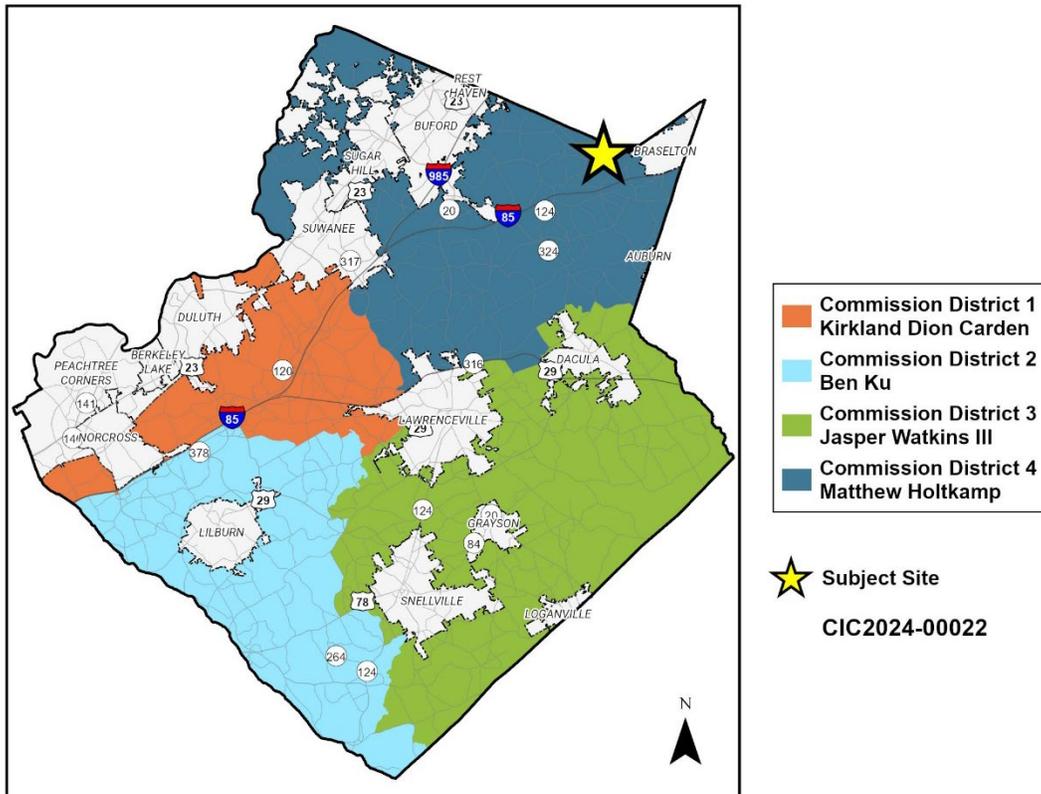


PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: CIC2024-00022
Current Zoning: R-100 (Single-Family Residence District)
Request: Change in Conditions
Address: 2740 Thompson Mill Road
Map Number: R1002 033
Site Area: 9.48
Lots: 7
Proposed Development: Single-Family Detached Subdivision
Commission District: District 4 – Commissioner Holtkamp
Future Development Type: Neighborhood Traditional+

Staff Recommendation: APPROVAL WITH CONDITIONS

Planning Commission Recommendation: APPROVAL WITH CONDITIONS



Planning Commission Advertised Public Hearing Date: 8/6/2024 (Public Hearing Held/ Recommendation Tabled to 9/3/2024)
Board of Commissioners Advertised Public Hearing Date: 8/27/2024

Applicant: Mareis, LLC
2445 Cove Circle
Brookhaven, GA 30319

Owner: Mareis, LLC
2445 Cove Circle
Brookhaven, GA 30319

Contact: Alex Cuica

Contact Phone: 810.459.9755

Zoning History

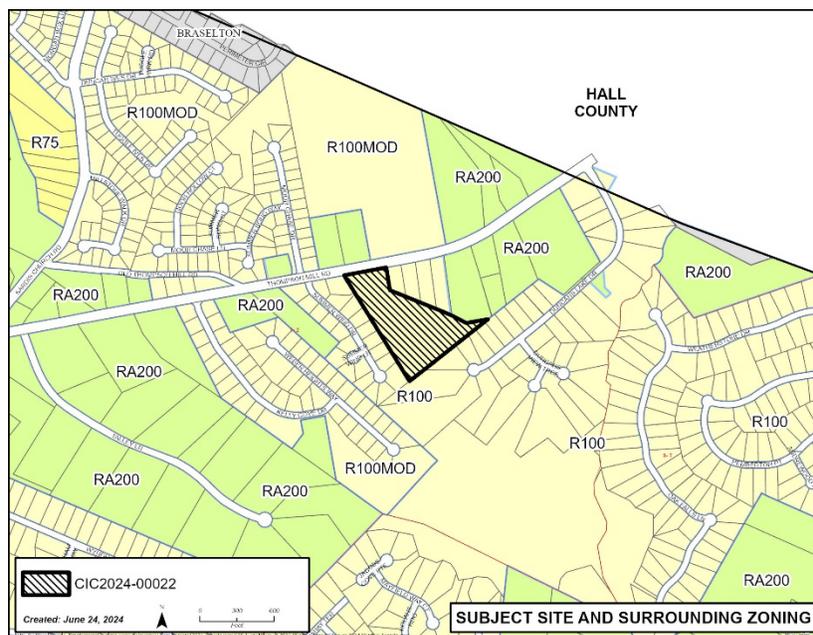
The subject property is zoned R-100 (Single-Family Residence District). A rezoning from RA-200 (Agriculture-Residence District) was approved in 2024, pursuant to RZR2024-00007.

Existing Site Condition

The subject property is a 9.48-acre parcel located on the south side of Thompson Mill Road between Sardis Church Road and the Hall County line. The property is irregularly shaped, narrowing substantially at the front setback line before widening towards the rear of the property. The site is undeveloped and contains mature tree cover. The topography slopes gently from the frontage down towards the rear southeast corner by approximately 38 feet. There is no curb cut or sidewalks along the Thompson Mill Road frontage. Overhead utilities span the length of the property frontage. The nearest Gwinnett County Transit stop is located 8.3 miles from the subject site.

