGH

Approval as C-2 with Special Use Permits for an automobile repair shop, **outdoor sales and storage, pawn shop, title loan and check cashing facilities** subject to the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Retail, service commercial and accessory uses; which may include an automobile repair shop, **pawn shop, title loan and check cashing facility, and outdoor sales and storage** as special uses. The following uses shall be prohibited:
 - adult bookstores or entertainment
 - alcohol sales
 - extended stay hotels or motels
 - ~~pawn shops, title loan and check cashing facilities~~
 - recovered materials processing facilities
 - smoke shops/novelty stores
 - B. ~~Any new buildings or additions shall be finished with architectural treatments of glass, stacked stone, or brick. Stucco may be used as an accent material. Final architectural elevations shall be subject to review and approval by the Director of Planning and Development.~~
 - C. **Outdoor sales of merchandise shall be restricted to the sidewalk adjacent to the front of the building. The items shall not be left outdoors over night.**
 - D. **The Special Use Permit for outdoor sales and display shall terminate if the property or business is sold, transferred or otherwise conveyed to another party.**
2. To abide by the following site development considerations:
 - A. Ground signage shall be limited to monument type signs with a minimum two-foot high brick or stacked stone base. ~~Ground signs shall not exceed 8 feet in height. Signs shall be prohibited along the Georgia Highway 316 frontage.~~
 - B. ~~Maintain the existing opaque fencing along Georgia Highway 316 to provide and effective screen of the automobile repair shop and parking area. The fence shall~~

~~be maintained in a structurally sound condition and in good repair. The fence shall not contain any signage.~~

- C. Billboards or oversized signs shall be prohibited.
- D. ~~Outdoor sales shall be prohibited. Outdoor storage of merchandise, equipment.~~ **Outdoor storage** of junk vehicles, auto parts, tires and other **junk** materials shall be prohibited.
- E. ~~Vehicles awaiting repair shall be stored indoors or within the existing screened outdoor storage area. The outdoor storage area shall be within the existing opaque fencing and screening along Georgia Highway 316.~~
- F. Dumpsters shall be screened by a 100% opaque brick or stacked stone wall with an opaque metal gate enclosure.
- G. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent properties or rights-of-way.
- H. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, **sign-walkers** or **sign-twirlers** shall be prohibited.
- I. Peddlers and/or parking lot sales shall be prohibited.
- J. The property owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The request to change conditions of the previous rezoning action to expand the allowable uses, including outdoor activities, and alter sign and fence conditions, could be suitable in light of the mix and intensity of uses in this area.

ADVERSE IMPACTS

With the recommended conditions, including the provision for screening along Georgia Highway 316, impacts on neighboring properties could be reduced.

REASONABLE ECONOMIC USE AS ZONED

The subject property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

It is anticipated that there would be few additional impacts on public facilities from the requests.

CONFORMITY WITH POLICIES

Although not strictly consistent with the previous rezoning, the proposed change in conditions to allow additional retail activity, adjusting sign requirements and permitting outdoor storage and sales could be suitable in light of the intensity of surrounding developments.

CONDITIONS AFFECTING ZONING

The neighboring commercial zonings and similar uses in the area suggest that the proposed additional uses, which may include outdoor sales and storage, could be suitable at this location.

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

NO

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

YES

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

~~NO~~ NO

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

NO

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

NO



SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

NO

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Yes

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

NO

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

NO

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

NO



Letter of intent for change in conditions and Special Use Permit applications
Tax Parcel 5 208 028 per RZC 2011-00004. 659 Airport rd Lawrenceville Ga. 30046

To whom it may concern:

My name is Jonathan Dugan and I seek application for change in conditions and a special use permit for my property located at 659 Airport rd Lawrenceville for the following reasons, based on current conditions included in RZC2011-00004:

Condition 1A amended to include title loan and check cashing facility, pawn shop and or recovered materials processing facility.

Reason: I may have to lease all or part of my property in the future because of business being very slow during these harsh economic conditions and from having forgone the process of rezoning my property at the beginning of the year due to code enforcement requirements.

I have been in business for 25 years and my intentions are to remain in business however I have to weigh all my options at this time.

There has been interest in a title loan company as a potential tenant and I know that I may have other potential tenants approach me for other type businesses and need as many options as possible when and if the need to recruit tenants arises.

Condition 1B amended to exclude any new buildings in the rear of the facility ie storage buildings or expansion of the main structure from having to be finished with architectural treatments of glass, stacked stone, brick or stucco.

Reason: any possible future expansion of the building or added storage buildings that may be required to satisfy the needs of potential tenants or myself should be limited to the construction materials of like kinds already in use on the main steel building because it would match the existing structure and because the property is fenced and screened entirely and any additional structure or alteration can not be seen from any direction including Georgia hwy 316 or Airport Rd. Forcing the use of architectural treatments of glass, stacked stone, brick or stucco would actually make the building look aesthetically unbalanced and create great additional expense for no real purpose based on the fact that it would not be seen and would not be located in the front of the building where the retail space is located.

Condition 2A amended to increase sign height and square footage facing hwy 316.

Reason: Consideration of potential future tenants that may choose to exercise the option to increase sign size and square footage to promote their business. As it stands the allowable signage size of 150 square feet (if only a 50 square foot sign is located in the front of the building) sounds large enough but from 150 feet away on hwy 316, proportionately, that is not large enough to adequately display a message to motorists traveling on hwy 316, especially at 50-70 miles per hour. Considering there is a commercial billboard on either side of my property, not only do they capture the vast amount of attention, my 150 square foot ground sign is dwarfed by these large elevated signs. The light daily Automobile traffic on Airport road equates to a drop of water in the ocean compared to the heavy traffic count on hwy 316 on a daily basis which is where the main signage benefit comes from and has come from for the past 12 years that I have



RECEIVED 8-5-11
CIC2011-00019

been operating my business from 659 Airport road. Furthermore, should it become necessary for me to lease all or part of my building to a potential tenant or tenants, having to share a tiny 150 square foot sign between 3-4 potential businesses hurts the group as a whole and individually. This would also severely inhibit my ability to lease the property if necessary in the future.

Businesses need signage to announce their presence and to maintain their existence because not all businesses have the resources to advertise in print, media or cable mediums.

Signs are fundamentally necessary for small business to survive. The world is a different place and the economy is brutal. Advertising budgets for many small businesses such as mine are simply non existent in this day and age we all struggle through.

Condition 2B amended to eliminate the need to screen/fence the 90 foot section where the monument sign has been permitted to exist. Modified fence to reflect submitted site plan per C.I.C RZC 2011-00004

Reason: I can't screen the area directly in front of the sign nor the adjacent 35 feet on either side of the sign as it would completely shroud the sign from the view from east or west bound motorists. Even without the fence there is already screening that exists by way of two containers on the property that block the automotive repair shop, parking area and any contents contained within the back yard area behind the building.

The front of my building fronts Airport road not hwy 316.

Condition 2D amended to include outdoor sales of merchandise and equipment not limited to specific products. Monday through Saturday contained to the front sidewalk under the overhang of the building and the parking area directly in front of the building. Display area to reflect submitted site plan per C.I.C RZC 2011-00004

Reason: One of the two businesses that we operate sells antiques general merchandise, floral products and plants. Displaying select items daily in front of the building helps to drive motorists that travel Airport road into our place of business and this has been an effective method of advertising for the last year until we were blocked from displaying merchandise per code enforcement at which time business decreased noticeably.

Condition 2E amended to reflect that the outdoor storage area shall be within the existing opaque fencing and screening along Georgia highway 316.

Fencing to reflect submitted site plan per C.I.C RZC 2011-00004.

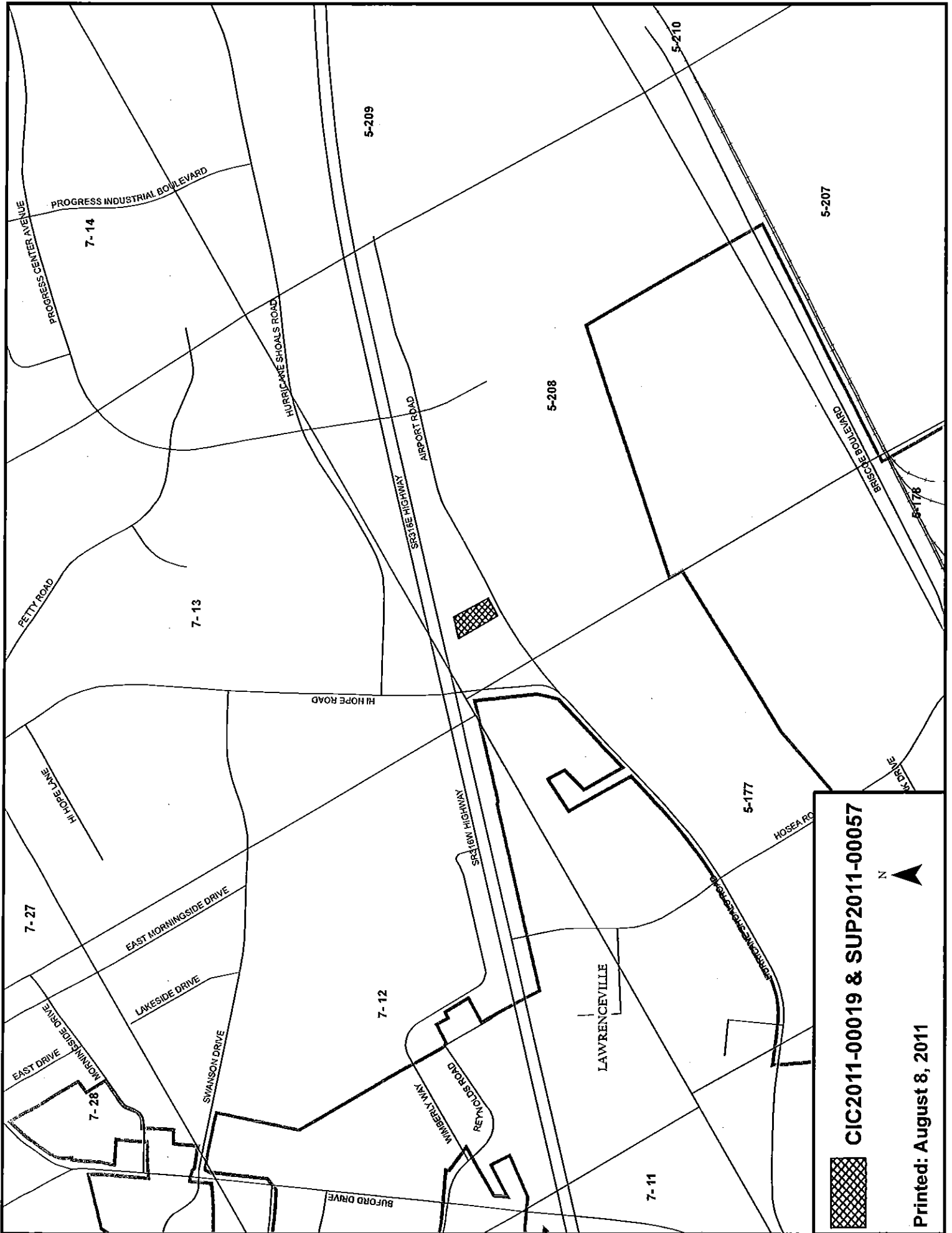
Reason: This storage area behind the building comprised of asphalt and gravel is necessary to operate both businesses due to off loading merchandise that will be entered into the main warehouse that is accessed through the rear of the building and to house vehicles awaiting repair. The automotive repair business has the capacity to house 5 vehicles at any given time and depending on workload, there are generally more vehicles awaiting repair than can be fitted into the building including but not limited to our service vans and personal vehicles as we do not park in the customer parking area in the front of the building. None of these vehicles can be seen from either side of the building or 316 because the entire property is fenced and screened specifically to eliminate motorists and customers from viewing or entering the rear of the property.

Sincerely,

Jonathan P Deegan



RECEIVED 8-5-11
CIC2011-00019



CIC2011-00019 & SUP2011-00057

Printed: August 8, 2011

N

PROGRESS INDUSTRIAL BOULEVARD

PROGRESS CENTER AVENUE

7-14

5-209

HURRICANE SHOALS ROAD

AIRPORT ROAD

5-210

5-207

PETTY ROAD

7-13

5-208

HI HOPE ROAD

SR 316E HIGHWAY

QUAINTON BOULEVARD

5-176

HI HOPE LANE

7-27

SR 316W HIGHWAY

5-177

EAST MORNINGSIDE DRIVE

HOSEA ROAD

LAKESIDE DRIVE

7-12

LAWRENCEVILLE

EAST DRIVE

7-28

SWANSON DRIVE

WIMBURY WAY

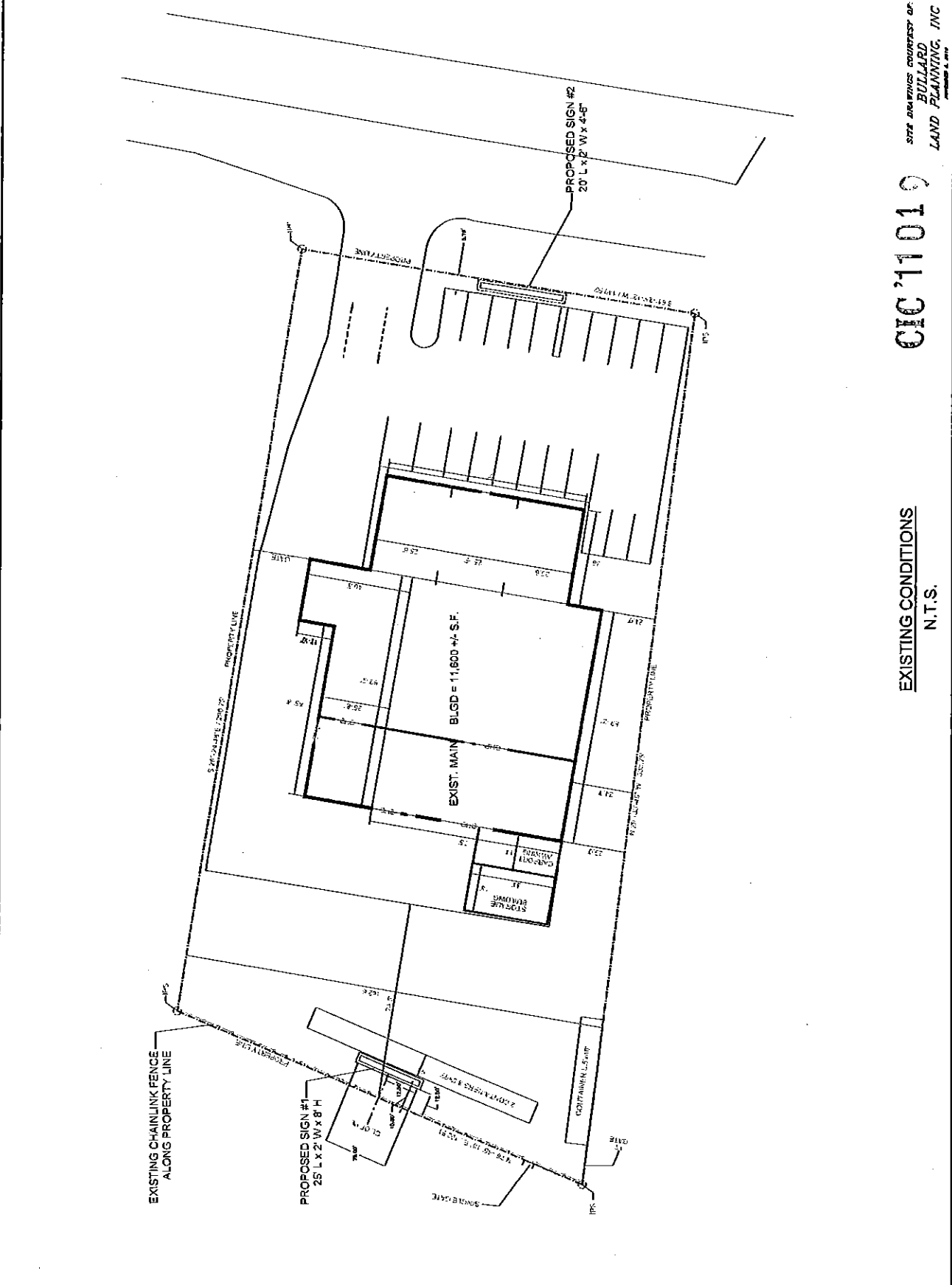
7-11

BUFORD DRIVE

SR 316E ROAD

FOR PERMIT & CONSTRUCTION DATE: 8/1/2011 PREP DATE: 8/1/2011 DRAWN BY: J. BROWN CHECKED BY: TJP	THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SPALDING DESIGN & CONSULTING, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF SPALDING DESIGN & CONSULTING, LLC IS STRICTLY PROHIBITED.	BUILDING DESIGN & CONSULTING 2222 FUL CRICK DRIVE LAMARVILLE, GEORGIA 30046 PHONE: (770) 914-5633 FAX: (770) 914-5633 EMAIL: SPALDINGDESIGN@YAHOO.COM WEB SITE: WWW.SPALDINGDESIGN.COM	DUGAN AUTOMOTIVE 659 AIRPORT ROAD LAMARVILLE, GEORGIA 30046	REVISION: _____ DATE: _____ PROPOSED SITE ADJUSTMENTS SCALE AS NOTED
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C1
SHEET 1 OF 1