Surrounding Use and Zoning

The subject site is surrounded by single-family detached residences within subdivisions to the south and west, and on large lots to the north and east. The 30-acre wooded lot directly across Thompson Mill Road was rezoned for a 66-lot single-family detached subdivision, pursuant to RZR-07-004, but construction hasn't commenced. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Single-Family Residential	R-100	0.74 units per acre
North	Single-Family Residential	R-100MOD	0.03 units per acre
	Single-Family Residential	RA-200	0.50 units per acre
East	Single-Family Residential	R-100	1.10 units per acre
	Single-Family Residential	RA-200	0.27 units per acre
South	Single-Family Residential	R-100	1.24 units per acre
West	Single-Family Residential	R-100	2.14 units per acre

Project Summary

The applicant requests a change in conditions to amend conditions 1 and 2 of RZR2024-00007, to increase the number of lots from 3 to 7 lots as shown on the revised site plan. The proposal includes:

- Seven single-family residences on lots ranging from 0.95 to 1.8 acres, yielding a density of 0.74 units per acre.
- Two-story residences with a minimum heated floor area of 3,000 square feet, each with a side-entry two-car garage and a front-entry one-car garage.
- Exterior building materials of brick, stone, fiber-cement siding, board and batten, and shake.
- A 20-foot-wide shared private driveway within a 40-foot-wide common access and utility easement providing access to all seven lots from Thompspon Mill Road, maintained by a Homeowner’s Association.
- A 40-foot-wide setback and 10-foot-wide landscape strip along Thompson Mill Road.
- Lots to be served by private septic systems.

Zoning and Development Standards

The applicant is requesting a change in conditions for a single-family detached subdivision. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Lot Size	Minimum 15,000 square feet	>15,000 square feet	YES
Lot Width	Minimum 100’	>100’	YES
Lot Coverage	Maximum 45%	<45%	YES
Front Yard Setback	Minimum 25’	>25’	YES
Side Yard Setback	Minimum 10’	>10’	YES
Rear Yard Setback	Minimum 30’	>30’	YES
Street Frontage	Minimum 40’	40’	YES
Setback	10’ wide landscape strip	10’	
Building Height	Maximum 35’	<35’	YES

Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit H). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the

UDO have been added as staff recommended conditions.

Staff Analysis

Change in Conditions Analysis: According to the UDO, if a proposed amendment is for rezoning property and involves a change in zoning classification, the Department shall evaluate the request and make a recommendation with respect to standards governing exercise of zoning power as defined in Section 270-20.6. After this evaluation, staff makes the following findings based on the standards from the UDO:

A. Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The proposal would maintain a density and lot sizes compatible to surrounding properties, making it suitable in view of the use and development of adjacent and nearby property.

B. Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property.

The proposed development is consistent with surrounding residential uses and meets all dimensional requirements of the R-100 zoning district. The proposed change in conditions would not adversely affect the existing use or usability of adjacent or nearby property.

C. Whether the property to be affected by a proposed change in conditions has a reasonable economic use as currently zoned.

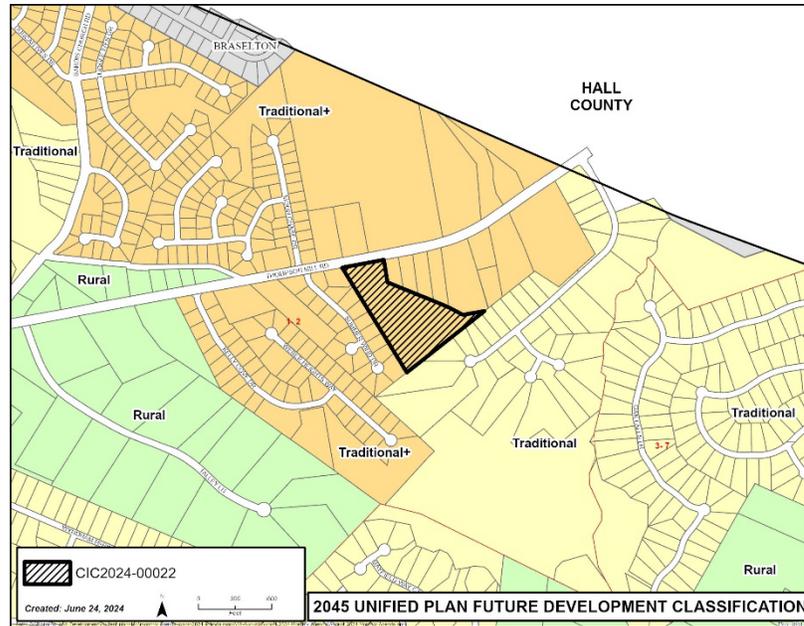
The property has reasonable economic use as currently zoned.

D. Whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

A minimal increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. A minimal impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit H).

E. Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map.

The Unified Plan's Future Development Map indicates "Neighborhood Traditional+" for the subject property. The goal for this future development type is to encourage gentle density in predominantly single-family residential areas. The proposal to increase the number of lots from three to seven would gently increase the density, and the proposal is in conformity with the policy and intent of the Unified Plan and Future Development Map.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions.

There are no other conditions giving support for approval or disapproval of the proposal.

Staff Recommendation

Based on staff’s evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

Planning Commission Recommendation

Based on staff’s evaluation of the request, information presented at the public hearing, and the Planning Commission’s consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)

Approval as R-100 (Single-Family Residence District) for development of a single-family detached subdivision, subject to the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit B, Site Plan dated received ~~December 12, 2023~~ **June 17, 2024**, and Exhibit C: Elevations dated received **June 17, 2024**.

2. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed ~~three~~ **seven** lots.
3. All dwellings shall have a minimum of a two-car garage.
4. The minimum heated floor area of dwellings shall be 3,000 square feet.
5. Natural vegetation shall remain on each individual lot until the issuance of a building permit for said lot. The area within the ~~20~~-**25**-foot-wide common access easement may be cleared with the issuance of the first building permit.
6. The site shall be limited to a single, shared entrance from Thompson Mill Road.
7. No accessory dwelling units shall be allowed.
8. Each property shall have a residential drainage plan.
9. ~~Each lot shall be owned fee simple.~~ **The developer shall establish a mandatory property owners association with bylaws which shall include the following:**
 - a. **Automatic mandatory membership of all purchasers of lots therein and their successors.**
 - b. **Responsibility for maintenance of common areas, utility easements, or other required easements.**
 - c. **Equitable sharing of the cost of maintenance with shares defined by the association bylaws.**
 - d. **Authority to place liens on the real property of members who fail to pay their dues and assessments.**
10. **Development shall be limited to a maximum of one rental unit. The restrictions shall be included in the covenants and shall be managed by a mandatory homeowners association.**
11. **A performance bond or maintenance bond shall be submitted by the subdivider and held by the homeowners or property owners association, or the subdivider shall pay an amount of money as recommended by the Director in an escrow account or other suitable account for the construction, maintenance, and/or repair of private streets and/or stormwater management improvements to be drawn from by the homeowners or property owners association as the need may arise.**
12. **A shared interior drive shall be constructed with a minimum of 25-foot-wide common access easement to be owned and maintained by the property owners association developed in accordance with the standards:**
 - a. **The minimum pavement width shall be 16 feet.**
 - b. **The driveway and pavement composition shall be in accordance with the standard for local streets, private streets, or the Unified Development Ordinance.**