STATE DRAWINGS COURTESY OF
 BULLARD
 LAND PLANNING, INC
 MEMPHIS, TN 38103

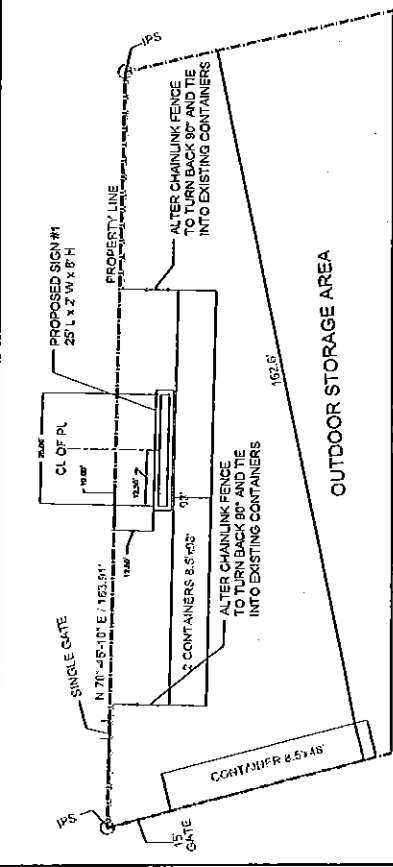
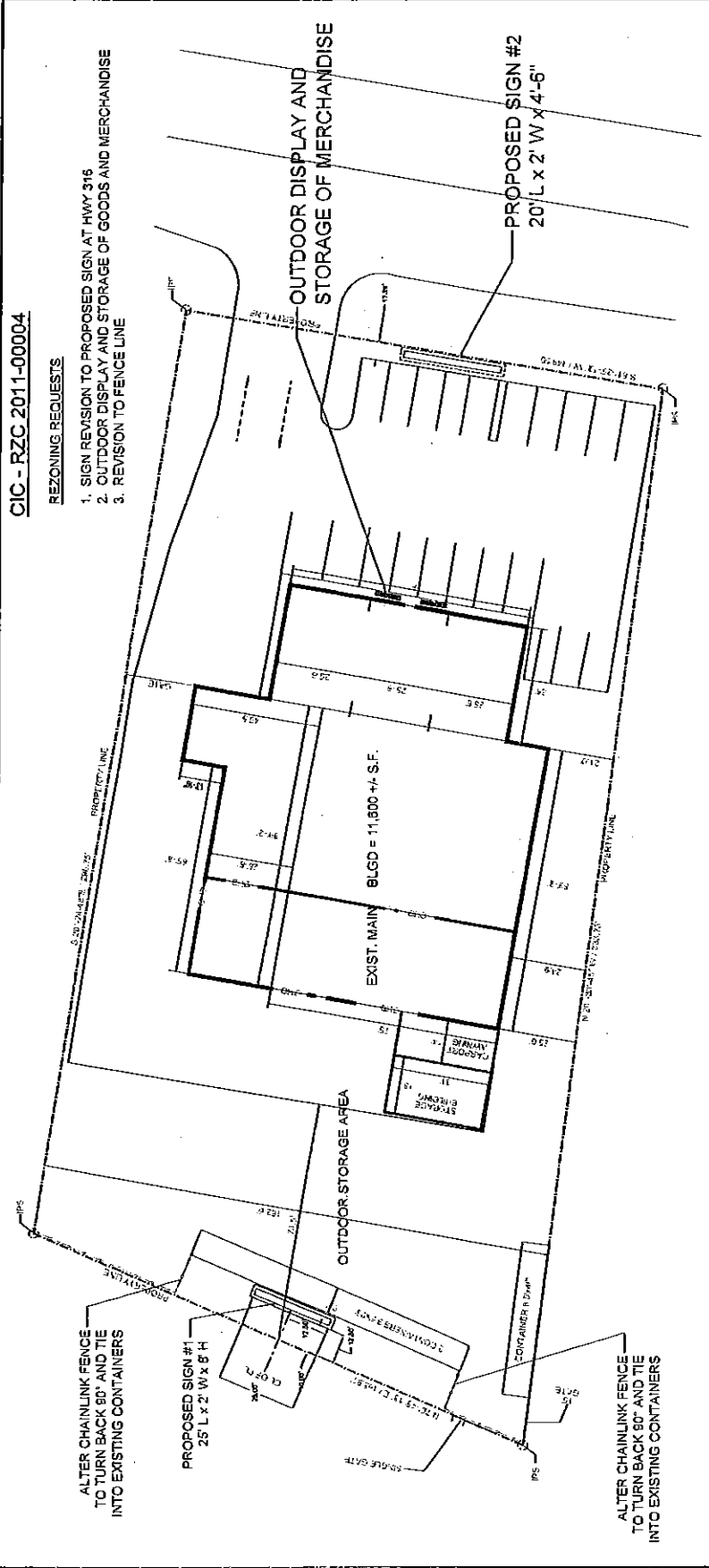
CIC '11 01 9

EXISTING CONDITIONS
 N.T.S.

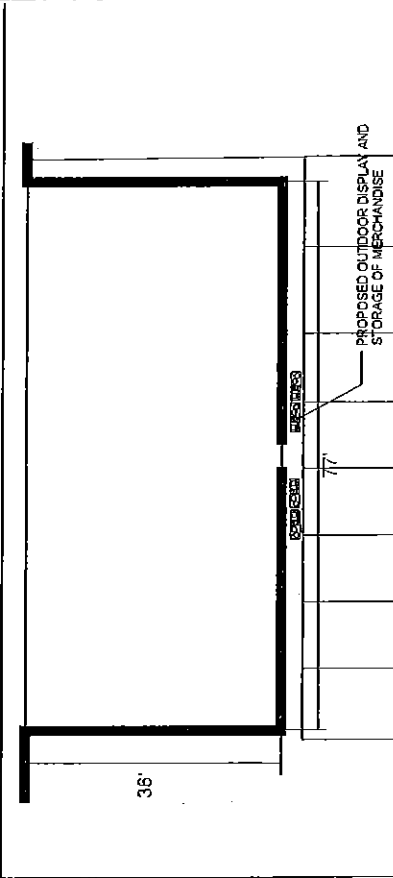
CIC - RZC-2011-00004

REZONING REQUESTS

1. SIGN REVISION TO PROPOSED SIGN AT HWY 316
2. OUTDOOR DISPLAY AND STORAGE OF GOODS AND MERCHANDISE
3. REVISION TO FENCE LINE



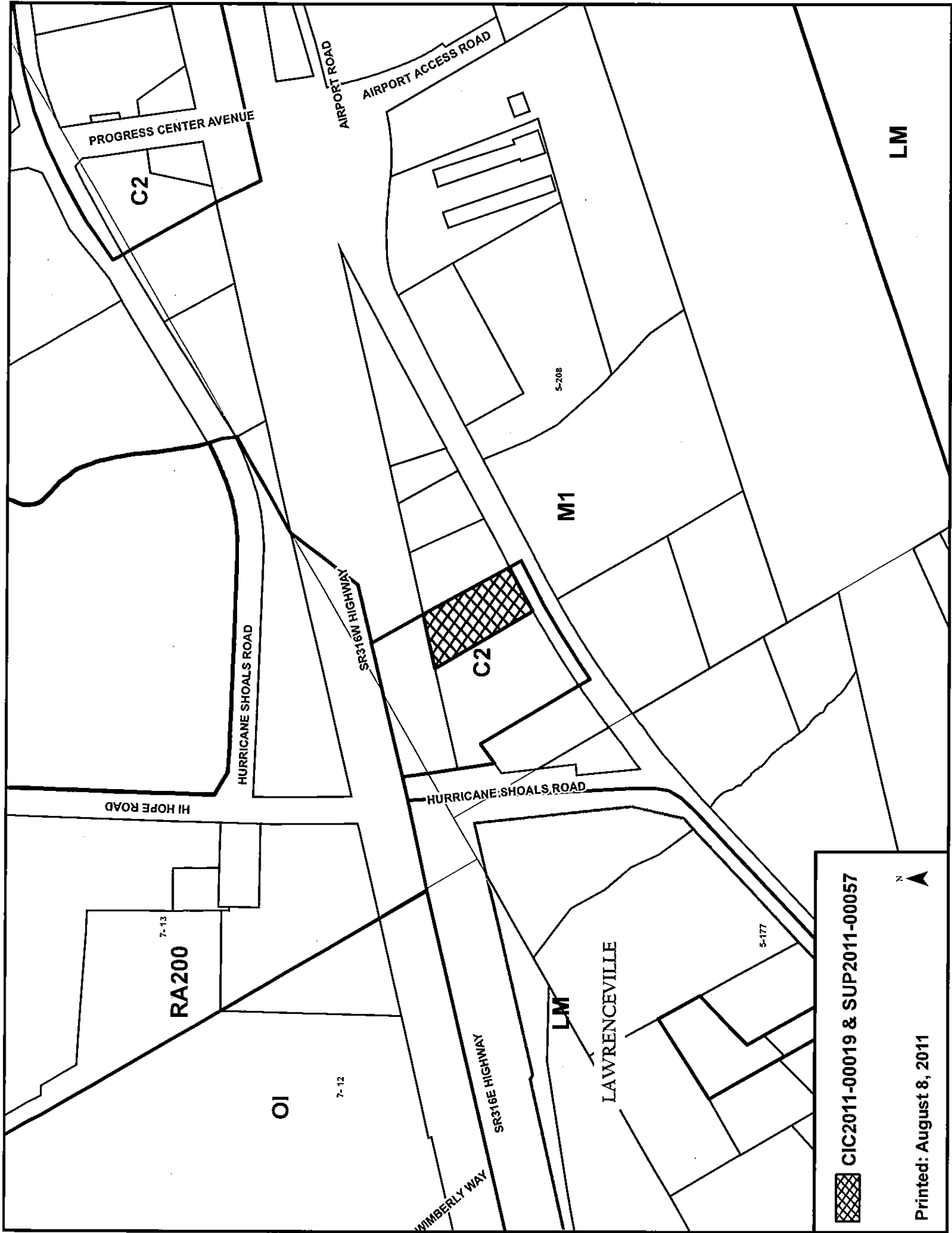
CIC CONDITIONS #1 & #3
N.T.S.




CIC '11019
N.T.S.

SEE DRAWINGS COURTESY OF
BULLARD
LAND PLANNING, INC
MEMPHIS, TN 38117

FOR PERMIT & CONSTRUCTION DATE: 01/20/11 PLOT DATE: 8/1/2011 PLOT NAME: 31-1411-00004 DRAWN BY: BRS CHECKED BY: WJP	THE FENCE IS TO BE INSTALLED AT APPROXIMATELY 10' FROM THE PROPERTY LINE. THE FENCE SHALL BE 6' HIGH AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MEMPHIS CODES.	BUILDING DESIGN & CONSULTING 2222 FAL GREEK LANDING LAWRENCEVILLE, GEORGIA 30046 PHONE: (770) 911-5555 FAX: (770) 911-5555 WWW.SPALDINGDESIGNS.COM	DUGAN AUTOMOTIVE 659 AIRPORT ROAD LAWRENCEVILLE, GEORGIA 30046	REVISION: _____ DATE: _____ PROPOSED SITE IMPROVEMENTS SCALE: AS NOTED	C2 SHEET 1 OF 1
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 CIC2011-00019 & SUP2011-00057



Printed: August 8, 2011

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C2

RA200

OI

LM

LAWRENCEVILLE

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
CHANGE IN CONDITIONS AND SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**CIC2011-00020**
ZONING :C-2
LOCATION :500 BLOCK OF ATHENS HIGHWAY
MAP NUMBER :R5131 202
ACREAGE :1.96 ACRES
PROPOSED DEVELOPMENT :CHANGE IN CONDITIONS TO REMOVE USE
RESTRICTION
SQUARE FEET :16,000 SQUARE FEET
COMMISSION DISTRICT :(3) BEAUDREAU

CASE NUMBER :**SUP2011-00059**
ZONING :C-2
LOCATION :500 BLOCK OF ATHENS HIGHWAY
MAP NUMBER :R5131 202
ACREAGE :1.96 ACRES
PROPOSED DEVELOPMENT :LAWN/GARDEN EQUIPMENT SALES AND SERVICE
COMMISSION DISTRICT :(3) BEAUDREAU

FUTURE DEVELOPMENT MAP: **CORRIDOR MIXED-USE**

APPLICANT: CHRIS MOON
P. O. BOX 218
LOGANVILLE, GA 30052

CONTACT: ERIC JOHANSEN PHONE: 678.571.4843

OWNER: CREEK SIDE VENTURE PARTNERS
P. O. BOX 312
LOGANVILLE, GA 30052

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests a change in conditions of a rezoning case (RZC-03-043) to remove Condition 2.E., which prohibits outdoors sales and storage on the subject property. The applicant is also requesting a Special Use Permit to allow a lawn and garden equipment sales and service facility. The subject property is located at 539 Athens Highway, near the city limits of Loganville.

The subject property is currently undeveloped, and the applicant is proposing to construct a 16,000 square foot commercial building to be used for the lawn and garden equipment sales and service facility.

In November of 2004, the subject property was rezoned from R-100 (Single Family Residence District) to C-2 (General Business District) as part of the Creekside Sports Center commercial development. When originally zoned, the subject property and the related tracts of land were planned to be developed with commercial and sports related uses.

Condition 2.E. of RZC-03-043 prohibits outdoors sales and storage on the subject property, and reads as follows:

2.E. Outdoors sales and/or storage shall be prohibited.

The applicant proposes to eliminate Condition 2.E. of the aforementioned case. The applicant has operated their business in another county and has outgrown their existing space. The applicant plans to relocate the business to the subject location on Athens Highway, and states that the outdoor display and sales of their lawn and garden equipment is desired.

The area surrounding the subject property is characterized by commercial/retail uses, with residential developments located beyond the U.S. 78/Athens Highway corridor. The uses immediately around the subject property include retail centers, dentist and chiropractor offices, a bowling alley, and an indoor soccer facility. Located within several miles of the subject property along U.S. 78, in either direction, are similar lawn and garden sales and service facilities with outdoor sales and storage.

In conclusion, the requested change in conditions may be appropriate in light of the similar uses along Athens Highway and the commercial nature of the area. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the request.

ZONING HISTORY:

In 1970, the subject property was zoned RA-200 (Agriculture-Residence District). In 1973, the subject property was rezoned to R-100 (Single Family Residence District), through an areawide rezoning. In 2003, the subject property was rezoned to C-2, pursuant to RZC-03-043.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams, and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish, and Wildlife Service – National

Wetlands Inventory map on file with the Gwinnett Department of Planning and Development.

DEVELOPMENT REVIEW SECTION COMMENTS:

The Buffer, Landscape and Tree Ordinance requires a ten-foot wide landscape strip adjacent to all street rights-of-way for non-residential developments.

The Buffer, Landscape and Tree Ordinance requires submittal and approval of a Tree Preservation and Replacement Plan prepared by a professional landscape architect prior to securing a Land Disturbance or Development permit.

Section 606.3 of the 1985 Zoning Resolution requires screening of dumpsters and loading/unloading facilities.

Parking lots and interior driveways shall be designed in accordance with Section 1001 of the 1985 Zoning Resolution.

Section 6.3.3 and/or 6.3.4 of the Development Regulations requires a 200-foot deceleration lane with a 50-foot taper at each project entrance that proposes access to a Minor Collection Street or Major Thoroughfare. Right-of-way dedication to accommodate the deceleration lane and an 11-foot shoulder is also required. Reduction in length of a deceleration lane requires approval of a Modification by the Development Division; elimination of a deceleration lane requires approval of a Waiver by the Board of Commissioners.

Project access and required improvements along State routes or U.S. Highways (i.e., number and design of driveways, deceleration lanes, median breaks, etc.) will be subject to review and approval of the Georgia Department of Transportation.

Section 6.13 of the Development Regulations requires construction of five-foot wide sidewalks along all exterior roadways adjoining the project, and four-foot wide sidewalks adjacent to both sides of all interior public streets (excluding cul-de-sac turnarounds).

The developer must submit detailed site development plans, including a landscape and tree preservation/replacement plan, for review and approval of the Development Division prior to any construction.

The developer must obtain a Land Disturbance or Development Permit from the Development Division prior to any construction.

Section 8.2.1 of the Development Regulations requires submittal of a Storm Water Management Report for the project prior to obtaining a Land Disturbance or Development Permit.

Section 1.5.1.c of the Floodplain Management Ordinance requires that the lowers floor including the basement, of all non-residential buildings be constructed at an elevation of at least one foot above the 100-year floodplain.

STORMWATER REVIEW SECTION COMMENTS:

Stormwater Management does not object to the applicant's request as noted on the application. The property appears to contain a portion of floodplain along the eastern border. The proposed conceptual plan may require revision. All stormwater best management practices must be addressed upon development permit issuance, if applicable.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

No comment.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 12-inch water main located on the northern right-of-way of Athens Highway.

Due to the uncontrollable variables, the Department of Water Resources makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. Demands imposed by the proposed development may require reinforcements or extensions of existing water mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located on the property.

The subject development is located within the Brushy Fork Creek / Pole Bridge service area. There are currently no connection restrictions within this service area. Treatment capacity within this area is presently available on a first come - first serve basis.

Demands imposed by the proposed development may require reinforcements or extensions of existing sewer mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department. Developer shall provide easements for future sewer connection to all locations designated by DWR during plan review.

As-built information for this department is dependent upon outside entities to provide record drawings for the utilities. Therefore this department does not guarantee the accuracy of the information provided.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances. Proceeding design, construction, inspection, and final acceptance of the required utilities, service to these utilities would then become available under the applicable utility permit rate schedules.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit civil site drawings to Building Plan Review for review and approval.
2. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for each building for review and approval by Building Plan Review.
3. Each building shall comply with the height and area limitations of Table 503 and the fire resistive and horizontal separation requirements of Table 601 and 602 of the 2006 International Building Code with Georgia state amendments based on occupancy group classification, type of construction, and location of each building from property lines and other buildings.
4. Upon completion of plan review approvals, the applicant shall obtain a building permit for each building and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6040 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

Fire Plan Review has no objections to the above rezoning requests, under the following conditions:

1. Applicant submits civil drawings to Fire Plan Review for review and approval.
2. Applicant submits architectural drawings to Fire Plan Review for review and approval.
3. Upon completion of plan review approvals, applicant successfully achieves a

satisfactory Fire field inspection, for issuance of a Certificate of Occupancy -
Business Operation.

For assistance, you may contact this office at (678) 518-6000, Monday through Friday,
from the hours of 8:00 a.m. to 5:00 p.m.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Additions in **bold**

Deletions in ~~strikethrough~~

Approval as C-2 subject to the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Retail and service commercial and accessory uses. **A lawn and garden equipment sales and service business, with outdoor sales and storage, may be allowed as a special use.**
 - B. Buildings shall be finished with architectural treatments of brick, stone, or stucco.
 - C. **Outdoor display of lawn and garden merchandise or equipment shall be restricted to paved areas immediately adjoining the proposed building. No display of merchandise or equipment shall be permitted within the required 10-foot or 5-foot landscape strips.**
 - D. **Outdoor sales, storage and display shall be limited to during the businesses normal hours of operation, and shall be prohibited overnight.**
2. To satisfy the following site development considerations:
 - A. Provide a 10-foot wide landscaped strip outside of all rights-of-way.
 - B. Provide 5-foot wide landscaped strips adjacent to all internal property lines.
 - C. Provide a 37.5-foot wide natural buffer, undisturbed except for approved access and utility crossings and re-plantings, where sparsely vegetated, adjacent to residential property along the east property line.
 - D. Provide a minimum 100-foot wide natural, undisturbed buffer and 150-foot impervious surface setback adjacent to the banks of all perennial streams within or adjacent to the property (as shown on the most recent USGS 7.5 minute quadrangle map). Restore the natural buffer in any area previously disturbed.
 - E. ~~Outdoor sales and/or storage shall be prohibited.~~

- F. Dumpsters shall be screened by an 8-foot high brick wall.
- G. No billboards shall be permitted.
- H. Ground signage shall be limited to a single monument-type sign with masonry base, not to exceed 10-feet in height.
- I. The number, location, and design of driveways onto Athens Highway shall be subject to review and approval of the Georgia Department of Transportation.
- J. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
- K. Provide wet detention facilities, or approved alternatives, meeting design standards for such facilities within the Big Haynes Creek Watershed. Design and maintenance plans for the wet detention facilities shall be subject to review and approval of the Planning and Development Department and the Gwinnett Department of Transportation Stormwater Management Unit.
- L. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent residential properties.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

With appropriate conditions, the proposed development could be suitable at this location as there are other similar commercial developments and businesses located along Athens Highway.

ADVERSE IMPACTS

With the recommended conditions, minimal adverse impacts on adjacent properties are anticipated.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

A minor increase in impacts on public facilities from traffic, utility demand, and stormwater runoff could be anticipated.

CONFORMITY WITH POLICIES

The proposed development is considered consistent with the 2030 Unified Plan, which supports commercial uses along this corridor.

CONDITIONS AFFECTING ZONING

The location of the subject property along a busy commercial corridor, and similarly intense uses in the area, could support the request for a lawn/garden sales and service facility with outdoors sales and display.

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:
Proposed use will be consistent with the immediate and surrounding area

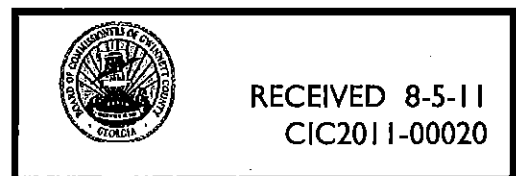
- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:
No the proposed use will not adversely affect the immediate and surrounding area.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:
Yes the property has a reasonable economic use as a C-2 property

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:
No, the proposed changes will not result in a burdensome use of the above.

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:
Yes, the proposed changes are for C-2 commercial type uses

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:
There are similar type businesses as the one proposed in the near vicinity of the Subject Property. Highway 78 has enough vehicle capacity to support the proposed use, and the Subject Property has been master planned with utilities and curb cuts for future commercial type uses of the area.





August 3, 2011

Gwinnett County Board of Commissioners
75 Langley Drive
Lawrenceville, GA 30045

**Re: 539 Athens Highway (Highway 78) – Letter of Intent
Inland Project #11-011 / Chris Moon
Parcel R5131 202
Gwinnett County, GA**

Dear Commissioners,

Inland Group, LLC ("Inland") has been retained by Chris Moon (the "Applicant") to pursue a Special Use Permit ("SUP") and a Change in Conditions ("CIC") for property located at 539 Athens Highway, Loganville, GA and further described as Parcel R5131 202 (the "Subject Property"). **The Applicant is the Contract Purchaser of the Subject Property.** The Subject Property is currently zoned C-2 as part of the previous actions approved by the Board of Commissioners under RZC-03-043. The Subject Property is approximately 1.96 acres located on the northern side of Athens Highway, and is also known as Tract 3 of the Creek Side Sports Center Final Plat.

The intended use of the Subject Property is a Lawnmower and Tractor Sales & Repair Facility with an outdoor display area for equipment and sales, sales showroom to display other items, service facility for repairs, and a parts room. A SUP is required for the Subject Property to permit the special uses of **Heavy Equipment and Farm Equipment Sales and Service** under the C-2 zoning designation. A CIC is required for the Subject Property to remove Condition (2E) which states "**Outdoor Sales and/or Storage shall be prohibited**". Both of these items are critical to the success of the Applicant on the Subject Property and are vital for his entire business to properly operate and grow in the future.

Currently, the Applicant is Owner and Operator of Stephens Repair Shop in Loganville, GA and is widely respected in his field of expertise. Their existing location is less than 8,000 square feet and they have simply outgrown that space. The Athens Highway corridor is the ideal location for their business model as it provides easy access from all parts of the metro Atlanta area. The proposed facility on the Subject Property will be approximately 16,000 square feet consisting of a Sales, Service, and Parts for Outdoor Lawn and Farm Equipment. The Subject Property has been recently mass graded (by others) with utilities stubbed out to include Sanitary Sewer, Water, and Storm Water. A Master Detention facility has been constructed and is

2180 Satellite Boulevard / Suite 400-15 / Duluth, Georgia 30097
(404) 355-6700 Phone (404) 355-6760 Fax
www.inlandgrp.com



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appropriately sized to handle the proposed development. The proposed improvement to the Subject Property will all be new construction and the architectural treatments will meet the minimum standard of the immediate and surrounding area which is largely composed of brick and stone combinations. The Subject Property has a full length deceleration, curb cut with full access to Athens Highway, and pedestrian sidewalks along the entire frontage. Athens Highway is considered an Urban Freeway and Expressway by the GDOT Functional Classification as part of The Gwinnett Unified Plan: Comprehensive Transportation Plan, and has a traffic counts in excess of 34,000 ADT between Rosebud Road and the Walton County Line per the current Gwinnett County Traffic Counts.

We respectfully request your approval of this request of the SUP to permit **Heavy Equipment and Farm Equipment Sales and Service** under the C-2 zoning designation, and the CIC for the remove **Condition (2E)** which states *"Outdoor Sales and/or Storage shall be prohibited"*. We would be more than happy to meet with Staff and the District Representatives on-site or at the current Stephens Repair Shop facility to discuss in greater detail the core business operations and future growth plans.

Thank you for your consideration of this request.

Sincerely,



Inland Group, LLC
Agent for the Applicants

cc: Chris Moon, Applicant
File



RECEIVED 8-5-11
CIC2011-00020

CASE NUMBER RZC-03-043

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

<u>Present</u>	<u>VOTE</u>
Wayne Hill, Chairman	<u>AYE</u>
Marcia Neaton, District 1	<u>AYE</u>
Albert Nasuti, District 2	<u>ABSENT</u>
John Dunn, District 3	<u>AYE</u>
Kevin Kenerly, District 4	<u>AYE</u>

On motion of COMM. DUNN, which carried 4-0, the following resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from

R-100 to C-3 (APPROVED AS C-2)

by KAREN NASWORTHY for the

proposed use of COMMERCIAL RETAIL USES (REDUCTION IN BUFFERS)

on a tract of land described by the attached legal description, which

is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on OCTOBER 28, 2003 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners this the 28TH day of OCTOBER, 2003, that the aforesaid application to amend the Official Zoning Map from R-100 to C-3 is hereby APPROVED AS C-2 subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Retail and service commercial and accessory uses.
 - B. Buildings shall be finished with architectural treatments of brick, stone, or stucco.
2. To satisfy the following site development considerations:
 - A. Provide a 10-foot wide landscaped strip outside of all rights-of-way.
 - B. Provide 5-foot wide landscaped strips adjacent to all internal property lines.
 - C. Provide a 37.5-foot wide natural buffer, undisturbed except for approved access and utility crossings and replantings, where sparsely vegetated, adjacent to residential property along the east property line.

- D. Provide a minimum 100-foot wide natural, undisturbed buffer and 150-foot impervious surface setback adjacent to the banks of all perennial streams within or adjacent to the property (as shown on the most recent USGS 7.5 minute quadrangle map). Restore the natural buffer in any area previously disturbed.
- E. Outdoor sales and/or storage shall be prohibited.
- F. Dumpsters shall be screened by an 8-foot high brick wall.
- G. No billboards shall be permitted.
- H. Ground signage shall be limited to a single monument-type sign with masonry base, not to exceed 10-feet in height.
- I. The number, location, and design of driveways onto Athens Highway shall be subject to review and approval of the Georgia Department of Transportation.
- J. No banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site.
- K. Provide wet detention facilities, or approved alternatives, meeting design standards for such facilities within the Big Haynes Creek Watershed. Design and maintenance plans for the wet detention facilities shall be subject to review and approval of the Planning and Development Department and the Gwinnett Department of Transportation Stormwater Management Unit.

- L. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent residential properties.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: _____

F. Wayne Hill
F. Wayne Hill, Chairman

Date Signed: _____

Nov. 5, 2003

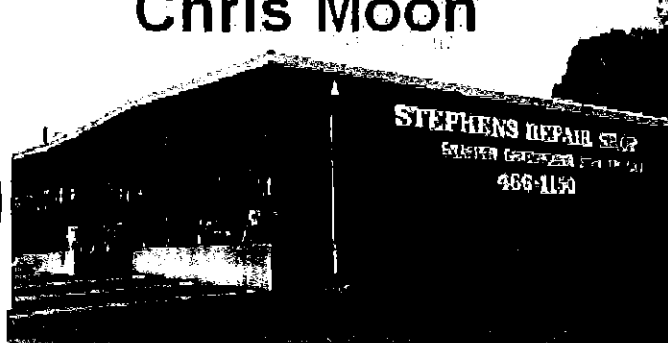
ATTEST:

Brenda Maddy

County Clerk

STEPHENS REPAIR SHOP

Chris Moon



www.stephensrepairshop.com

Lawn Mowers, Saws, Sales, Parts & Service

765 Highway 20, Loganville, GA 30052, Just South of Hwy 78

770-466-1150

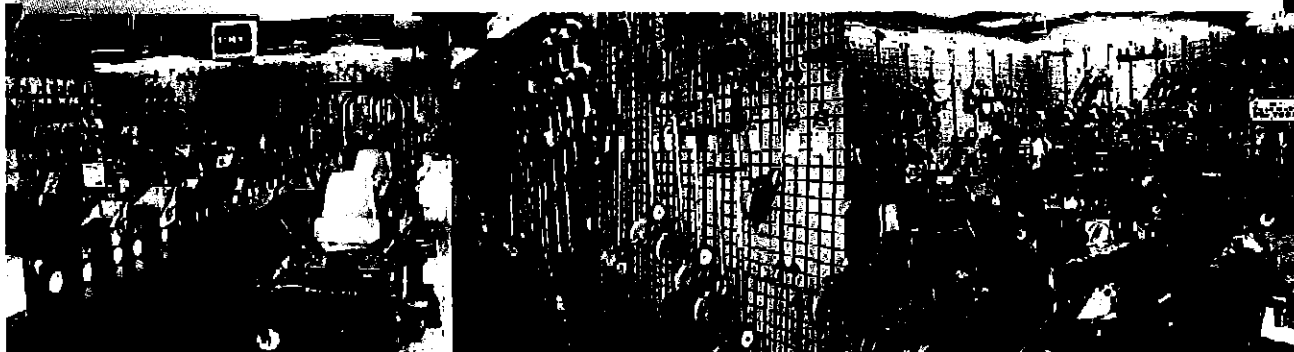
We offer pick-up & delivery

Hours: Mon-Fri 8am-5:30pm; Sat 8am-4pm

Toro Mowers & Tractors & Power Equipment

Snapper & Toro Mowers & Tractors
Stihl Power Tools

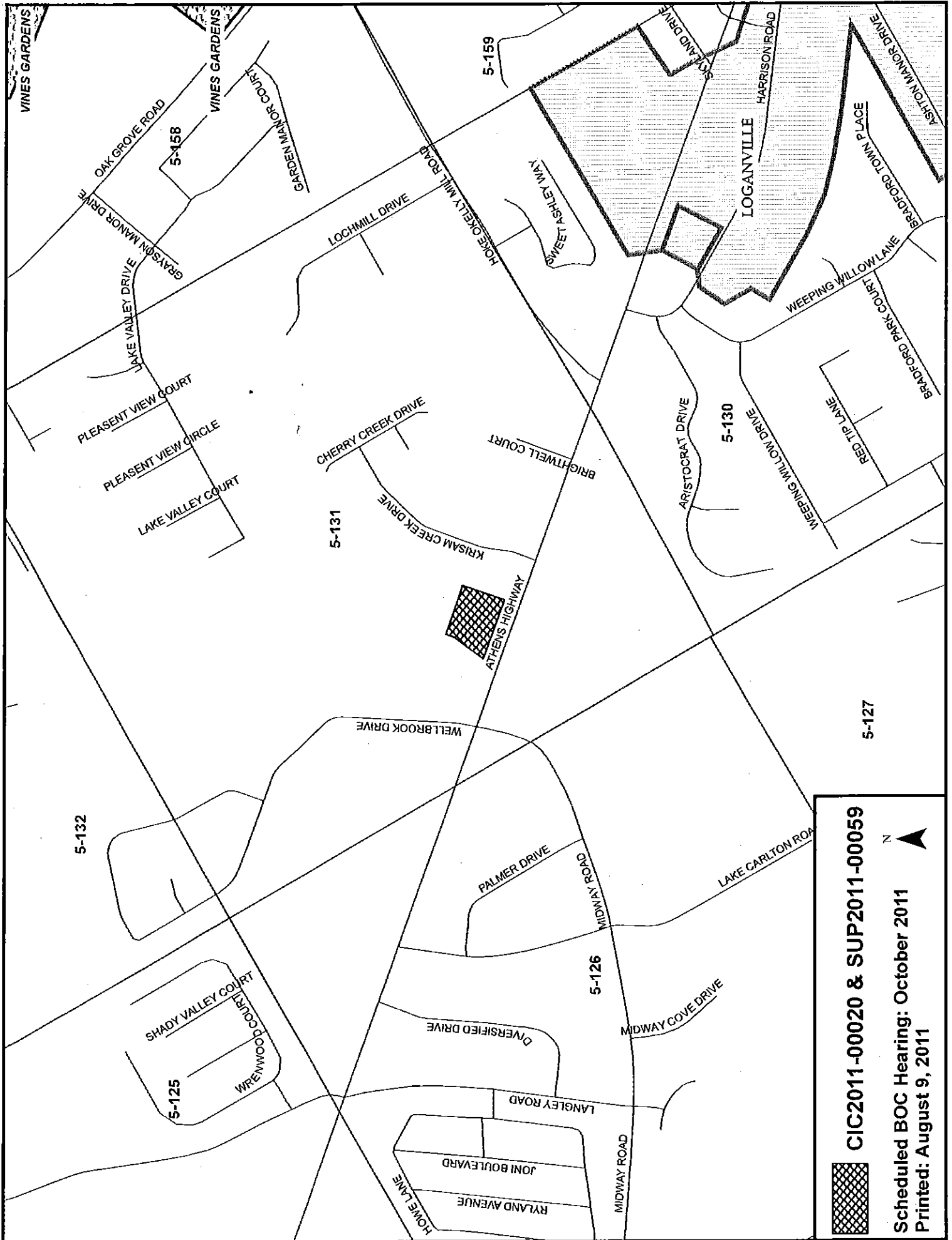
Come and visit our large new showroom and see our big selection of all types of lawn mowers, lawn equipment and chain saws. We also have a huge inventory of parts for most every brand known to man. We service all brands. We have a large staff of trained technicians. We're a landmark here in Loganville, and we want to give you the very best service possible for every lawn mower and chain saw need, whether it's for residential or commercial use. Thank you for your business.




[Back to Loganville Yellow Pages](#)

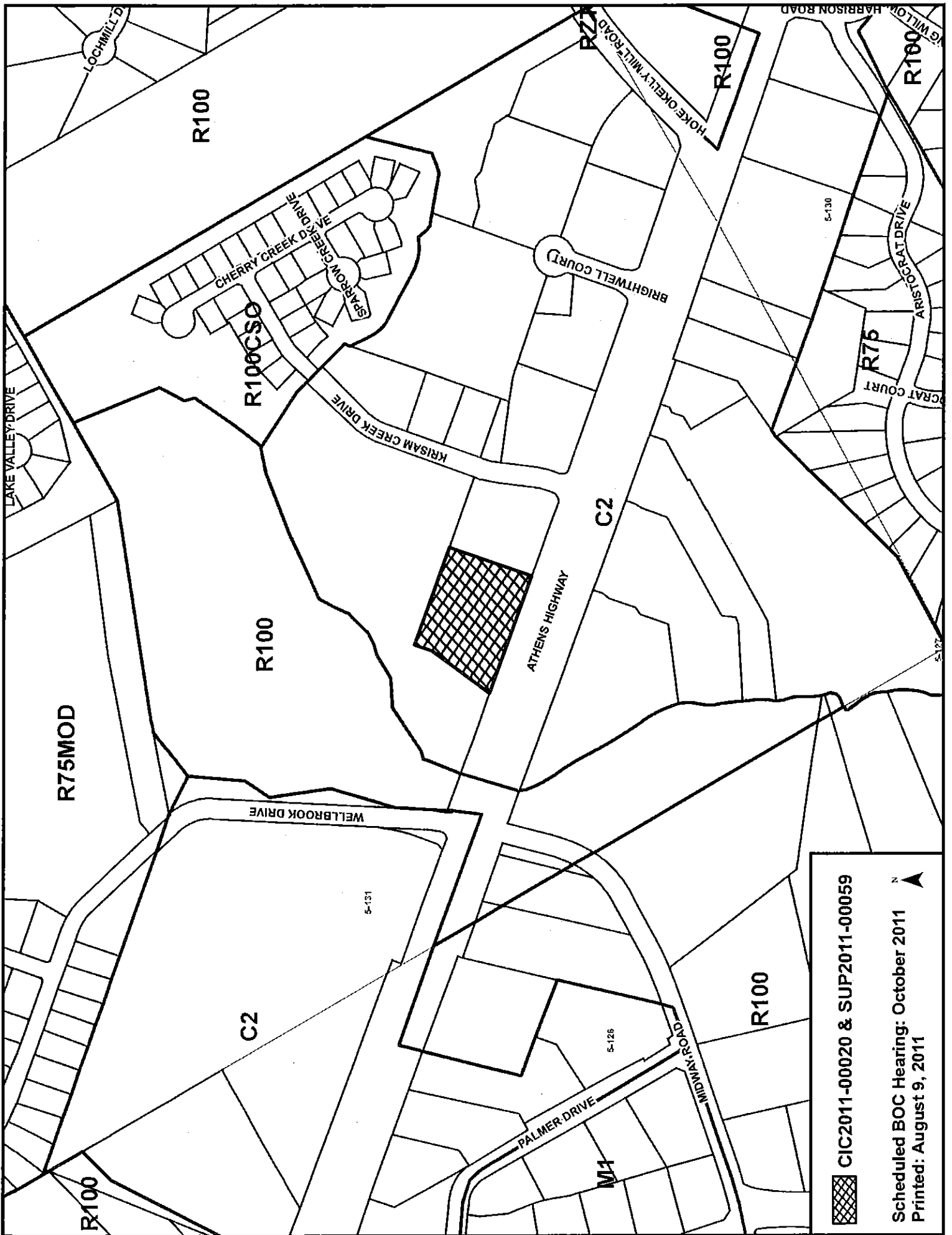



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CIC2011-00020 & SUP2011-00059
 Scheduled BOC Hearing: October 2011
 Printed: August 9, 2011






 CIC2011-00020 & SUP2011-00059

Scheduled BOC Hearing: October 2011

Printed: August 9, 2011

N 

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2011-00055**
ZONING :R-75
LOCATION :0-100 BLOCK OF LEVEL CREEK ROAD
:4800 BLOCK OF WEST PRICE ROAD
MAP NUMBER :R7288 007
ACREAGE :3.29 ACRES
PROPOSED DEVELOPMENT :FAMILY PERSONAL CARE HOME
SQUARE FEET :4,300 SQUARE FEET
COMMISSION DISTRICT :(I) LASSETER

FUTURE DEVELOPMENT MAP: **EXISTING/EMERGING SUBURBAN**

APPLICANT: CHARLES M. GRENNOR
89 LEVEL CREEK ROAD
SUWANEE, GA 30024

CONTACT: CHARLES GRENNOR PHONE: 770.337.5329

OWNER: CHARLES M. GRENNOR
89 LEVEL CREEK ROAD
SUWANEE, GA 30024

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests a Special Use Permit on a 3.29-acre parcel, zoned R-75 (Single Family Residence District), to allow a family personal care home. The property is located on the south side of Level Creek Road, at its intersection with West Price Road. The property contains an existing residence and swimming pool, and is wooded along the rear of the property. Several accessory structures and a paved asphalt area are located to the rear of the house.