- 13. Natural vegetation shall remain on the property until the issuance of a development permit. The area within the 25-foot-wide common access easement may be cleared with the issuance of the first building permit.**

- 14. A minimum of 25-foot-wide landscape strip shall be provided around the perimeter of the property. Minimum disturbance and screening shall be the goal of this landscape strip. The landscape strip shall include an 8-foot-high solid wood privacy fence along the common property line of the southwestern boundary, between this property and The Reserve at Summer Haven beginning at parcel R1002 298 and end at R1002A 183 as well as along the northeast boundary along parcels R1002A 438 to parcel R1002 440. Where screening is sparse a minimum of 4- to- 5-foot-tall, planted arborvitae or similar privacy screening of durable evergreen trees shall be planted along the interior of the fence where existing screening does not exist. The fence and trees shall be maintained by the HOA. Final landscaping plans shall be subject to the review and approval of the Director of Planning and Development.**

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Floorplans
- E. Previously Adopted Resolution (RZR2024-00007) and Site Plan
- F. Letter of Intent and Applicant's Response to Standards
- G. Application and Disclosure of Campaign Contributions
- H. Internal and External Agency Review Comments
- I. Maps

Exhibit A: Site Visit Photos



View facing property from front of property



View facing property from subdivision to the west



View from Thompson Mill Road facing East



View from Thompson Mill Road facing West

Exhibit B: Site Plan

[attached]

Exhibit C: Building Elevations

[attached]



FRONT ELEVATION
Scale: 1/4" = 1'-0"

ELEVATION NOTES

BUILDING CODES
THIS PLAN HAS BEEN DESIGNED UNDER THE IRC, 2018 RESIDENTIAL EDITION. BUILDER TO VERIFY PLANS MEET 2018 IRC WITH GEORGIA AMENDMENTS (2020).

ICE GUARDS:
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL, 12:12 OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL, 12:12 UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL, 12:12 DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.

VENTING CALCULATIONS

ATTIC VENTILATION
80 SQ. FT. OF ATTIC / 300 = 0.27. 80 SQ. FT. OF INLET AND OUTLET VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 2'-0" ABOVE THE CORNICE VENTS.

MATERIAL LEGEND

	ASPHALT SHINGLES
	STANDING SEAM METAL ROOF
	HORIZONTAL LAP SIDING (Fiber cement type)
	BOARD & BATTEN SIDING @ 16" O. C.
	SHAKE SIDING
	BRICK VENEER
	SYNTHETIC STONE VENEER
	PARGED BLOCK FOUNDATION



LEFT ELEVATION
Scale: 1/4" = 1'-0"

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Mareis LLC
6780 Pannell Rd. Buford GA

Sheet Title: **Exterior Elevations**

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NUMBER	DATE

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A-1
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ELEVATION NOTES

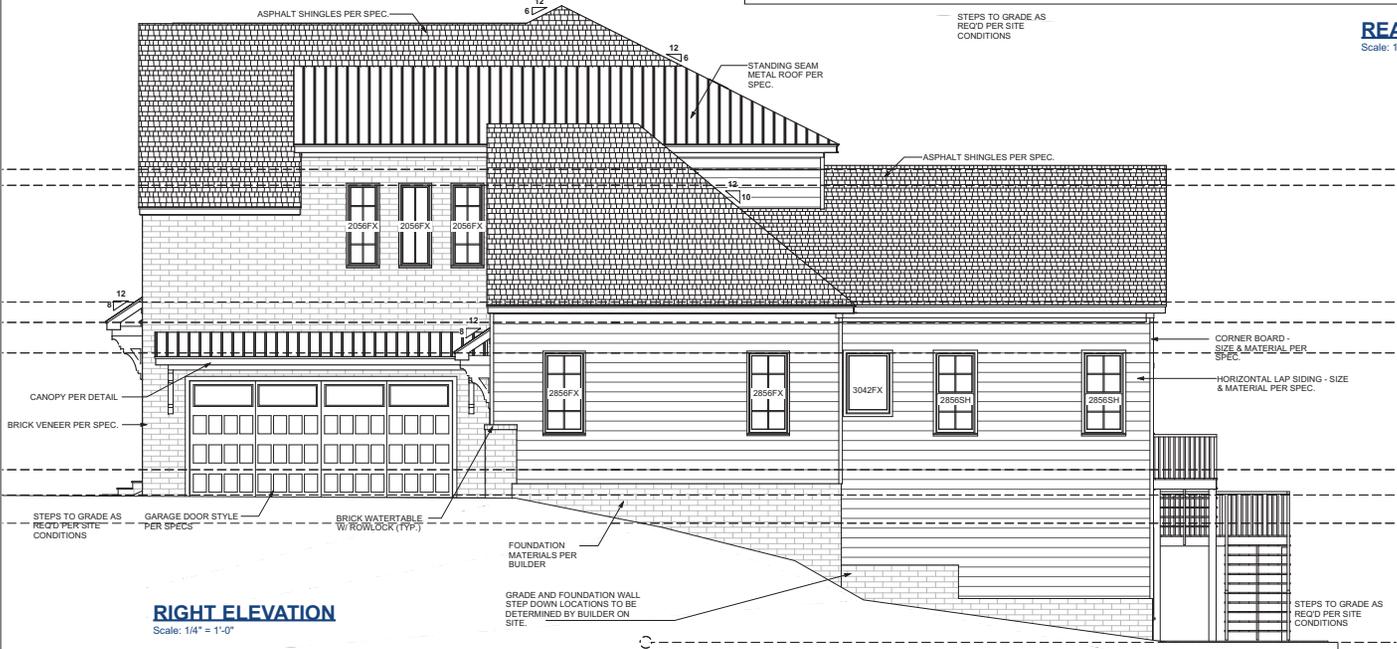
ICE GUARDS:
 ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.

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 PLANNING AND DEVELOPMENT
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REAR ELEVATION

Scale: 1/4" = 1'-0"



RIGHT ELEVATION

Scale: 1/4" = 1'-0"

MATERIAL LEGEND

	ASPHALT SHINGLES
	STANDING SEAM METAL ROOF
	HORIZONTAL LAP SIDING
	BOARD & BATTEN SIDING @ 16" O. C.
	SHAKE SIDING
	BRICK VENEER
	SYNTHETIC STONE VENEER
	PARGED BLOCK FOUNDATION

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Sheet No. **Exterior Elevations**

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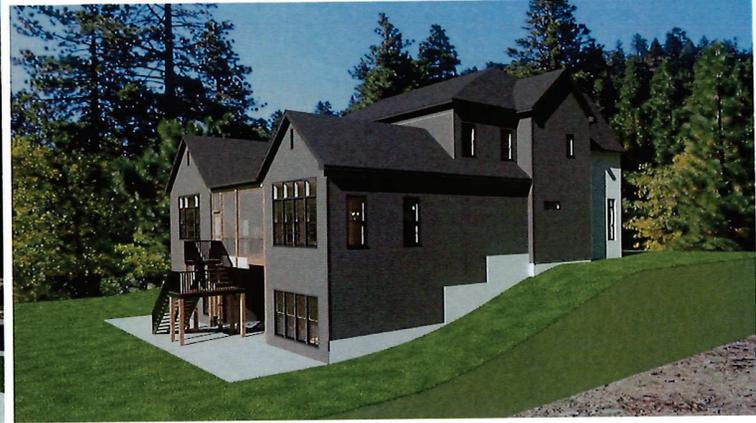
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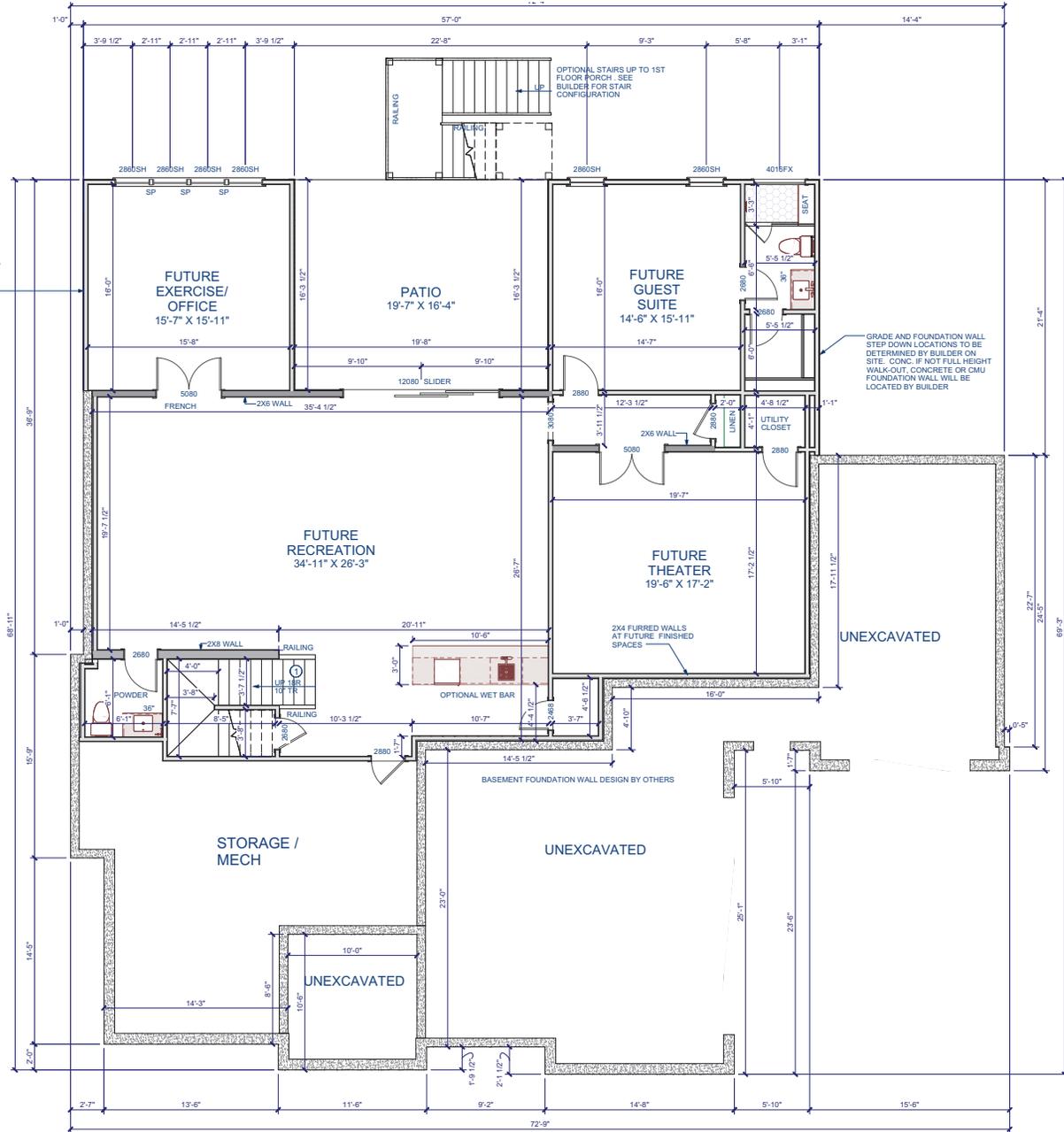
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Exhibit D: Floorplans

[attached]

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GRADE AND FOUNDATION WALL
STEP DOWN LOCATIONS TO BE
DETERMINED BY BUILDER ON
SITE. CONC. IF NOT FULL HEIGHT
WALK-OUT, CONCRETE OR CMU
FOUNDATION WALL WILL BE
LOCATED BY BUILDER



GENERAL NOTES

WALLS
ALL WALLS ARE DRAWN 3/8" WIDE (2X4) OR 5/8" WIDE (2X6) U.N.D.
ANGLED WALLS ARE DRAWN 60% U.N.D.
EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR
DIMENSIONS ARE TO FACE OF STUD.

SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

ATTIC ACCESS
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED
ON SITE.

WALL/CEILING HEIGHT
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL
SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS
ASSUME AN EXTRA 2" FOR FURRING IN HEATED SPACES FOR
INSULATION. THE WALL HEIGHT REFERS TO THE HGT. FROM THE
FLOOR DECKING TO THE BOTTOM OF THE FURRING.

WINDOW NOTE LEGEND

DH DOUBLE HUNG
SH SINGLE HUNG
FX FIXED
SC SINGLE CASEMENT
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT

① BUILDER TO VERIFY # OF
RISERS PER FLOOR SYSTEM
SIZE, FLOOR SYSTEMS TO
BE DESIGNED BY OTHERS.
MAX RISER HEIGHT 7.3/4"
MINIMUM TREAD DEPTH 10"

**BASEMENT
PLAN**
Scale: 1/4" = 1'-0"

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Sheet Title
Basement Plan

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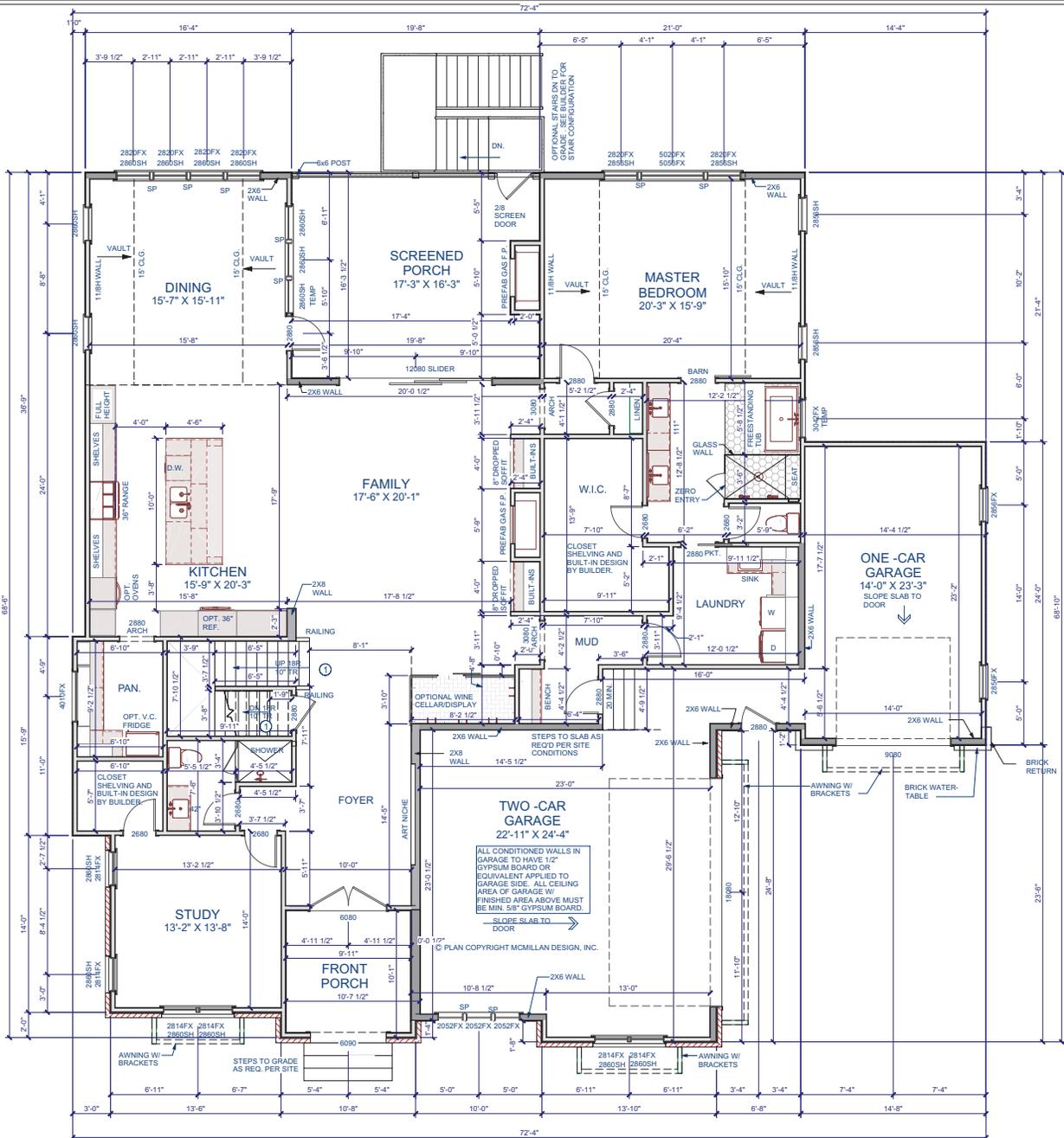
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GENERAL NOTES

WALLS
ALL WALLS ARE DRAWN 3/8\"/>

SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

ATTIC ACCESS
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.

WALL CEILING HEIGHT
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTRA FLOOR FURNISH IN HEATED SPACES FOR INSULATION. THE WALL HEIGHT REFERS TO THE HOT FROM THE FLOOR DECKING TO THE BOTTOM OF THE FURNISH.

WINDOW NOTE LEGEND

DH DOUBLE HUNG
SH SINGLE HUNG
FX FIXED
SC SINGLE CASEMENT
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT

Square Footage

Heated Square Footage	
First Floor	2601
Second Floor	1869
Total Heated	4470
Unfinished	
Front Porch	102
Screened Porch	323
Three Car Garage	989
Total Unfinished	1414
Unfin. Storage and Options	
Walk-in Storage #1	322
Basement Storage/Mechanical	438
Basement Patio	324
Basement Future Livable	2318
Total Storage / Options	3102

ⓘ BUILDER TO VERIFY # OF RISERS PER FLOOR SYSTEM SIZE. FLOOR SYSTEMS TO BE DESIGNED BY OTHERS. MAX RISER HEIGHT 7 3/4\"/>