The property is developed with a single-story, single-family dwelling, a detached garage and an existing concrete driveway/parking area. The letter of intent states that the family personal care home would serve 3-4 adults. There is no indication of the proposed staffing level necessary to care for the 4 residents. The applicant proposes no modifications to the structure. Access to the site is provided by 2 driveways along Level Creek Road and a single driveway along West Price Road.

ZONING HISTORY:

The subject property has been zoned R-75 since 1970.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams, and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish, and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett Department of Planning and Development.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

Stormwater best management practices must be addressed upon development permit issuance, if applicable.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

No comment.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

Must connect to sanitary sewer if available to property (within 200 feet of property line). If sewer is not available, contact GCEHD concerning septic involvement. Must submit level 3 soil report and detailed site plan with 2 foot topo soils transposed onto plat. Contact GCEHD concerning food service establishments planned for this site.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 16-inch water main located on the southern right-of-way of Level Creek Road, and a 16-inch water main located on the eastern right-of-way of West Price Road.

Due to the uncontrollable variables, the Department of Water Resources makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. Demands imposed by the proposed development may require reinforcements or extensions of existing water mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located approximately 1,200 feet east of the property in the right-of-way of Allison Drive.

The subject development is located within the Level Creek service area. There are currently no connection restrictions within this service area. Treatment capacity within this area is presently available on a first come - first serve basis.

Demands imposed by the proposed development may require reinforcements or extensions of existing sewer mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department. Developer shall provide easements for future sewer connection to all locations designated by DWR during plan review.

As-built information for this department is dependent upon outside entities to provide record drawings for the utilities. Therefore this department does not guarantee the accuracy of the information provided.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances. Proceeding design, construction, inspection, and final acceptance of the required utilities, service to these utilities would then become available under the applicable utility permit rate schedules.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

Fire Plan Review has no objections to the above rezoning requests, under the following conditions:

1. Applicant submits civil drawings to Fire Plan Review for review and approval.
2. Applicant submits architectural drawings to Fire Plan Review for review and approval.
3. Upon completion of plan review approvals, applicant successfully achieves a satisfactory Fire field inspection, for issuance of a Certificate of Occupancy - Business Operation.

For assistance, you may contact this office at (678) 518-6000, Monday through Friday, from the hours of 8:00 a.m. to 5:00 p.m.

DEPARTMENT ANALYSIS:

The property is located on the south side of Level Creek Road, at its intersection with West Price Road. The property is developed with a single-family dwelling, swimming pool, several accessory structures, an asphalt paved area. The property is primarily open and grassed; however, the rear of the property contains some tree vegetation.

The 2030 Unified Plan Future Development Map indicates that the site is located within an Existing/Emerging Suburban Character Area. This Character Area primarily supports residential uses, and encourages a variety of housing options. The subject property's use as a Family Personal Care Home for elderly housing and care could be compatible with the recommendations of the Unified Plan.

The surrounding area is developed with several institutional uses along with single-family homes. North Gwinnett High School, North Gwinnett Baptist Church and Savannah Plantation Personal Care Home are located within the immediate vicinity of the property. The subject property contains 3.29-acres, is not part of a platted subdivision and is adequately separated from neighboring residences. Given these circumstances, a family personal care home could be compatible with adjacent and nearby institutional and residential uses.

In conclusion, the requested Special Use Permit could be compatible with policies of the Unified Plan and the residential zoning and development patterns of the area. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a Special Use Permit for a Family Personal Care Home subject to the following enumerated conditions:

1. Limited to a Family Personal Care Home providing residence and care for elderly individuals (clients) residing in the home.
2. Prior to commencing the business, obtain all necessary permits to bring the dwelling and property up to code for Family Personal Care Home occupancy.
3. Maintain a 20-foot buffer along exterior property lines. The buffer shall remain undisturbed except for existing improvements/structures and the addition of supplemental plantings where sparsely vegetated.
4. Exterior signage, other than one permitted ground sign, shall be prohibited.
5. No exterior changes shall be permitted which alter the residential character of the dwelling, except those required to bring the dwelling up to code for family personal care home occupancy. Any future renovations or additions shall be subject to review and approval of the Director of Planning and Development.
6. The existing accessory buildings may be utilized for activities, but may not be used or converted for residential/sleeping quarters.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING EXERCISE OF ZONING

SUITABILITY OF USE

The requested Special Use Permit for a family personal care home could be suitable in light of the residential nature of zoning and development in the area, and the property's size and separation from neighboring residences.

ADVERSE IMPACTS

With conditions restricting signage and requiring the residence to meet all applicable State and County codes, potential impacts could be reduced.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

It is anticipated there would be some additional impacts on public facilities in the form of traffic and utility demand. Potential future building or parking expansions could be expected to increase storm water runoff.

CONFORMITY WITH POLICIES

The request could be considered compatible with policies of the 2030 Unified Plan, which support residential uses for the area.

CONDITIONS AFFECTING ZONING

In light of the existing operation of a larger personal care home, operating across the street from this location without complaint, the addition of a family personal care home could be suitable.

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

YES

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

NO, OUR RESIDENTS WILL NOT HAVE ANY CONTACT OR ACCESS TO ANY OF THE NEIGHBORING PROPERTIES.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

YES

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

NO, THERE WILL BE NO INCREASE IN TRAFFIC

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

YES

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

YES



July 12, 2011

Gwinnett County
Planning and Development
One Justice Square
446 West Crogan St. Suite 250
Lawrenceville, GA 30046

Re: Letter of Intent
Special Use Permit Application
89 Level Creek Road
Suwanee, GA 30024

To Whom It May Concern:

This letter of intent is submitted to comply with the rules and requirements as specified by the Gwinnett County Planning Division and Special Use Permit Application. I am requesting a special use permit to open a family personal care home at the above location.

- The name of the family personal care home will be Rebecca Manor.
- The home will provide housing and daily living assistance to 3-4 residents.
- The property is currently zoned for R-75 and sits on 3.3 acres.

With an ever increasing need for senior housing and care in the Gwinnett County area, our goal is to provide a home environment that ideally suits their lifestyle at an affordable cost.

Thank you for your consideration in granting this special use permit in order to allow this family personal care home to serve the needs of residents in our community.

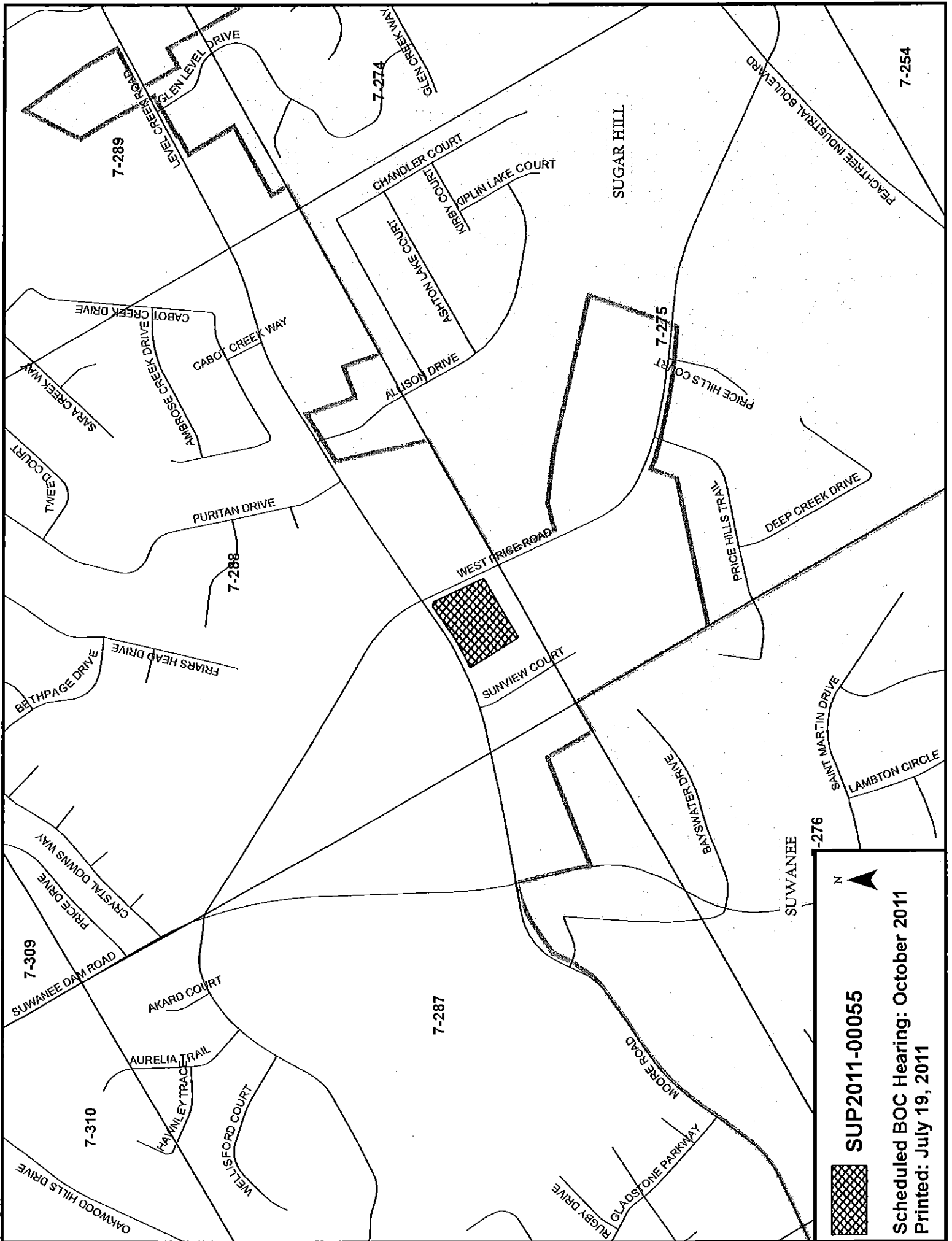
Sincerely,




Charles M. Grennor
Owner



RECEIVED 7-13-11
SUP2011-00055



 **SUP2011-00055**
Scheduled BOC Hearing: October 2011
Printed: July 19, 2011

7-254

7-289

7-274

7-275

7-288

7-287

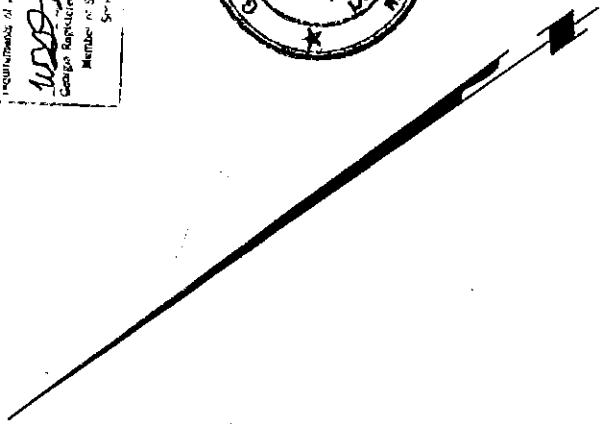
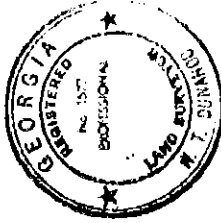
7-276

603-7

7-310

N

In my opinion, this is a correct representation of the land shown and has been prepared in conformity with the requirements of the requirements of the State of Georgia.
W.D. Jones
 Georgia Registered Surveyor No. 1527
 Member of Surveying and Mapping Society of Georgia



BEING TRACT 1 OF OUR SURVEY FOR THOMAS E. ROBINSON, JR.
 DATED 4-24-91; REVISED 2-22-93.

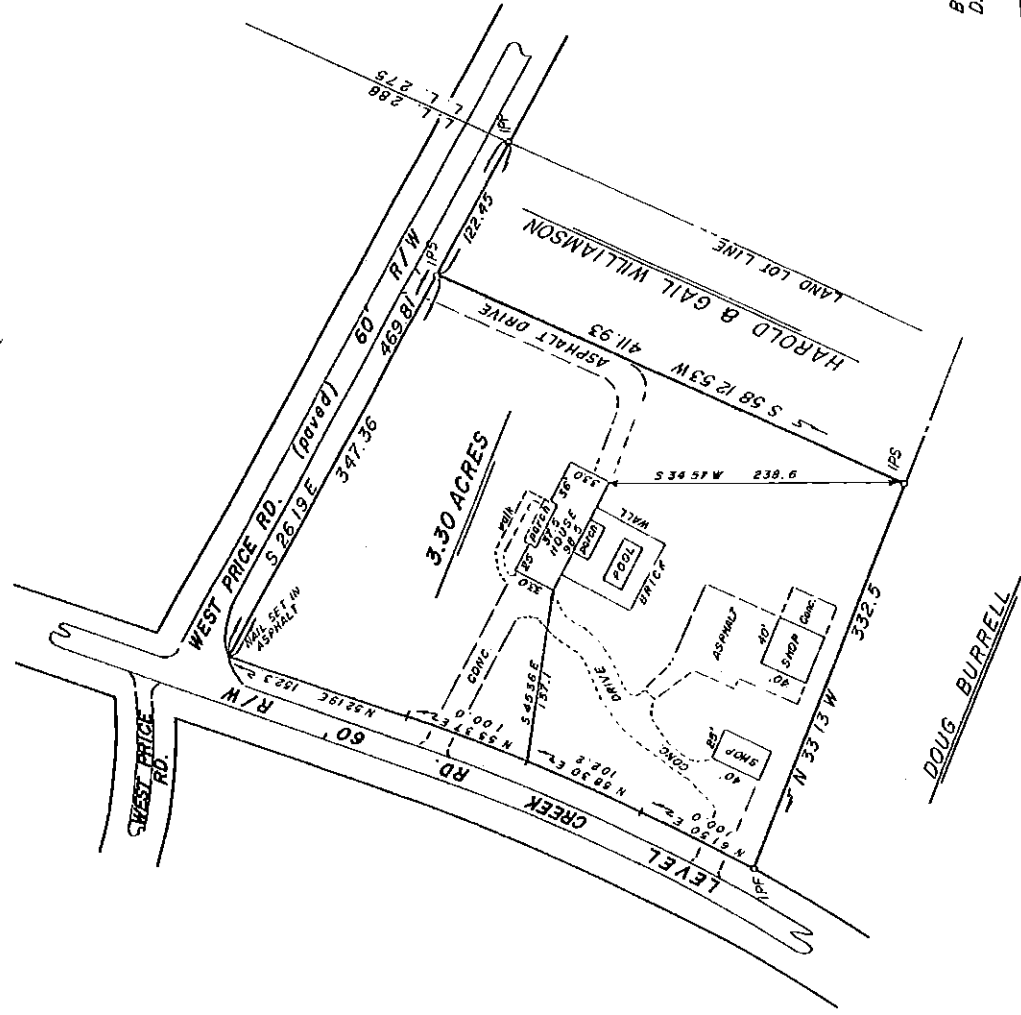
CLOSING PLAT FOR

STATE OF GEORGIA

**CHARLES M. GRENNOR &
 CHRISTINA L. GRENNOR**
 L.L. 288 7th - DISTRICT

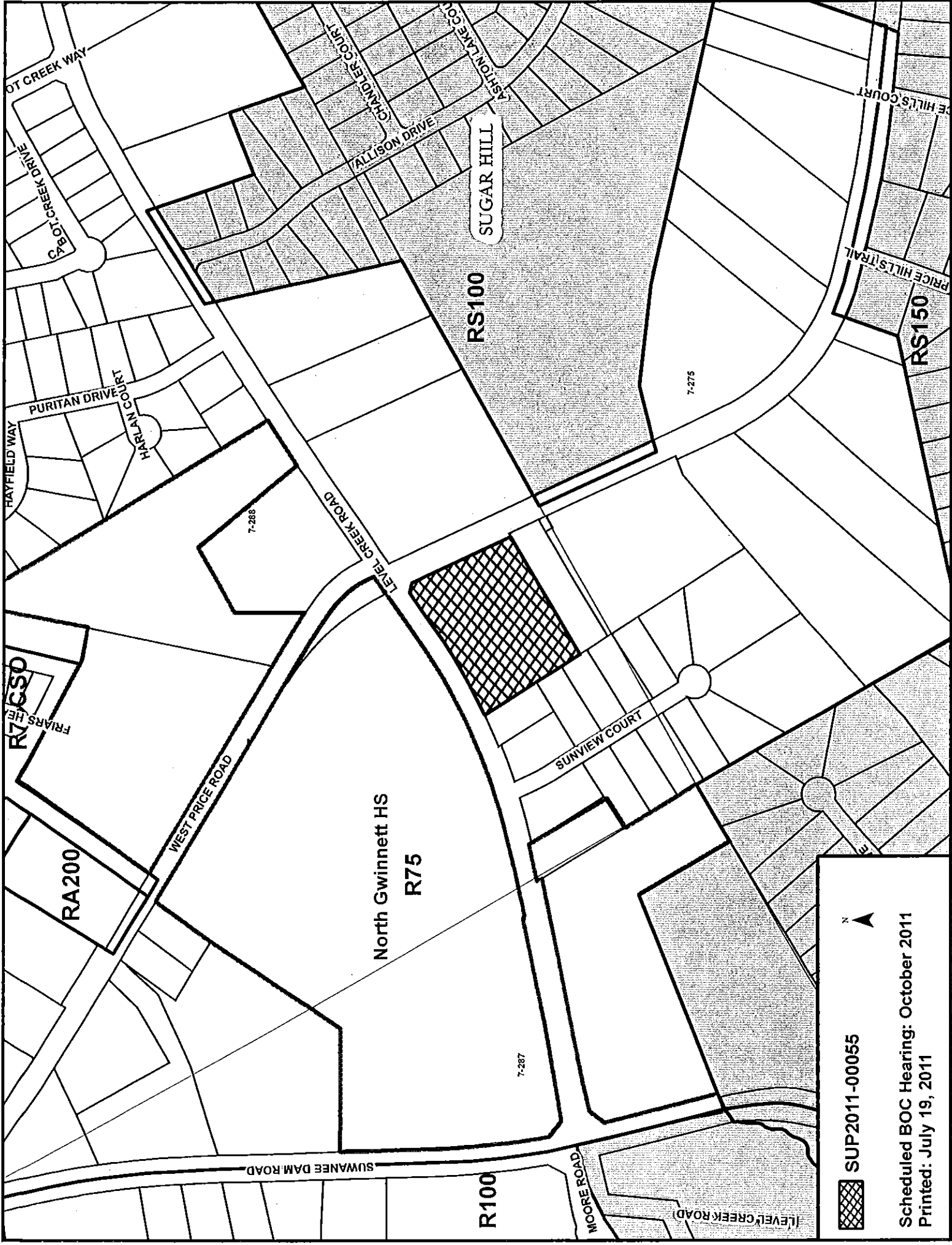
CITY	GMD	COUNTY	SCALE	DATE
ATLANTA	HWY	WINNETT	1" = 100'	6-22-93

W. T. DUNAHOO AND ASSOCIATES, INC.
 PH-867-354
 WINDER, GEORGIA



RECEIVED 7-13-11
 SUP2011-00055

IPS-IRON PIN SET
 IPF-IRON PIN FOUND



SUP2011-00055

Scheduled BOC Hearing: October 2011
Printed: July 19, 2011



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2011-00056**
ZONING :C-2
LOCATION :3700 BLOCK OF VENTURE DRIVE
MAP NUMBER :R6208 103
ACREAGE :7.97 ACRES
PROPOSED DEVELOPMENT :TAXI SERVICE
SQUARE FEET :125 SQUARE FEET
COMMISSION DISTRICT :(1) LASSETER

FUTURE DEVELOPMENT MAP: **REGIONAL MIXED-USE**

APPLICANT: ARIRANG TAXI & LIMO, LLC
3761 VENTURE DRIVE
DULUTH, GA 30096

CONTACT: KUN C. PAK PHONE: 770.582.0995

OWNER: S & H FAMILY INVESTMENTS, LLC
3761 VENTURE DRIVE
DULUTH, GA 30096

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests a Special Use Permit on a 7.97-acre parcel, zoned C-2 (General Business District), to allow a small taxi dispatch office as a tenant of the Gwinnett Place Business Park. The subject property is located on the north side of Venture Drive between Steve Reynolds Boulevard and Pleasant Hill Road. There are no changes proposed to the site or building exterior as part of this application.

The site is developed with three multi-tenant office buildings, totaling approximately 97,000 square feet. The taxi dispatch office would be located in Suite 200 of Building 100, and the applicant further indicates that they would utilize 125 square feet of floor space. The letter of intent states that a single taxi cab would be parked on site.

ZONING HISTORY:

In 1970, the subject property was zoned M-1 (Light Industry District). In 1978, a portion of the subject property was rezoned to RM-10 (Multi-Family Residence District), pursuant to RZ-125-78. In 1980, the property was rezoned to C-2, pursuant to RZ-40-80.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams, and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish, and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett Department of Planning and Development.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

No comment.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 12-inch water main located on the northern right-of-way of Venture Drive.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located on the property.

STORMWATER REVIEW SECTION COMMENTS:

No comment.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for any proposed interior tenant space modifications or exterior modifications for review and approval by Building Plan Review.

2. Upon completion of plan review approvals, the applicant shall obtain a building permit for any proposed modification/renovation work and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.
3. The applicant shall submit structural details for fences exceeding 8 feet in height and achieve satisfactory field inspections for a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6040 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

Fire Plan Review has no objections to the above rezoning requests, under the following conditions:

1. Applicant submits civil drawings to Fire Plan Review for review and approval.
2. Applicant submits architectural drawings to Fire Plan Review for review and approval.
3. Upon completion of plan review approvals, applicant successfully achieves a satisfactory Fire field inspection, for issuance of a Certificate of Occupancy - Business Operation.

For assistance, you may contact this office at (678) 518-6000, Monday through Friday, from the hours of 8:00 a.m. to 5:00 p.m.

DEPARTMENT ANALYSIS:

The subject property is a 7.97-acre parcel, located within the Gwinnett Place Business Park, on the north side of Venture Drive between Satellite Boulevard and Pleasant Hill Road. The site is developed with three multi-tenant office buildings, associated driveways and parking.

The 2030 Unified Plan Future Development Map indicates that the property lies within a Regional Mixed-Use Character Area. Policies for these character areas support a full range of retail and commercial uses. The requested Special Use Permit for a small taxi dispatch office could be compatible with the recommendations of the Unified Plan for this established regional commercial node.

The Gwinnett Place Business Park and the surrounding area is a high-intensity retail/commercial shopping district, predominately consisting of C-2 and C-3 zoned properties. Across Venture Drive is the Santa Fe Mall, which was approved for a taxi dispatch office in 2006 (SUP-06-107). Given the Board's approval of a taxi service in the immediate vicinity, the subject request may also be suitable at this location.

With appropriate conditions, the requested Special Use Permit for a taxi service could be suitable given the intensity of commercial development in the area, and consistent with the previous approval by the Board of a similar request on a neighboring property. Therefore, the Department recommends **APPROVAL WITH CONDITIONS** of this request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a Special Use Permit to allow a taxi service, subject to the following enumerated conditions:

1. Retail, service commercial, office and accessory uses which may include a taxi dispatch office as a special use.
2. Tires and other auto parts shall not be stored on site. Taxi repair and maintenance shall not be conducted on-site.
3. No more than one taxi may be parked on-site.
4. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel or other similar material shall be displayed, hung or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
5. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
6. Peddlers and parking lot sales shall be prohibited.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The proposed Special Use Permit for a taxi service may be suitable at this location in light of the other similarly intense commercial uses in the area.

ADVERSE IMPACTS

With appropriate conditions, potential impacts from this request could be reduced.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

Any additional impacts on public facilities from this request would be minimal.

CONFORMITY WITH POLICIES

The proposed taxi service could be compatible with the recommendations of the Unified Plan, and with the Board's approval of a taxi service on a nearby property in 2006.

CONDITIONS AFFECTING ZONING

The use would primarily be an office activity, with only one taxi cab parked on-site, suggesting that the use may be appropriate for the property.

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes.

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Yes.

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

No, because this special use permit will only facilitate one person driving a single taxi vehicle and the dispatcher will have an office.

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Yes

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

No, There is no condition that should affect the development of the property and therefore the proposed special use permit should not be disapproved.



Gwinnett Place Business Park
3761 Venture Drive
Suite 200
Duluth, GA 30096
Telephone: 678.584.0800
Fax: 404.658.1155

Gwinnett County Planning Division
446 West Crogan Street
Suite 250
Lawrenceville, Georgia 30046

Dear Sir or Madam,

July 10, 2011

This is a letter of intent to apply for a Special Use Permit. The use of this special permit is to establish a taxi dispatch office at the location of 3761 Venture Drive. There will only be one taxicab at this physical location. Therefore there should not be any interference with traffic or any other complications in establishing this dispatch office.

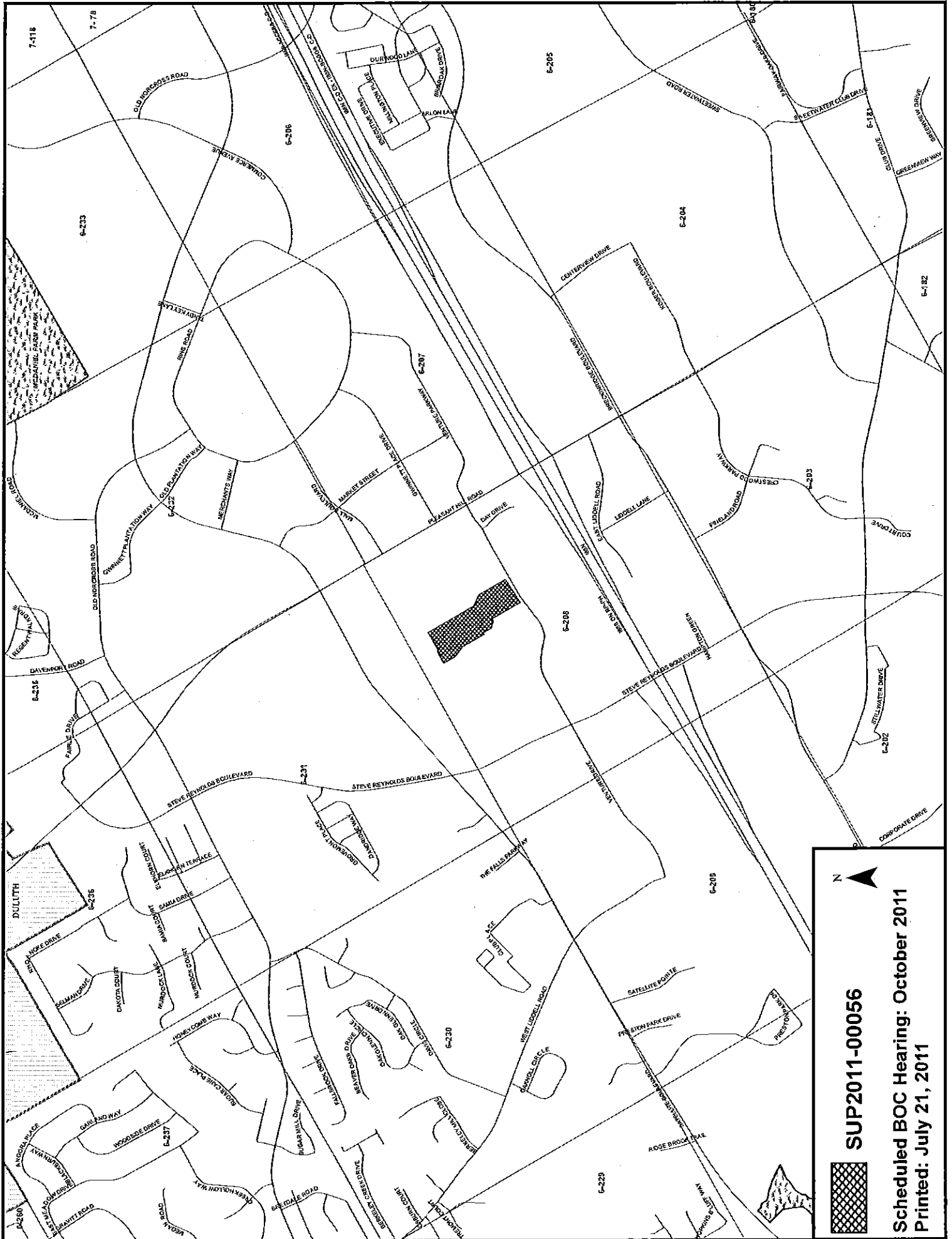
Best Regards,

Joanna P. Choi

Joanna Choi



RECEIVED 7-12-11
SUP2011-00056



SUP2011-00056

**Scheduled BOC Hearing: October 2011
Printed: July 21, 2011**



DATE: JUL 21 2011

PROJECT: 950 IL DWS

CLIENT: [Name]

DESIGNER: [Name]

SCALE: [Scale]

DATE: [Date]

PROJECT: [Project Name]

CLIENT: [Client Name]

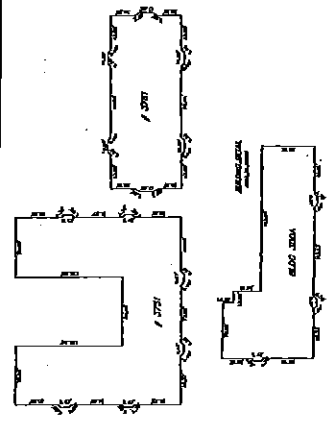
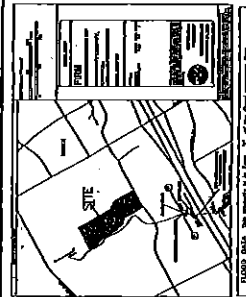
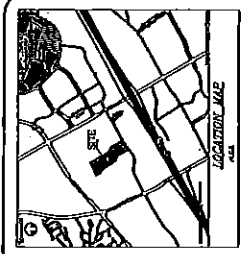
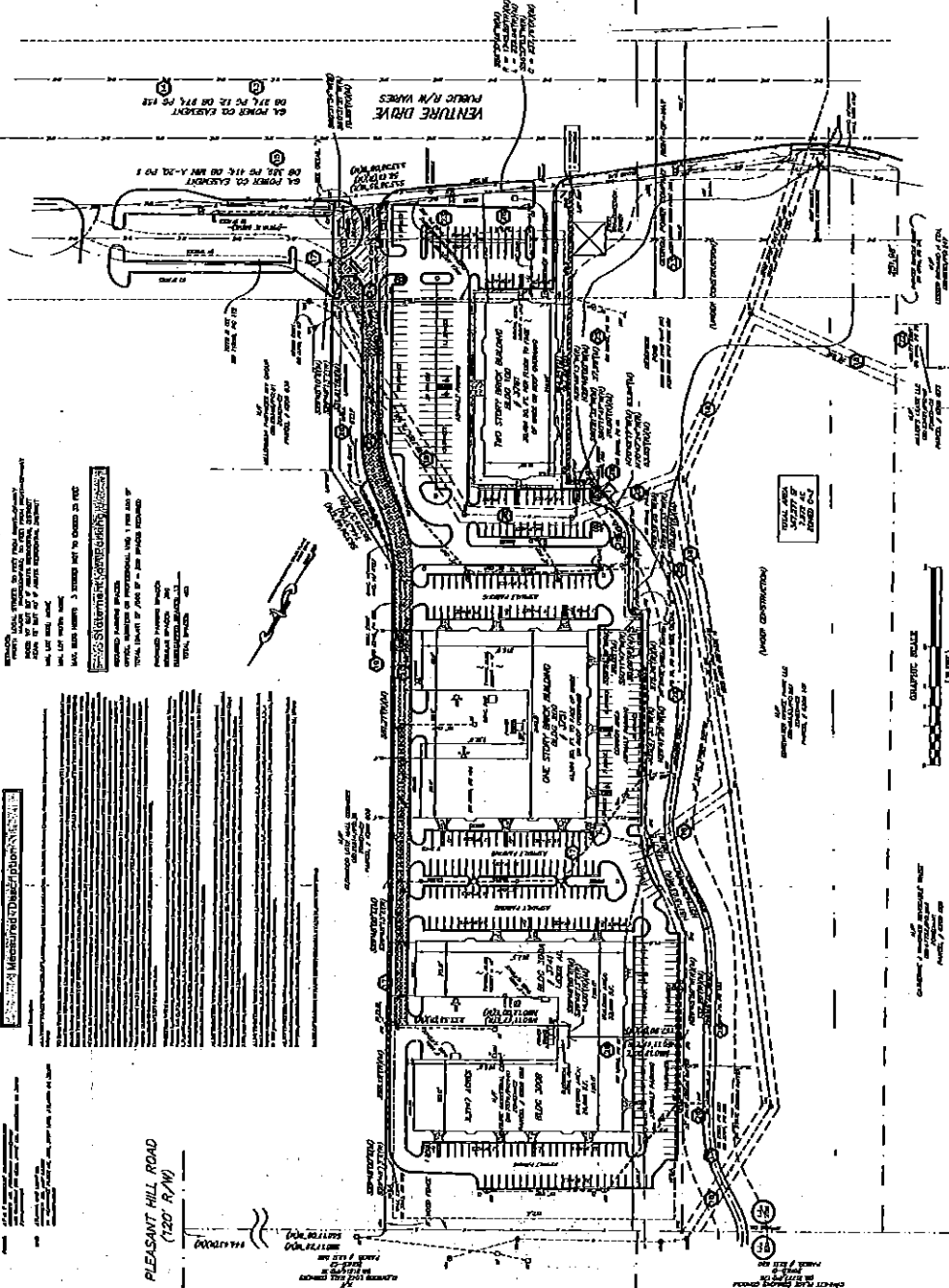
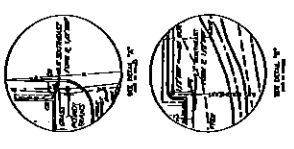
DESIGNER: [Designer Name]

SCALE: [Scale]

DATE: [Date]

PLANNING & DESIGN

950 IL DWS



Legend of Symbols & Abbreviations:

- Symbol: [Symbol]
- Description: [Description]

Survey Notes:

1. The survey was conducted on [Date] and the results are shown on this plan.
2. All measurements were taken in feet and inches.
3. The survey was conducted by [Name] and [Name].
4. The survey was conducted in accordance with the standards of the [Organization].

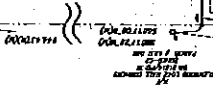
Notes:

1. All dimensions are in feet and inches.
2. The survey was conducted on [Date] and the results are shown on this plan.
3. All measurements were taken in feet and inches.
4. The survey was conducted by [Name] and [Name].
5. The survey was conducted in accordance with the standards of the [Organization].

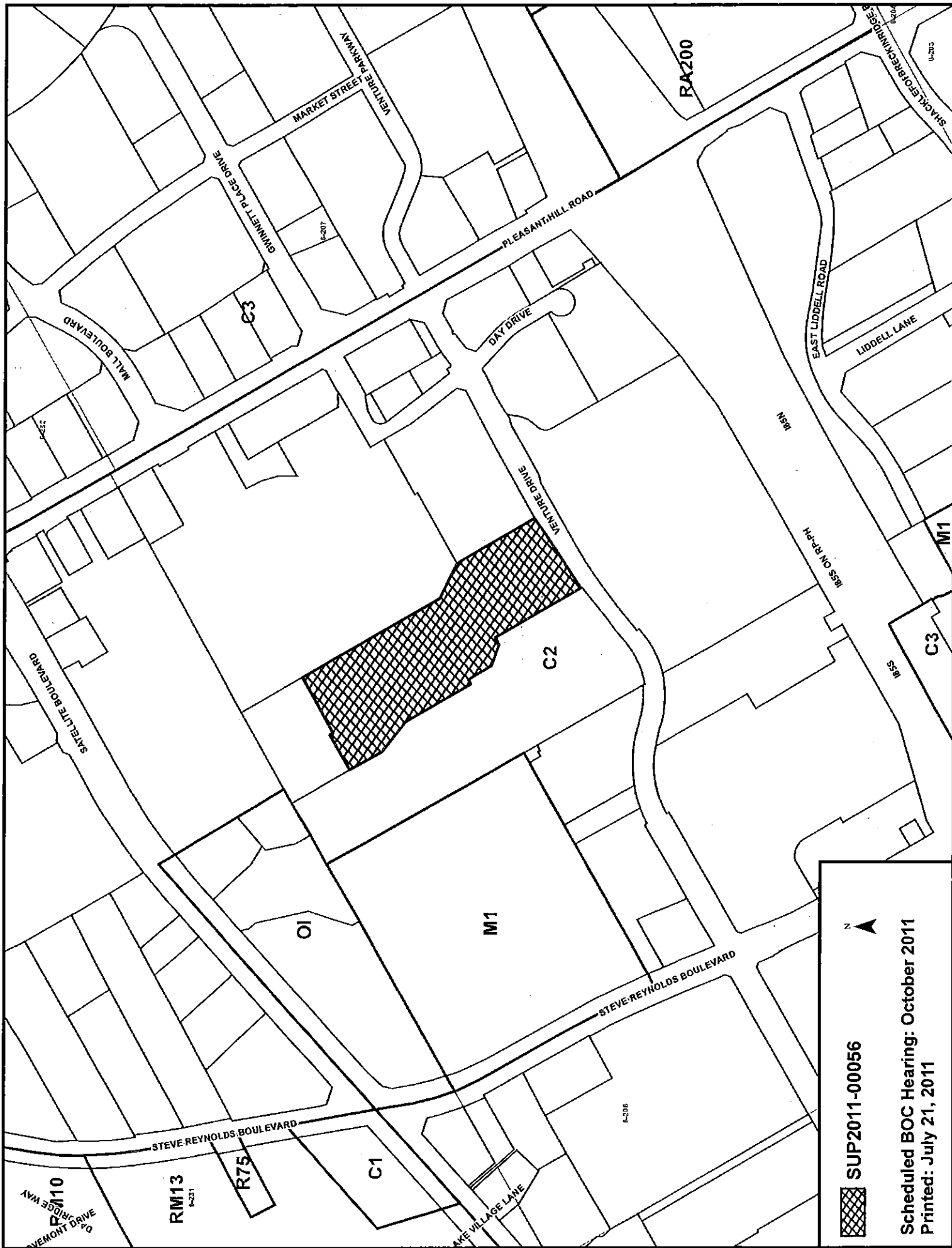


GRAPHIC SCALE
0 10 20 30 40 50 FEET

PLEASANT HILL ROAD
(120' R/W)



DATE: JUL 21 2011



SUP2011-00056



Scheduled BOC Hearing: October 2011
Printed: July 21, 2011

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2011-00058**
ZONING :C-2
LOCATION :2700 BLOCK OF LAUREL DRIVE
MAP NUMBER :R7146 023
ACREAGE :2.27 ACRES
PROPOSED DEVELOPMENT :TRUCK RENTAL (RENEWAL)
COMMISSION DISTRICT :(4) HEARD

FUTURE DEVELOPMENT MAP: REGIONAL MIXED-USE

APPLICANT: ANTHONY KIPPES
3112 S. PONTE VEDRA, B-1
S. PONTE VEDRA BEACH, FL 32082

CONTACT: ANTHONY KIPPES PHONE: 228.273.9099

OWNER: STORESMART OF BUFORD, LLC
C/O LEWIS POLLACK
2384 N. W. 49TH LANE
BOCA RATON, FL 33431

DEPARTMENT RECOMMENDATION: APPROVAL WITH CONDITIONS

PROJECT DATA:

The applicant requests renewal of a Special Use Permit on a 2.27-acre, C-2 zoned property, to allow the continuation of truck rental as an accessory use to an existing self-storage facility. The subject site is the Storesmart self-storage facility, located on the southeast side of Laurel Drive, west of its intersection with Buford Drive.