FIRST FLOOR PLAN
Scale: 1/4\"/>

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6780 Pannell Rd. Buford GA

Project Name: First Floor Plan

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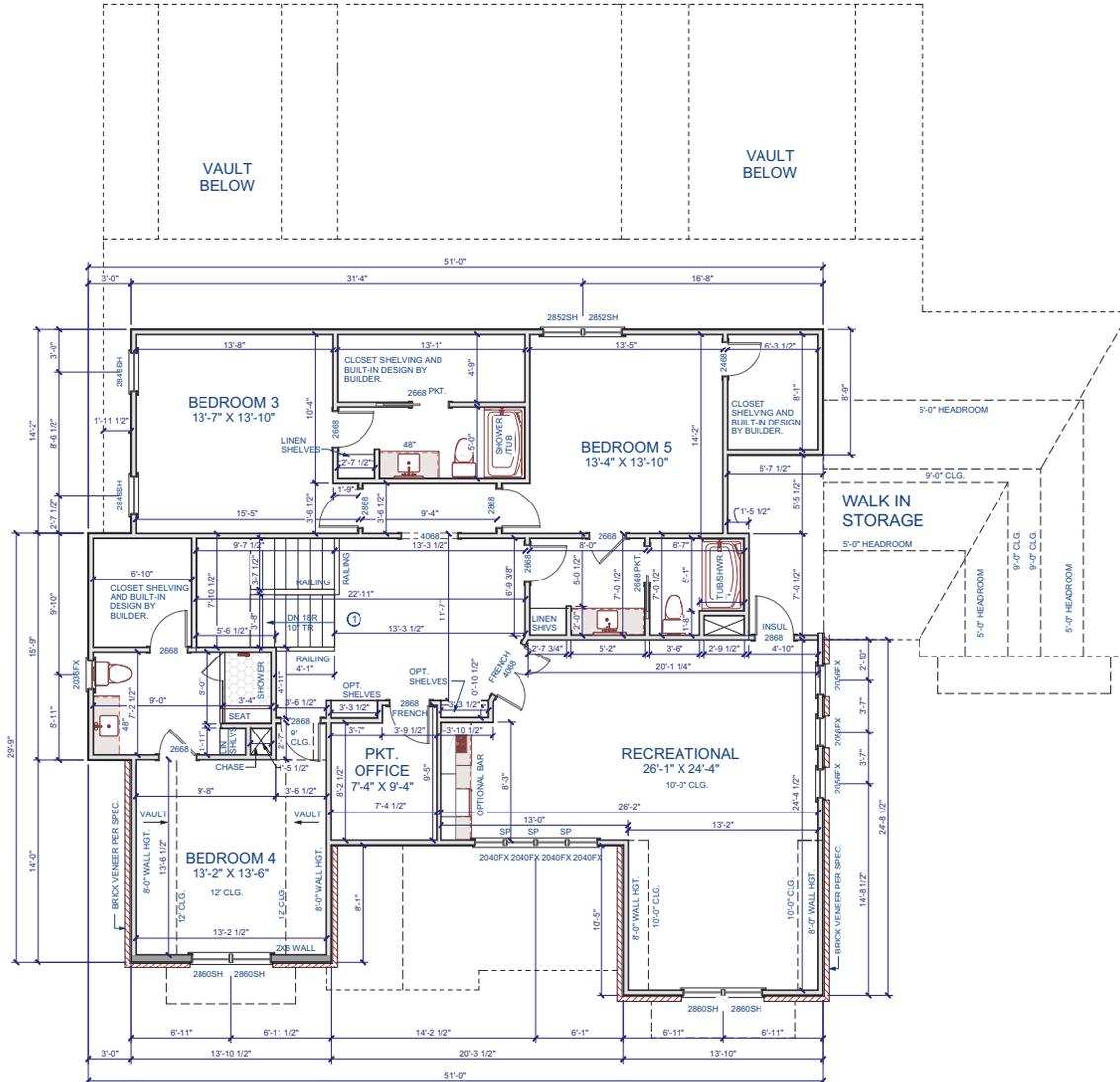
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EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD.

SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

ATTIC ACCESS
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.

WALL/CEILING HEIGHT
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE. ANNE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTRA 2" FOR FLOORING (IN HEATED SPACES) FOR INSULATION. THE WALL HEIGHT REFERS TO THE HG. FROM THE FLOOR SECOND TO THE BOTTOM OF THE FINISHING.

WINDOW NOTE LEGEND

DH DOUBLE HUNG
SH SINGLE HUNG
FX FIXED
SC SINGLE CASEMENT
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT

Ⓢ BUILDER TO VERIFY # OF RISERS PER FLOOR SYSTEM SIZE. FLOOR SYSTEMS TO BE DESIGNED BY OTHERS. MAX RISER HEIGHT 7 3/4". MINIMUM TREAD DEPTH 10"

SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

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Mareis LLC
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Project Name:
Second Floor Plan

REVISIONS	
NUMBER	DATE

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Exhibit E: Previously Adopted Resolution (RZR2024-00007) and Site Plan

[attached]

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CASE NUMBER RZR2024-00007
GCID 2024-0193

GWINNETT COUNTY
BOARD OF COMMISSIONERS
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: AMENDMENT TO THE OFFICIAL ZONING MAP

ADOPTION DATE: FEBRUARY 27, 2024

At the regular meeting of the Gwinnett County Board of Commissioners held in the Gwinnett Justice and Administration Center, Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

	<u>Present</u>	<u>Vote</u>
Nicole L. Hendrickson, Chairwoman	Yes	Aye
Kirkland Carden, District 1	Yes	Aye
Ben Ku, District 2	Yes	Aye
Jasper Watkins, III, District 3	Yes	Aye
Matthew Holtkamp, District 4	Yes	Aye

On motion of Commissioner Holtkamp which carried 5-0, the following Resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from RA-200 to R-100 by Mareis, LLC for the proposed use of a Single-Family Detached Subdivision on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

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CASE NUMBER RZR2024-00007
GCID 2024-0193

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in the Gwinnett Daily Post, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on February 27, 2024, and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners, this 27th day of February 2024, that the aforesaid application to amend the Official Zoning Map from RA-200 to R-100 is hereby **APPROVED** with the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit B, Site Plan dated received December 12, 2023. **Updated Plan dated 5.20.2024**
2. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed three lots. **seven lots**
3. All dwellings shall have a minimum of a two-car garage.
4. The minimum heated floor area of dwellings shall be 3,000 square feet.
5. Natural vegetation shall remain on each individual lot until the issuance of a building permit for said lot. The area within the 20-foot-wide common access easement may be cleared with the issuance of the first building permit.
6. The site shall be limited to a single, shared entrance from Thompson Mill Road.
7. No accessory dwelling units shall be allowed.
8. Each property shall have a residential drainage plan.
9. Each lot shall be owned fee simple.