A Special Use Permit to allow truck rental was approved pursuant to SUP2010-00039 on October 26, 2010. A condition of that zoning limited the special use to a one-year period, and the applicant is now seeking renewal. The property is located within the Mall of Georgia Overlay District. There have been no complaints filed with the Police Department's Code Enforcement Unit within the past year.

ZONING HISTORY:

The property was zoned R-100 (Single Family Residence District) in 1970. The property was rezoned to C-2 (General Business District) pursuant to RZ-4-76 in 1976. Two Special Use Permits were granted by the Board in June, 2007; one for a self-storage facility, and one to increase the height of the building, pursuant to SUP-07-055 and SUP-07-060 respectively. A change in conditions of zoning and a Special Use Permit to allow

trunk rental were approved, pursuant to CIC2010-00013 and SUP2010-00039, on October 26, 2010.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property contains potential wetlands as depicted on the U.S. Department of Interior, Fish, and Wildlife Service – National Wetlands Inventory Map or on the Federal Emergency Management Agency – Flood Insurance Rate Map. The applicant/developer shall obtain all required approvals from Gwinnett County Department of Planning and Development and the U.S. Army Corps of Engineers.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

No comment.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 12-inch water main located on the western right-of-way of Laurel Drive.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located on the property.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The subject site is a 2.27-acre property, developed with Storesmart self-storage facility, located on the southeast side of Laurel Drive, west of its intersection with Buford Drive.

The 2030 Unified Plan Future Development Map indicates that the property lies within a Regional Mixed-Use Character Area. The requested Special Use Permit renewal may be consistent with previous Board policy for this property that allows truck rental in conjunction with a self-storage facility.

The surrounding area is characterized by commercial and medium and high density residential uses. The self-storage facility adjoins an apartment complex to the west and a convenience store to the east. Across Laurel Drive to the north is BrandSmart electronics store. The self-storage facility appears well maintained and neat in appearance and no complaints have been file with Code Enforcement during the past year. The requested renewal for truck rental as an accessory service could be suitable in view of adjacent and nearby uses and the previous Special Use Permit approvals.

In conclusion, the requested Special Use Permit renewal could be suitable in light of the previous Board approvals allowing self-storage with truck rental as an accessory use. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a Special Use Permit for truck rental subject to the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Retail and service commercial and accessory uses, which may include a four-story mini-warehouse storage facility and accessory truck rental as a special use.
 - B. Outdoor storage shall be prohibited.
 - C. Truck rental shall be limited to no more than three trucks. Rental trucks shall be no larger than 17-foot box trucks and must be parked at the western end of the parking lot.
 - D. Tow-behind rental trailers shall be prohibited.
2. To satisfy the following site development considerations:
 - A. Provide a 40-foot wide natural buffer adjacent to RM-13 and RM-8 zoning.
 - B. Roll-up doors shall not face residentially zoned properties. Roll up doors shall be completely internal and shall not face Buford Dr./Hwy 20.
 - C. Property security enclosures visible from Laurel Drive and Preston Hills entrance drive shall be a decorative masonry and/or wrought iron style fencing. All additional security fencing shall be black, vinyl-coated, chain link.
 - D. Building shall be constructed of four sides' mix of real masonry laid brick (no EFIS) and stucco, with same brick water table as shown on renderings.
 - E. 50-foot front yard setback shall be provided from Preston Hills Drive.
 - F. Add (12-15) 3" caliper canopy trees on eastern side of building. List of canopy trees:
 - i. Red Maples
 - ii. Zelkovas
 - iii. Nuttal Oaks
 - iv. River Birch
 - G. Provide 20' landscape strip off Preston Hill Drive with two rows of street trees spaced 20' center and 3" caliper.

- H. Detention pond shall be screened with a double row of 6'-8' tall trees (same mix as buffer tree list on site plan submitted).
- I. Provide a buffer along Western side of building that shall consist of 2 rows, 8'-10' centers and mix proposed should only have Cryptomeria and Red Cedar mix – Equal mix.
- J. All signage must conform to Mall of Georgia (MOG) Overlay and Gwinnett County ordinance. (If lighted, lettering shall be individually formed and lighted).

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING EXERCISE OF ZONING

SUITABILITY OF USE

The requested Special Use Permit renewal for truck rental could be suitable in light of the previous approval for the property and as conditionally zoned, potential negative effects on the visual appeal of the property have been reduced.

ADVERSE IMPACTS

Allowing truck rental has not appeared to impact the adjoining residential development and nearby commercial uses through the introduction of outdoor vehicle parking and storage.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

Allowing truck rental and storage to continue would be expected to create few or minimal impacts on public facilities primarily in the form of truck traffic.

CONFORMITY WITH POLICIES

The subject request is consistent with Board policy as established in the previous Special Use Permit (SUP2010-00039) allowing truck rental for a period of one year.

CONDITIONS AFFECTING ZONING

On a recent site visit, the self-storage facility appeared well maintained and neat in appearance. The rental trucks did not appear to diminish the aesthetics of the site and no complaints regarding the use have been reported, which gives supporting grounds for approval with conditions.

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

YES, THE USE IS SUITABLE

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

THE ADDITION OF THIS USE AS ALLOWED AS A PERMANENT FUNCTION OF THE BUSINESS DOES NOT ADVERSELY AFFECT THE EXISTING OR NEARBY USES

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

THE ADDITION OF THIS USE AS ALLOWED PERMANENTLY WILL BE PIVOTAL IN THE SURVIVAL OF THE BUSINESS

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

THIS USE WOULD NOT RESULT IN A CONDITION THAT COULD IN ANY WAY CAUSE A BURDEN TO, OR FURTHER BURDEN TRAFFIC OR SCHOOLS - USE OF STREETS, TRAFFIC OR UTILITIES

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

THE PROPOSED USE IS AND HAS BEEN IN CONFORMITY WITH THE LAND USE PLAN

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

BY CONTINUING TO ALLOW THIS USE AND BY MAKING THIS A PERMANENT PART OF THE USE FOR THIS DEVELOPMENT, THE BUSINESS IS PROVIDED WITH THE NEEDED INCOME AS WELL AS BUSINESS

connections to survive effectively as a personal and business storage



RECEIVED 8-4-11
BSP/201100058

StoreSmart

Development, LLC

8/3/2011

Gwinnett County,
Department of Planning and Development
4486 West Crogan Street, Suite 250
Lawrenceville, Georgia 30046

9' 11" x 11"
20' x 11" x 11"

This letter shall serve as our Letter of Intent and formal request to have the limited Truck Rental Special Use Permit SUP2010-00039 continue as a permanent use for the property.

StoreSmart has been able to continue serving their customers and grow their business through the benefit of this vital service.

By providing a Truck Rental service as part of our business we gain exposure to the U-Haul network as a provider of storage products and services. It is through this strategic partnership that we have been able to offer enhanced convenience and service to the community. This exposure in the marketplace is a vital necessity as it ensures a greater frequency of storage rentals and survival of the business.

Sincerely,



Anthony J. Klppes



RECEIVED 8-4-11
SUP2011-00058

CASE NUMBER SUP2010-00039
GCID 2010-0724

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

Present

VOTE

Chairman

VACANT

Shirley Lasseter, District 1 (Vice Chairman)

AYE

Albert Nasuti, District 2

AYE

Michael Beaudreau, District 3

AYE

Kevin Kenerly, District 4

AYE

On motion of COMM. KENERLY, which carried 4-0, the following resolution was adopted:

A RESOLUTION TO GRANT A SPECIAL USE PERMIT

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application for a Special Use Permit by ANTHONY J. KIPPES for the proposed use of TRUCK RENTAL on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Special Use Permit Application has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on OCTOBER 26, 2010 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners this the 26TH day of OCTOBER, 2010 that the aforesaid application for a Special Use Permit is hereby **APPROVED** with the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Retail and service commercial and accessory uses, which may include a four-story mini-warehouse storage facility and accessory truck rental as special uses.
 - B. Outdoor storage shall be prohibited.
 - C. Truck rental shall be limited to no more than two trucks. Rental trucks shall be no larger than 17-foot box trucks and must be parked at the western end of the parking lot.
 - D. Tow-behind rental trailers shall be prohibited.
2. To satisfy the following site development considerations:
 - A. Provide a 40-foot wide natural buffer adjacent to RM-13 and RM-8 zoning.
 - B. Roll-up doors shall not face residentially zoned properties. Roll up doors shall be completely internal and shall not face Buford Dr./Hwy 20.
 - C. Property security enclosures visible from Laurel Drive and Preston Hills entrance drive shall be a decorative masonry and/or wrought iron style fencing. All additional security fencing shall be black, vinyl-coated, chain link.
 - D. Building shall be constructed of four sides mix of real masonry laid brick (no EFIS) and stucco, with same brick water table as shown on renderings.
 - E. A 50-foot front yard setback shall be provided from Preston Hills Drive.

- F. Add (12-15) 3" caliper canopy trees on eastern side of building. List of canopy trees:
- i. Red Maples
 - ii. Zelkovas
 - iii. Nuttal Oaks
 - iv. River Birch
- G. Provide 20' landscape strip off Preston Hill Drive with two rows of street trees spaced 20' center and 3" caliper.
- H. Detention pond shall be screened with a double row of 6'-8' tall trees (same mix as buffer tree list on site plan submitted).
- I. Provide a buffer along Western side of building that shall consist of 2 rows, 8'-10' centers and mix proposed should only have Cryptomeria and Red Cedar mix – Equal mix.
- J. All signage must conform to Mall of Georgia (MOG) Overlay and Gwinnett County ordinance. (If lighted, lettering shall be individually formed and lighted).
- K. The Special Use Permit for truck rental shall be limited to a one-year period, at which time the use shall cease, or the applicant shall apply for renewal.

GWINNETT COUNTY BOARD OF COMMISSIONERS

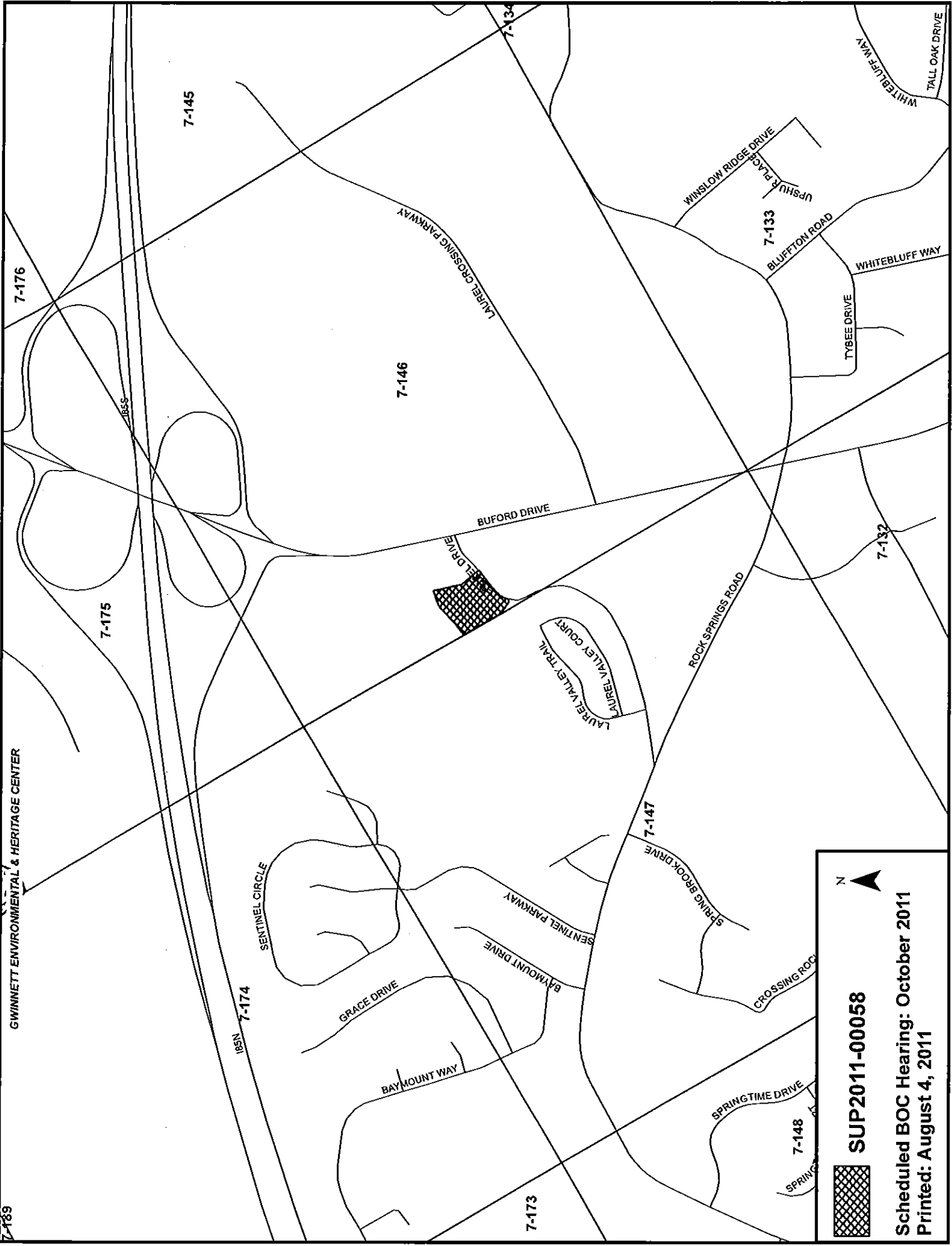
By: Shirley Lasseter
Shirley Lasseter, Vice Chairman

Date Signed: 11/1/10

ATTEST:

Diane Berry
County Clerk/Deputy County Clerk





GWINNETT ENVIRONMENTAL & HERITAGE CENTER

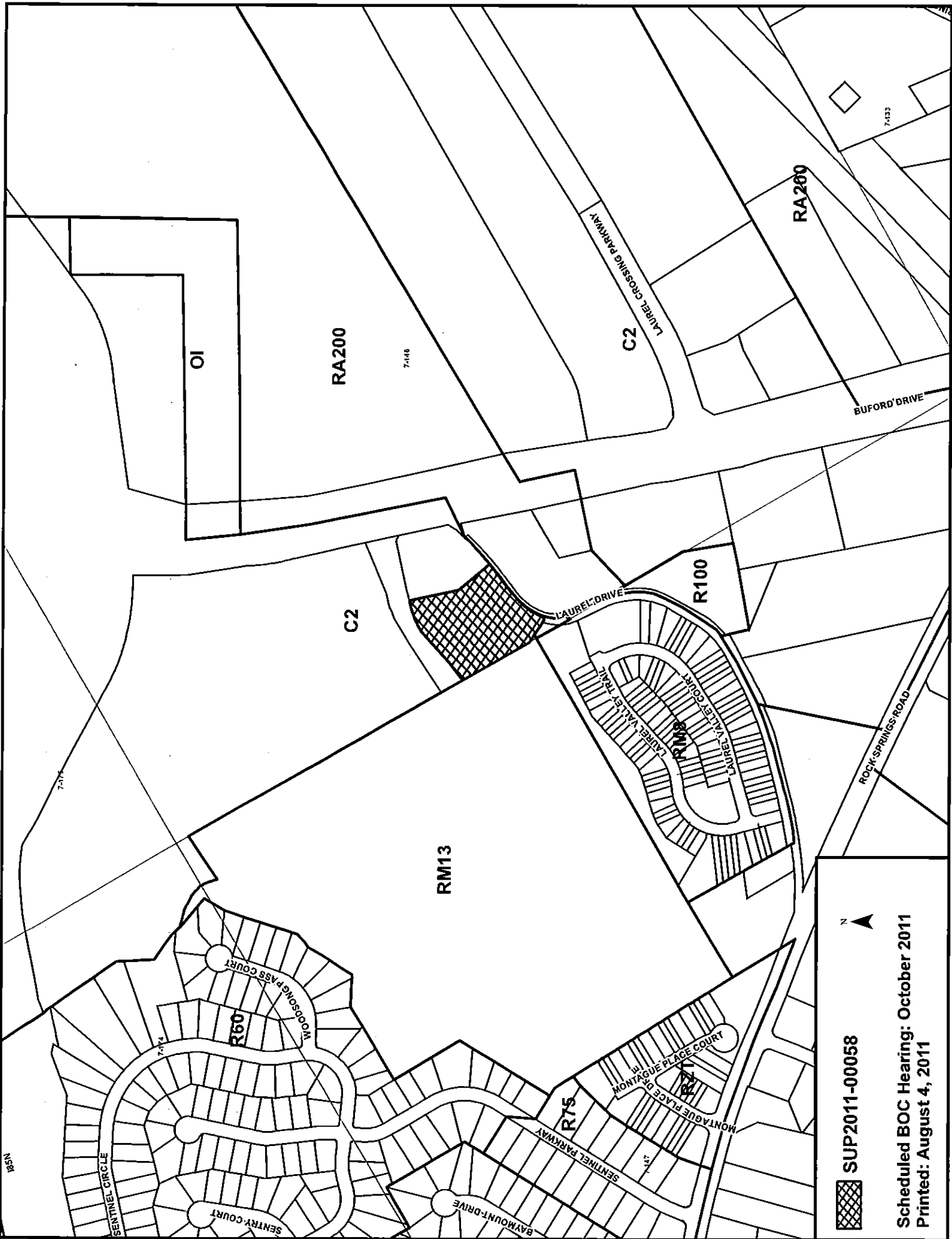


SUP2011-00058

Scheduled BOC Hearing: October 2011
 Printed: August 4, 2011



7-189



 SUP2011-00058

Scheduled BOC Hearing: October 2011
Printed: August 4, 2011

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2011-00060**
ZONING :M-1
LOCATION :1100 BLOCK OF HURRICANE SHOALS ROAD
:1200 BLOCK OF CEDARS ROAD
MAP NUMBER :R5209 032
ACREAGE :3.47 ACRES
PROPOSED DEVELOPMENT :CHURCH
SQUARE FEET :2,867 SQUARE FEET
COMMISSION DISTRICT :(4) HEARD

FUTURE DEVELOPMENT MAP: **RESEARCH & DEVELOPMENT CORRIDOR**

APPLICANT: THE REDEEMED CHRISTIAN CHURCH OF GOD
CHRIST CENTERED INTERNATIONAL CHAPEL, INC.
C/O MICHAEL ADEMISOYE
3810 WALDROP ROAD
DECATUR, GA 30034

CONTACT: STACEY GALOS PHONE: 678.427.7967

OWNER: CCOP, LLC
1960 SATELLITE BOULEVARD, SUITE 2300
DULUTH, GA 30096

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests a Special Use Permit on a 3.47-acre parcel, zoned M-1 (Light Industry District), to allow a church within an existing office building. The subject property is located in the Gwinnett Progress Center, at the southwest corner of the intersection of Hurricane Shoals Road and Cedars Road.