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CASE NUMBER RZR2024-00007
GCID 2024-0193

GWINNETT COUNTY BOARD OF COMMISSIONERS

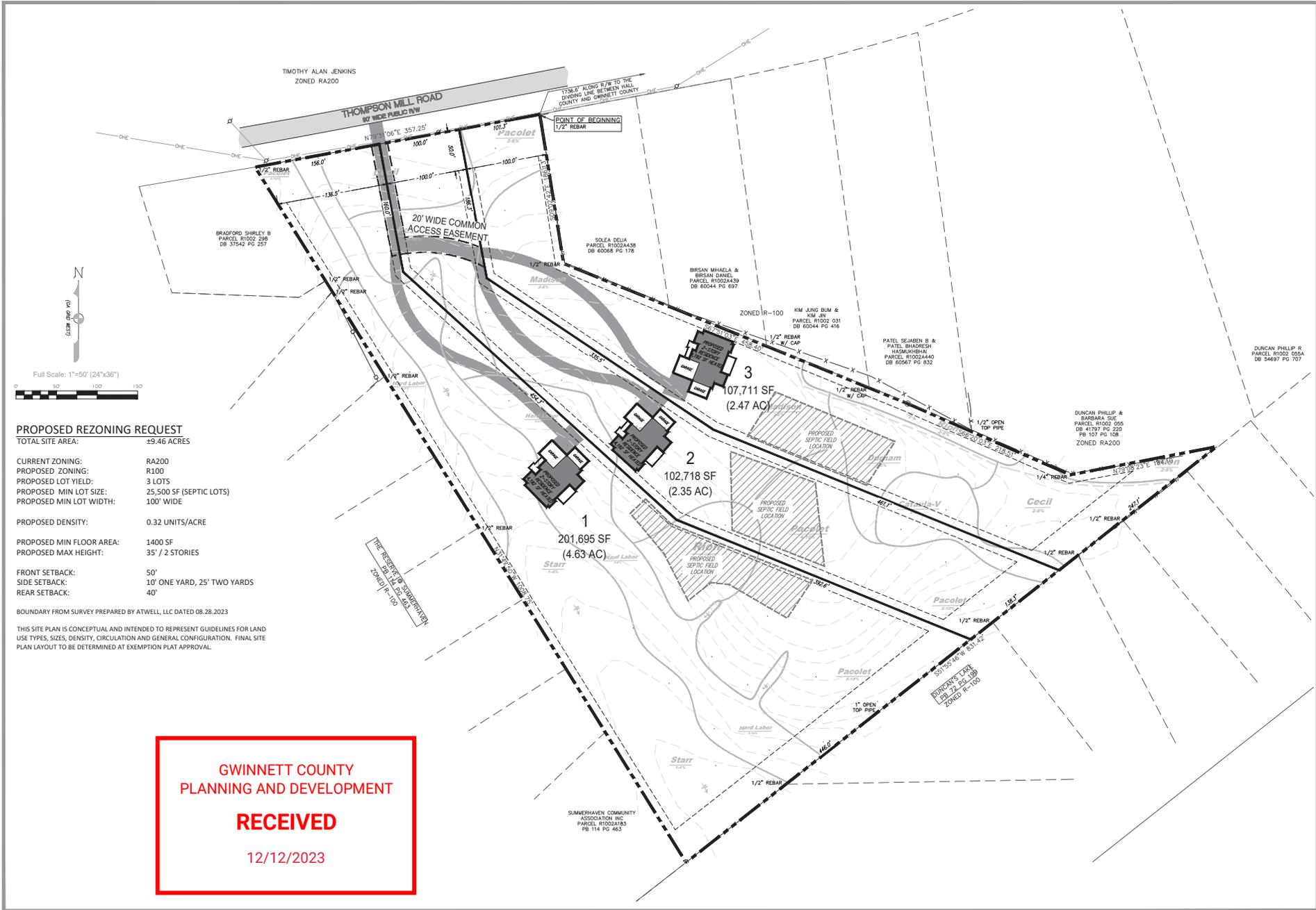
By: *Nicole L. Hendrickson*
Nicole L. Hendrickson, Chairwoman

Date Signed: 3/19/2024

ATTEST:

By: *Dina M King*
County Clerk/Deputy County Clerk





**GWINNETT COUNTY
 PLANNING AND DEVELOPMENT**

RECEIVED

 12/12/2023

2740 Thompson Mill Rd
 Thompson Mill Rd, Gwinnett County, Georgia
 PIN 1002 0033

PROPERTY OWNER
 NURETT & DUNCAN
 4815 BIRCHCREST RD
 WANDER BURGEO GA 30086

R100
 REZONING

**SITE
 PLAN**

11.29.2023

Exhibit F: Letter of Intent and Applicant's Response to Standards

[attached]

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6.17.2024



5074 BRISTOL INDUSTRIAL WAY, SUITE A
BUFORD, GA 30518 | 770.271.2868
WWW.THOMASANDHUTTON.COM

Letter of Intent

May 30, 2024

Gwinnett County Planning and Development
446 West Crogan Street Suite 300

RE: Change in Conditions Application/RZR2024-00007
2740 Thompson Mill Road
Tax Parcel: 1002 033

To whom it may concern:

Please let this letter serve as the letter of intent for a Change in Conditions for RZR2024-00007 that was approved on February 27th, 2024, that rezoned the property located at 2740 Thompson Mill Road from RA200 to R100. During the rezoning of the property the owner was under the previous UDO (Unified Development Ordinance) that restricted shared driveways. The new UDO allows a shared drive with appropriate public road access under Section 230.70-Street Access as outlined below.

230-70.1 No buildable lot shall be created that does not have access to either a public street, a publicly approved street, publicly maintained street, or private street.

We would also request a waiver from the 5 lot maximum allowed under Section 1010-10.3 Minor Subdivisions and to increase the project to 7 lots as outlined below:

7. The Director is authorized to grant a modification from the 5-lot maximum exemption for subdivision with a minimum lot size of 0.5 acre; provided, however, modifications shall not be granted to exceed a total of 7 exempt lots. The Director may impose conditions of approval upon any modification thus granted as may be necessary to ensure the general public welfare.

The two conditions that we would request to change on RZR2024-00007 are the following enumerated in italics:

- 1. The proposed development shall be constructed in general conformance with Exhibit B, site plan dated received December 12,2023.**

The proposed development shall be constructed in general conformance with the rezoning exhibit/site plan dated May 20,2024.