The site is developed with a 45,500 square foot, multi-tenant office building, associated parking and driveways. The church would occupy Suite 1600, comprising 2,867 square feet of tenant space. The site would be used for worship services and daily administrative activities. Access would be provided through existing driveways onto both Hurricane Shoals Road and Cedars Road, and there are 256 existing parking spaces shared among the various office suites. There are no changes proposed to the site as part of this application.

The applicant is reminded that if a private school or a daycare is planned in the future, approval of additional Special Use Permit(s) would be required.

ZONING HISTORY:

The subject property has been zoned M-1 since 1970.

GROUNDWATER RECHARGE AREA:

The subject property is located within an identified Significant Groundwater Recharge Area. The development would be served by sanitary sewer, resulting in minimal impact.

WETLANDS INVENTORY:

The subject property does not contain areas, streams, and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish, and Wildlife service – National Wetlands Inventory map on file with the Gwinnett Department of Planning and Development.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

No comment.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 24-inch water main located on the southern right-of-way of Hurricane Shoals Road, and a 48-inch water main located on the eastern right-of-way of Cedars Road.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located 325 feet west of the property. Plans indicate private 6-inch sewer extending to the existing building.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for any proposed interior tenant space modifications or exterior modifications for review and approval by Building Plan Review.
2. The proposed occupancy shall comply with the Type of Construction requirements and Allowable Building Area of IBC Table 503, Table 601, and/or Section 507.6. The proposed occupancy shall comply the requirements of the 2006 International Mechanical Code and 2006 International Plumbing Code (with Georgia State Amendments).
3. Upon completion of plan review approvals, the applicant shall obtain a building permit for any proposed modification/renovation work and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.
4. The applicant shall submit structural details for fences exceeding 8 feet in height and achieve satisfactory field inspections for a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6040 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

Fire Plan Review has no objections to the above rezoning requests, under the following conditions:

1. Applicant submits civil drawings to Fire Plan Review for review and approval.
2. Applicant submits architectural drawings to Fire Plan Review for review and approval.
3. Upon completion of plan review approvals, applicant successfully achieves a satisfactory Fire field inspection, for issuance of a Certificate of Occupancy - Business Operation.

For assistance, you may contact this office at (678) 518-6000, Monday through Friday, from the hours of 8:00 a.m. to 5:00 p.m.

DEPARTMENT ANALYSIS:

The subject property is a 3.47-acre parcel located at the southwest corner of the intersection of Hurricane Shoals Road and Cedars Road. The property is developed

with a 45,500 square foot multi-tenant office building, with associated parking and driveways. The site is part of the Gwinnett Progress Center business park.

The 2030 Unified Plan Future Development Map indicates that the property lies within the Research & Development Corridor extending along Georgia Highway 316. Church activities within an office building could be compatible with this designation. The Board has approved numerous similar requests to locate churches within M-1 zoned office and industrial parks throughout the County, therefore establishing a precedent for this type of use within industrial zones.

The surrounding area is developed with a mix of office, office/warehouse and institutional uses. The proposed church could be compatible with these surrounding uses, since church activities typically take place during different hours of the day and days of the week than neighboring businesses. Therefore, with appropriate conditions to ensure compatibility with neighboring properties, the requested Special Use Permit could be suitable at this location.

With conditions, the proposed church activity within the existing building could be consistent with past Board actions approving churches within industrial zones and could be compatible with existing uses in the area. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of this request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a Special Use Permit for a church subject to the following enumerated conditions:

1. Office and accessory uses, which may include a church, but not including a commercial church daycare or private school unless approved by an additional Special Use Permit(s).
2. Any exterior architectural modifications to the existing building shall be subject to review and approval by the Director of Planning and Development.
3. All church and community outreach activities shall be conducted indoors.
4. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar materials shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard or bandit signs shall be prohibited.
5. Peddlers or parking lot sales shall be prohibited.
6. Owner shall repair or repaint any graffiti or vandalism that occurs on the property within 72 hours.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The requested Special Use Permit allowing a church could be suitable at this location if outdoor activities are restricted.

ADVERSE IMPACTS

With the recommended conditions, potential impacts on nearby properties and office tenants could be reduced.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as zoned.

IMPACT ON PUBLIC FACILITIES

Some impacts on public facilities in the form of additional utility demand and traffic could be anticipated.

CONFORMITY WITH POLICIES

The requested Special Use Permit could be consistent with the Board's approval of similar requests to locate churches within office and industrial buildings in various locations throughout the County.

CONDITIONS AFFECTING ZONING

The site's location within a large industrial/office district and the precedent the Board has set regarding churches, gives supporting grounds for approval of the request.

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:
Adjacent properties are fully developed as industrial uses; church SUP will have no impact
- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:
Adjacent properties are fully developed as industrial uses; church SUP will have no impact
- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:
Property is fully developed and economically viable
- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:
Property is fully developed; church SUP will have no impact
- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:
Property is fully developed; church SUP will have no impact
- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:
Property is fully developed; church SUP will have no impact



**THE REDEEMED CHRISTIAN CHURCH OF GOD
CHRIST CENTERED INTERNATIONAL CHAPEL, INC.
3810 Waldrop Road
Decatur, Georgia 30034**

August 3, 2011

Gwinnett County Department of Planning and Development
Planning Division
One Justice Square
446 West Crogan Street
Lawrenceville, Georgia 30046

RE: Letter of Intent
to Special Use Permit Application
for The Redeemed Christian Church of God – Christ Centered International
Chapel, Inc. at 1130 Hurricane Shoals Road, Suite 1600, Lawrenceville,
Georgia 30043

Dear Planning Department:

The subject property consists of a 3.47 acre tract located at 1130 Hurricane Shoals Road, Lawrenceville, Georgia, 30046. The subject property consists of one parcel (5th District, Land Lot 209, Parcel ID 032) zoned M-1 and is fully developed with one one-story office building totaling 45,500 square feet.

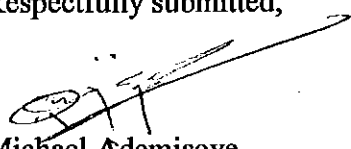
It is the applicant's intent to lease one suite (Suite 1600) totaling 2,867 square feet within the existing office building.

It is the applicant's intent to obtain a Special Use Permit for that suite only for a church.

It is the applicant's desire to use the suite as a church office and worship center. The main hours of operation will be Sundays between the hours of 9am and 1pm and Tuesdays between the hours of 7pm and 9pm. While the suite's occupancy load per the Gwinnett County Fire Marshal is approximately 80 persons, the current church membership is approximately 50 persons, about one-half of which are of legal driving age.

The applicant appreciates the Planning Department's consideration of this Special Use Permit application and is available to provide any additional information the Planning Department may require.

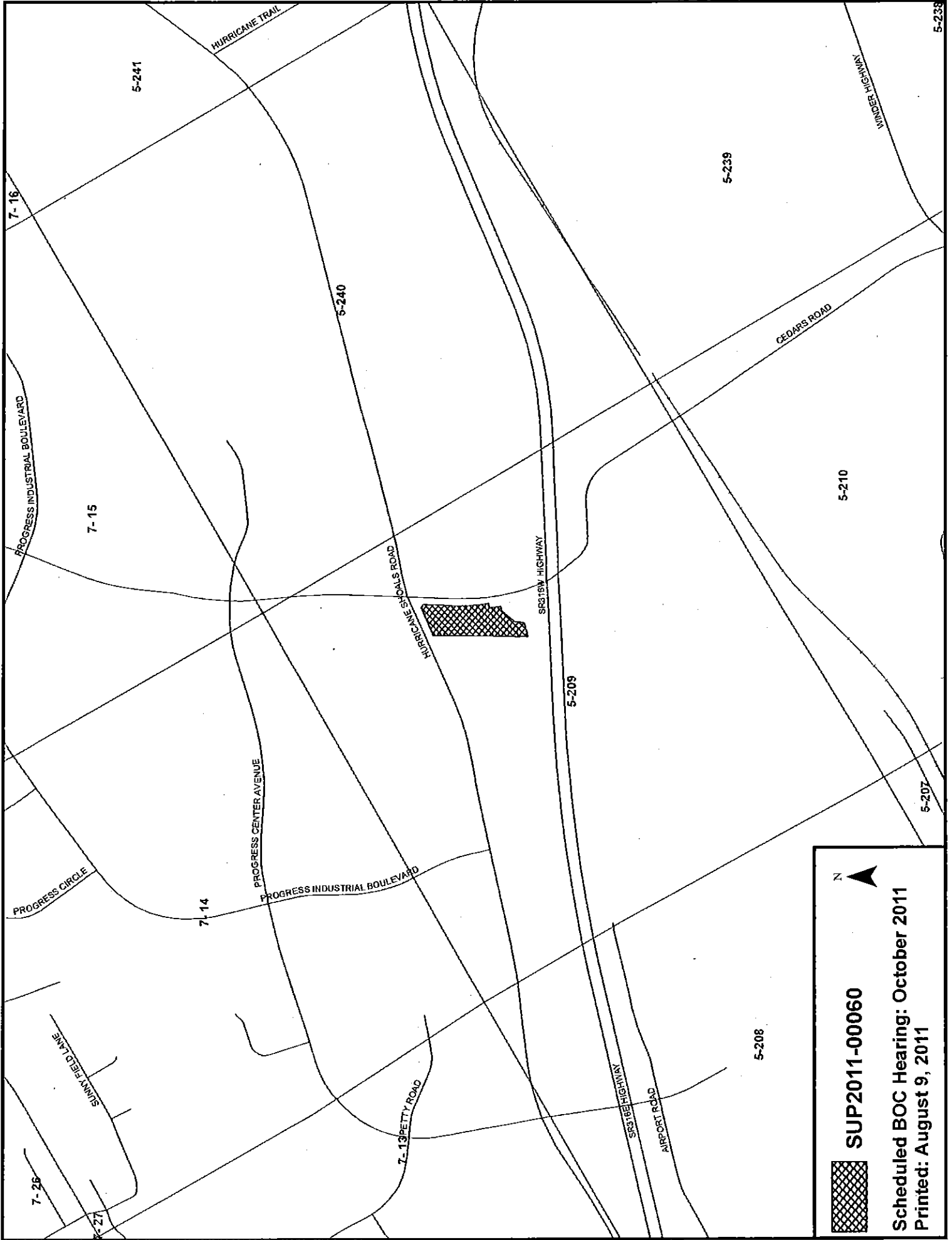
Respectfully submitted,


Michael Ademiso

for The Redeemed Christian Church of God – Christ Centered International Chapel, Inc.



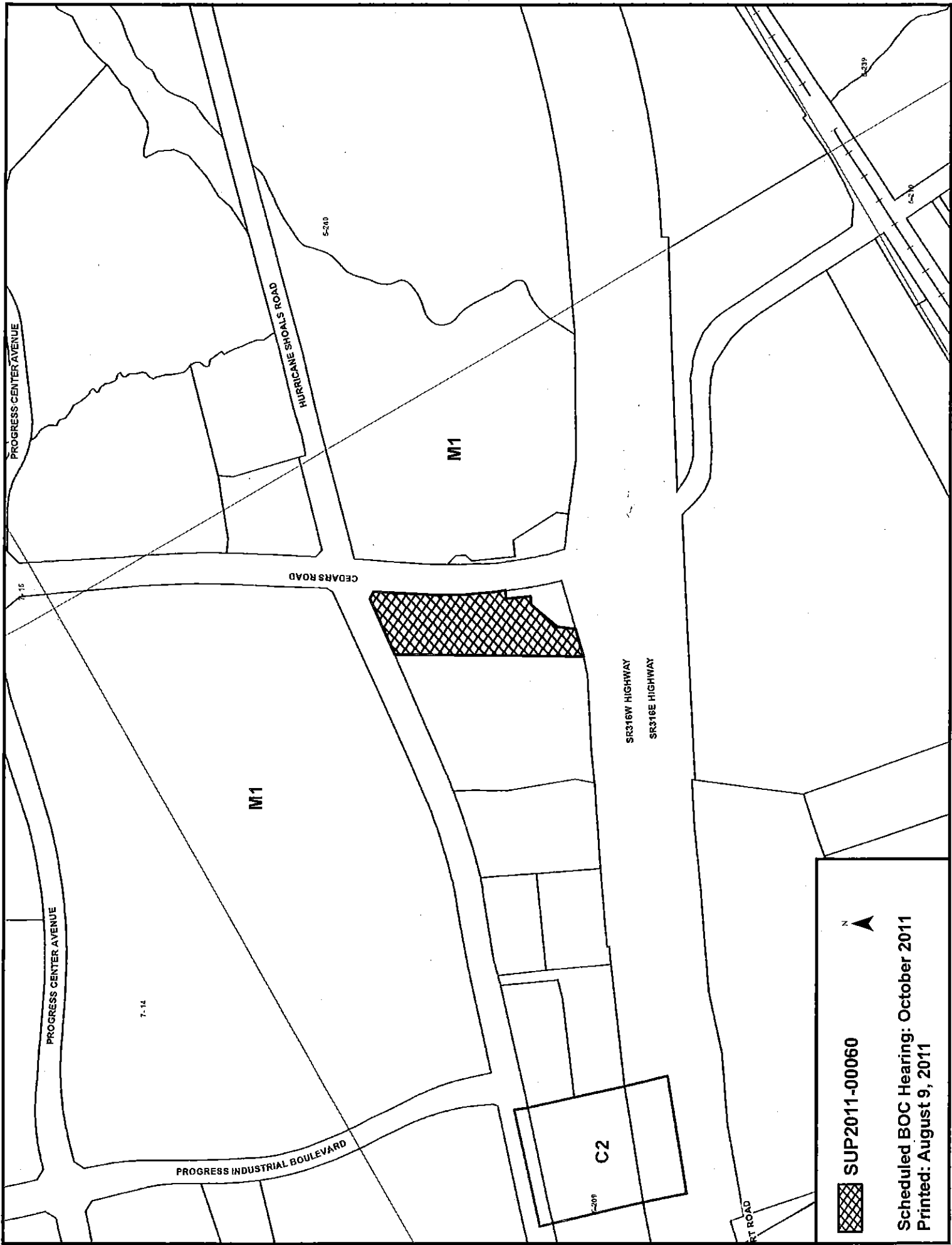
RECEIVED 8-5-11
SUP2011-00060



SUP2011-00060

Scheduled BOC Hearing: October 2011
Printed: August 9, 2011





 SUP2011-00060

Scheduled BOC Hearing: October 2011
Printed: August 9, 2011

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2011-00061**
ZONING :C-2
LOCATION :4700 BLOCK OF BRITT ROAD
:4500-4600 BLOCKS OF JIMMY CARTER BOULEVARD
MAP NUMBER :R6164 261
ACREAGE :9.20 ACRES
PROPOSED DEVELOPMENT :TITLE LOAN FACILITY AND PRECIOUS METALS DEALER
SQUARE FEET :1,194 SQUARE FEET
COMMISSION DISTRICT :(2) HOWARD

FUTURE DEVELOPMENT MAP: **MIXED HOUSING TYPES**

APPLICANT: HONDUMEX FAST CASH TITLE LOANS, LLC
4771 BRITT ROAD, SUITE 107
NORCROSS, GA 30093

CONTACT: LIZETH GARCIA PHONE: 678.261.7972

OWNER: CAMPBELL REAL ESTATE GROUP, LLC
10325 TWINGATE DRIVE
ALPHARETTA, GA 30022

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests a Special Use Permit on a 9.20-acre parcel, zoned C-2 (General Business District), to allow a title loan business and precious metals dealer (gold buying business). The property is developed with the Smoketree shopping center, a large single-story, multi-tenant retail center, located on the southwest corner of the Britt Road and Jimmy Carter Boulevard intersection.

The proposed business activities would operate within the existing Daniel Ahart Tax Service which occupies 1,194 square feet of space in a small stucco building located at the western end of the shopping center. There are no changes proposed to the building or site, and the shopping center has three full access driveways onto Britt Road, and one driveway onto Jimmy Carter Boulevard.

ZONING HISTORY:

The property was zoned R-75 (Single Family Residence District) in 1970. The site was rezoned to C-2 as part of an area wide map revision in 1978.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams, and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish, and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett Department of Planning and Development.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

No comment.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 16-inch water main located on the northern right-of-way of Britt Road, and a 16-inch water main located on the western right-of-way of Jimmy Carter Boulevard.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located on the property.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for any proposed interior tenant space modifications or exterior modifications for review and approval by Building Plan Review.

2. Upon completion of plan review approvals, the applicant shall obtain a building permit for any proposed modification/renovation work and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.
3. The applicant shall submit structural details for fences exceeding 8 feet in height and achieve satisfactory field inspections for a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6040 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

Fire Plan Review has no objections to the above rezoning requests, under the following conditions:

1. Applicant submits civil drawings to Fire Plan Review for review and approval.
2. Applicant submits architectural drawings to Fire Plan Review for review and approval.
3. Upon completion of plan review approvals, applicant successfully achieves a satisfactory Fire field inspection, for issuance of a Certificate of Occupancy - Business Operation.

For assistance, you may contact this office at (678) 518-6000, Monday through Friday, from the hours of 8:00 a.m. to 5:00 p.m.

DEPARTMENT ANALYSIS:

The subject site is the 9.20-acre Smoketree shopping center, located on the southwest corner of the Jimmy Carter Boulevard and Britt Road intersection. The property is developed with single-story, multi-tenant retail buildings and associated driveways and parking lot.

The 2030 Unified Plan Future Development Map indicates that the site is located in a Mixed Housing Types Character Area. The site is already developed as a commercial retail center with multiple tenants, and the addition of a title loan business and precious metals dealer at this location may be considered compatible with the Unified Plan.

The Jimmy Carter Boulevard corridor is intensely developed with commercial, office and multifamily uses, with single-family residential uses lying beyond the corridor. Nearby properties include shopping centers, restaurants, convenience stores and office uses. Across Britt Road to the north is Merchant's Square shopping center, which includes a pawn shop (Value Pawn) that offers services similar to those in the subject request. Given the intensity of retail development in the area, including a pawn shop

directly across Britt Road, a title loan and gold buying business may be compatible with the surrounding area.

In conclusion, the requested special use may be considered consistent with policies of the Unified Plan, and could be compatible with the existing retail center and commercial uses within the area. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS.**

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a Special Use Permit to allow a precious metals dealer and title loan business, subject to the following enumerated conditions:

1. Retail, service commercial, office and accessory uses which may include a precious metals dealer and title loan business as special uses.
2. Storage, sale or display of repossessed vehicles shall be prohibited.
3. Wall signage for the precious metals dealer and or title loan business shall not exceed the requirements of the Gwinnett County Sign Ordinance.
4. Window signage (signs displayed on the interior or exterior of the title loan business and precious metal dealer's storefront windows), other than "open/closed" signs, hours of operation, or those signs required by local, state or federal law shall be prohibited. Allowable window signage shall not exceed 4 square feet.
5. Neon, LED or blinking window signs or wall signs shall be prohibited.
6. No banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
7. Peddlers and/or parking lot sales are prohibited.
8. Owner shall repair or repaint any graffiti or vandalism that occurs on the property within 72 hours.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING EXERCISE OF ZONING

SUITABILITY OF USE

The requested Special Use Permit for a title pawn business and gold buyer/precious metals dealer may be suitable at this location in light of the existing high intensity retail uses located along Jimmy Carter Boulevard and near the Britt Road intersection.

ADVERSE IMPACTS

With the recommended conditions, minimal adverse impacts would be anticipated from this request.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

There would be few additional impacts on public facilities anticipated from this request.

CONFORMITY WITH POLICIES

The 2030 Unified Plan Future Development Map indicates that the site is located in a Mixed Housing Types Character Area. The proposed use, within an existing retail center, would not be inconsistent with the Unified Plan.

CONDITIONS AFFECTING ZONING

In light of the proposed businesses' location within this established commercial area, which contains numerous other retail businesses of similar or greater intensity, the addition of a precious metal dealer may not adversely impact the existing tenants or neighboring properties.

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

YES

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

NO

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

NO

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

NO

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

YES

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

NO



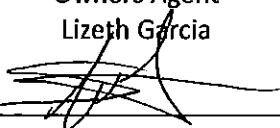
JSL Multiservice INC
4771 Britt Rd
Suite 107
Norcross GA 30093

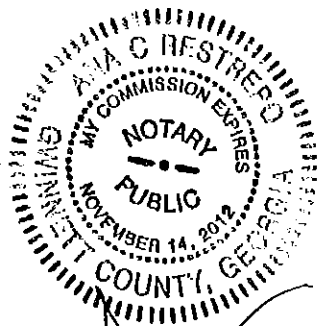
July 28, 2011


Letter Of Intent

The location mentioned above is intended to be used as Precious Metal Regulations and Title Loans. The dwelling/premises square footage is 1171 is only One Lot/Suite. This location is located a business name Daniel Ahart Tax Service the use of space in the location will be at least 500 square feet. It's a commercial building.

Owners Agent
Lizeth Garcia

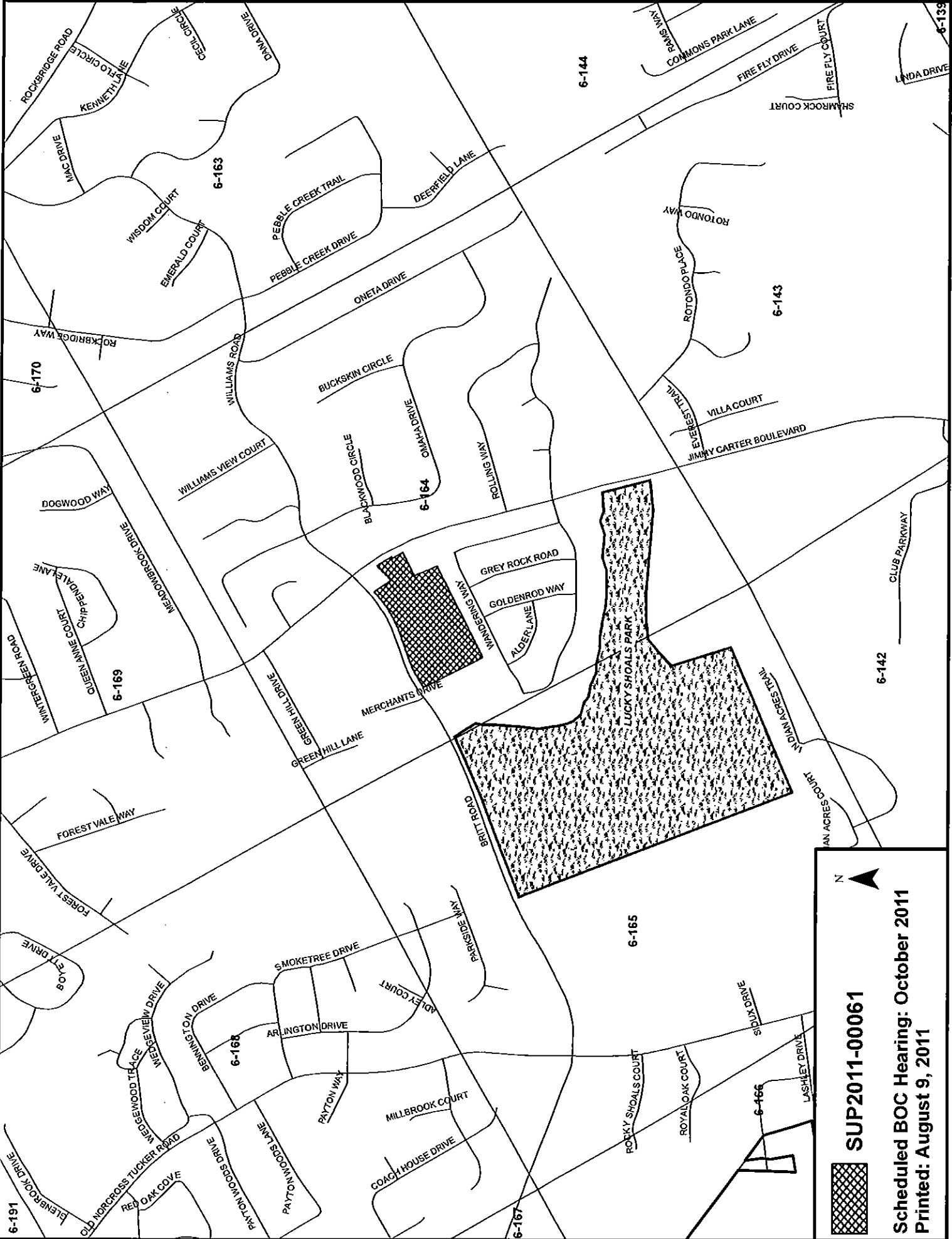
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7/29/2011



RECEIVED 8-5-11
SUP2011-00061



SUP2011-00061



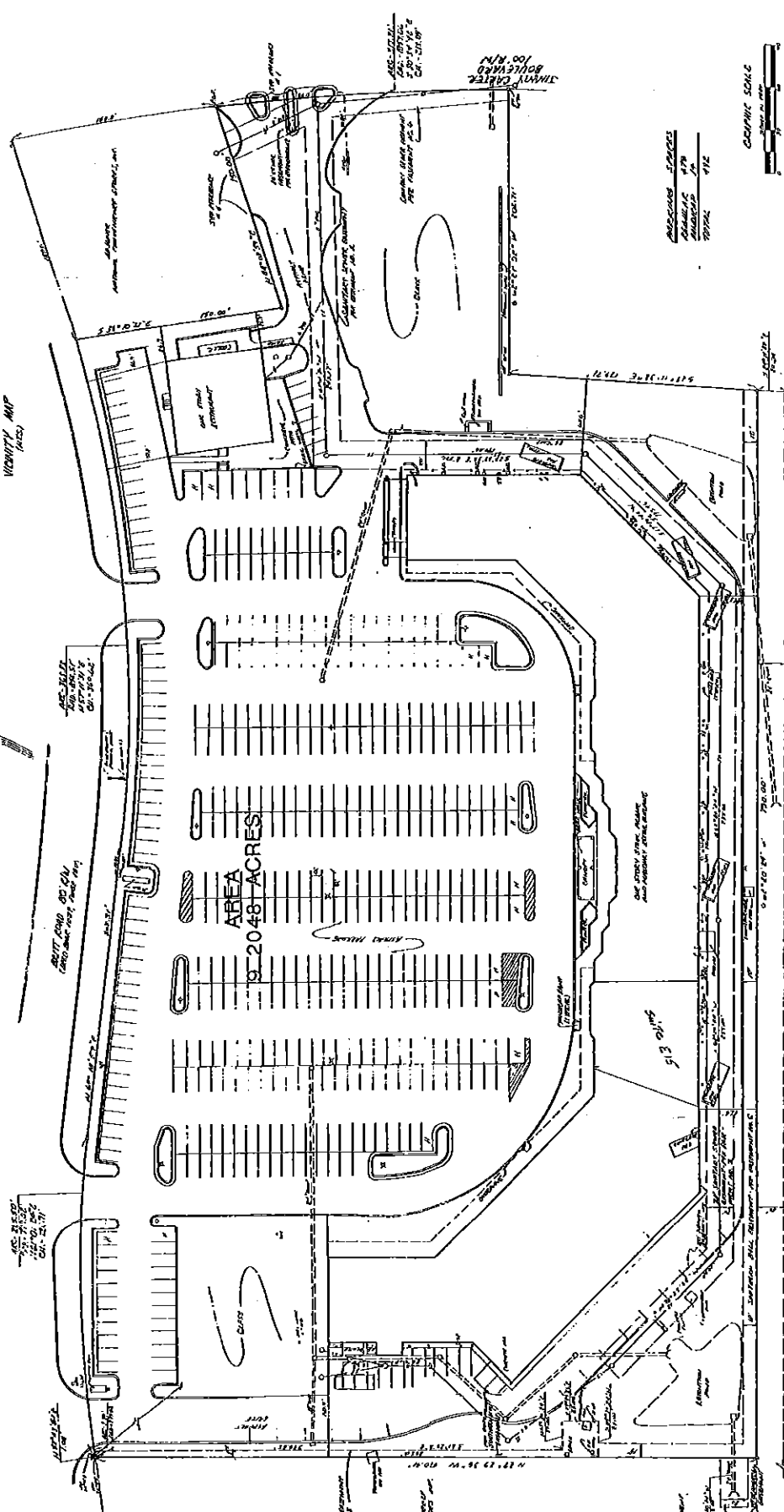
**Scheduled BOC Hearing: October 2011
Printed: August 9, 2011**

DATE	11-11-78
SCALE	AS SHOWN
PROJECT	SMOKETREE TOWN & COUNTRY VILLAGE
CLIENT	SMOKETREE TOWN & COUNTRY VILLAGE
DESIGNER	W. L. JORDEN & CO., INC.

SMOKETREE TOWN & COUNTRY VILLAGE
 1000 CLIFF VALLEY WAY N.E. SUITE 200
 ALPHARETTA, GEORGIA 30201
 ENGINEERS-SURVEYORS-PLANNERS

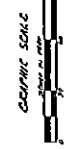
LOCATION: LAND LOT 184
 8TH DISTRICT
 OSMETT COUNTY, GEORGIA

W. L. JORDEN & CO., INC.
 1808 CLIFF VALLEY WAY N.E. SUITE 200
 ALPHARETTA, GEORGIA 30201
 ENGINEERS-SURVEYORS-PLANNERS



ACROSSING STREETS

STREET	WIDTH
JIMMY CARTER BOULEVARD	100'
JIMMY CARTER PARKWAY	100'
TOTAL	200'

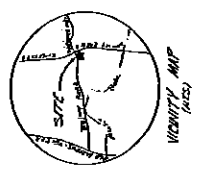


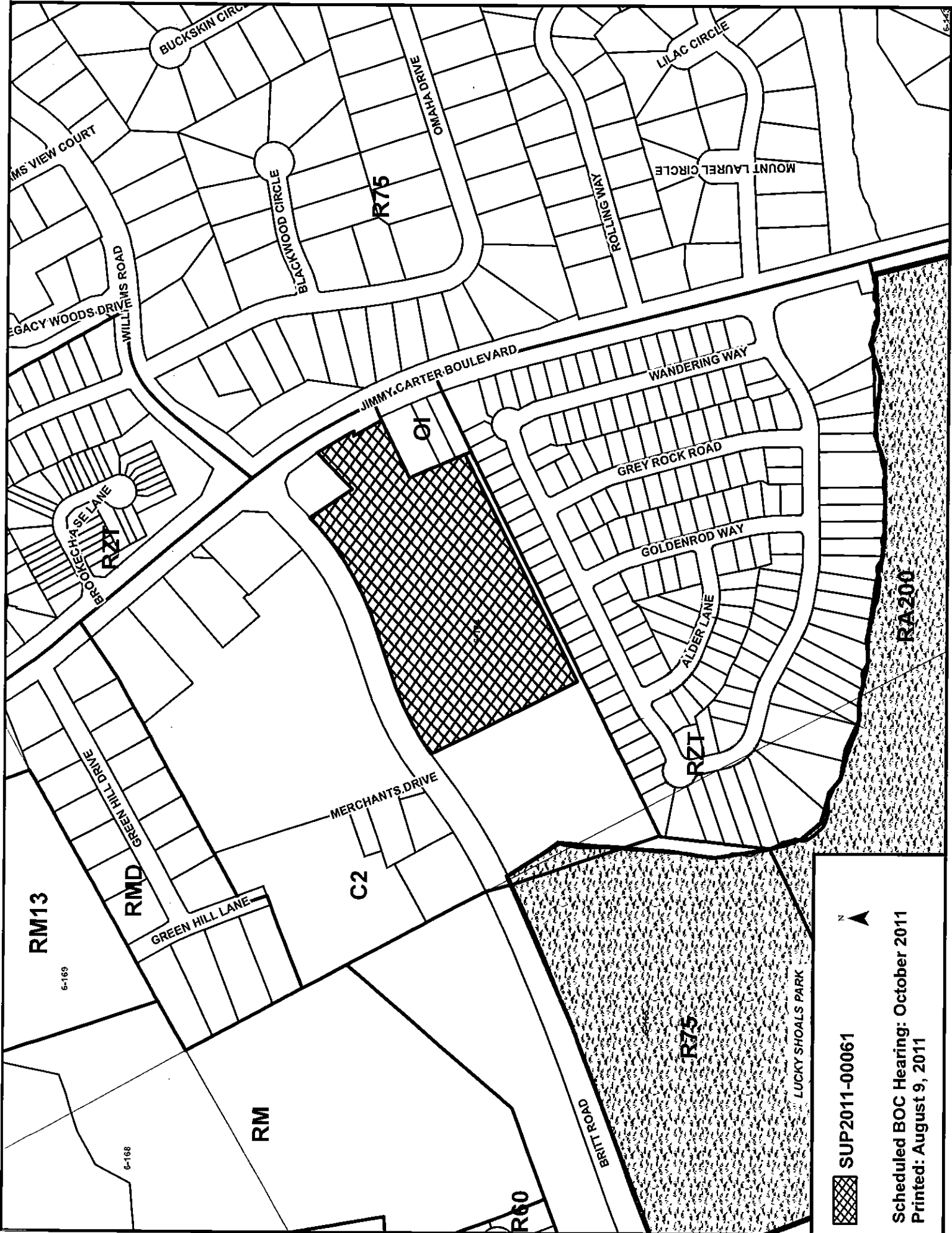
TO THE CLIENTS: THE PROFESSIONAL SURVEYOR HAS BEEN ENGAGED BY THE CLIENTS TO CONDUCT A SURVEY OF THE PROPERTY SHOWN ON THIS PLAN. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND THAT THE PROPERTY IS AS SHOWN ON THIS PLAN. THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL SURVEY OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY ENCUMBRANCES OR OTHER MATTERS AFFECTING THE PROPERTY. THE SURVEYOR'S RESPONSIBILITY IS LIMITED TO THE ACCURACY OF THE SURVEY DATA AND THE CORRECT PREPARATION OF THE PLAN. THE CLIENTS ARE ADVISED THAT THE SURVEYOR IS NOT A LICENSED ENGINEER AND IS NOT PROVIDING ENGINEERING SERVICES. THE CLIENTS SHOULD CONSULT WITH A LICENSED ENGINEER FOR ANY ENGINEERING SERVICES REQUIRED. THIS PLAN IS VALID FOR THE STATE OF GEORGIA. THE SURVEYOR'S LICENSE NUMBER IS 10000. THE SURVEYOR'S EXPIRES DATE IS 12/31/2000.

1. THE AREA SHOWN ON THIS PLAN IS THE PROPERTY OF THE CLIENTS. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND THAT THE PROPERTY IS AS SHOWN ON THIS PLAN. THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL SURVEY OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY ENCUMBRANCES OR OTHER MATTERS AFFECTING THE PROPERTY. THE SURVEYOR'S RESPONSIBILITY IS LIMITED TO THE ACCURACY OF THE SURVEY DATA AND THE CORRECT PREPARATION OF THE PLAN. THE CLIENTS ARE ADVISED THAT THE SURVEYOR IS NOT A LICENSED ENGINEER AND IS NOT PROVIDING ENGINEERING SERVICES. THE CLIENTS SHOULD CONSULT WITH A LICENSED ENGINEER FOR ANY ENGINEERING SERVICES REQUIRED. THIS PLAN IS VALID FOR THE STATE OF GEORGIA. THE SURVEYOR'S LICENSE NUMBER IS 10000. THE SURVEYOR'S EXPIRES DATE IS 12/31/2000.
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SUP2011-00061



Scheduled BOC Hearing: October 2011
 Printed: August 9, 2011