- 2. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed three lots.**

The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed seven lots.

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The project will be in keeping with the surrounding community and provide homes 3,000 square feet or greater on large estate lots. There will be a common drive with the appropriate access/utility easement that will be maintained and shared by all seven homes with a mandatory Homeowner's Association.

We appreciate your consideration of this Change in Conditions for RZR2024-00007 and please do not hesitate to give me a call if you have any questions.

Sincerely,

Tonya Woods/770.271.2868

Thomas and Hutton

Woods.t@tandh.com

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STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

Pursuant to requirements of the United Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

Please respond to the following standards in the space provided or use attachment as necessary:

- (A) Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property:

The proposed single family exemption plat subdivision is only 7 lots with the smallest lot being approximately .94 acres in size which is significantly larger than surrounding properties.

- (B) Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property:

The change in conditions will not adversely affect the existing use or usability of nearby or adjacent property as they are residentially zoned.

- (C) Whether the property to be affected by a proposed change in conditions has reasonable economic use as currently zoned:

The property has reasonable economic use as currently zoned.

- (D) Whether the proposed change in conditions will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

A shared driveway will not burden Thompson Mill road, and 7 lots will have very minimal impact on utilities and schools.

- (E) Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map:

The proposed 7 lots is consistent with the intent of the Future development map and 2045 Unified Plan Traditional Plus Character area.

- (F) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions:

The UDO was updated as of 1/1/2024 which allows for shared driveways as long as the proposed development has access to a public street via a private access and utility easement.

Exhibit G: Application and Disclosure of Campaign Contributions

[attached]

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CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

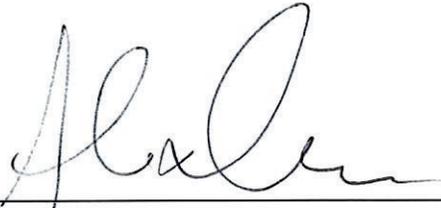
APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
Name: <u>Mareis, LLC</u>	Name: <u>Same as Applicant</u>
Address: <u>2445 Cove Circle</u>	Address: _____
City: <u>Atlanta</u>	City: _____
State: <u>Brookhaven</u> ZIP: <u>30319</u>	State: _____ ZIP: _____
Phone: <u>810.459.9755</u>	Phone: _____
Email: <u>alex.cuica23@gmail.com</u>	Email: _____
Contact Person: <u>Alex Cuica</u> Phone: <u>810.459.9755</u>	
Contact's Email: <u>alex.cuica23@gmail.com</u>	
APPLICANT IS THE:	
<input type="checkbox"/> Owner's Agent <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Contract Purchaser	
Zoning District(s): <u>R-100</u> Prior Zoning Case No.: <u>RZR2024-00007</u>	
Parcel Number(s): <u>R1002 033</u> Acreage: <u>9.4</u>	
Property Address(es): <u>2740 Thompson Mill Road</u>	
Proposed Change in Conditions: <u>To allow for 7 lots with a shared driveway</u>	
Variance(s): _____ Waiver(s): <u>7 lots</u>	
RESIDENTIAL DEVELOPMENT: No. of Dwelling Units: <u>7</u> Dwelling Unit Sq. Ft.: <u>3,000 square feet</u> Density: <u>1.34</u> Floor Area Ratio (LRR, MRR, HRR): _____	NON-RESIDENTIAL DEVELOPMENT No. of Buildings: <u>NA</u> Total Building Sq. Ft.: _____ Floor Area Ratio: _____
MIXED-USE DEVELOPMENT	
No. of Dwelling Units: <u>NA</u> Dwelling Unit Sq. Ft.: _____	
Total Non-Residential Sq. Ft.: _____ Floor Area Ratio: _____	

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6.17.2024

CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

The undersigned below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of last action by the Board of Commissioners.



5.30.2024

Signature of Applicant

Date

Alex Ciuca

Type or Print Name and Title

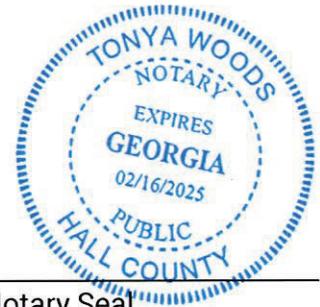


5.30.2024

Signature of Notary Public

Date

Notary Seal

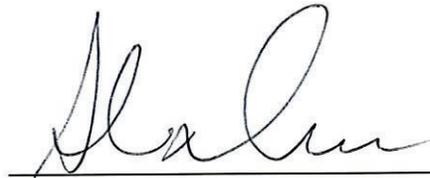


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6.17.2024

CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

The undersigned below, or as attached, is the owner of the property considered in this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of last action by the Board of Commissioners.



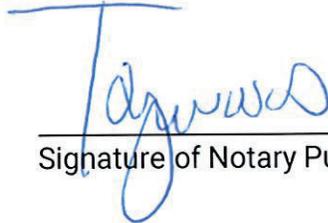
5.30.2024

Signature of Property Owner

Date

Alex Ciuca

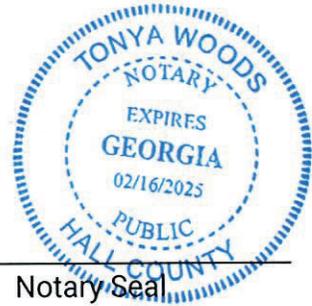
Type or Print Name and Title



5.30.2024

Signature of Notary Public

Date



Notary Seal

RECEIVED

6.17.2024

**VERIFICATION OF CURRENT PAID PROPERTY TAXES
FOR CHANGE IN CONDITIONS**

The undersigned below is authorized to make this application. The undersigned certifies that all Gwinnett County property taxes billed to date for the parcel listed below have been paid in full to the Gwinnett County Tax Commissioner. In no case shall an application or reapplication for change in conditions be processed without such property verification.

A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE CHANGE IN CONDITIONS REQUEST.

Parcel I.D. Number: R1002 033

(Map Reference Number)



5.30.2024

Signature of Applicant

Date

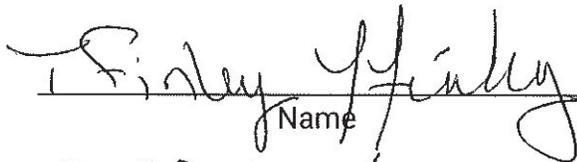
Alex Ciuca

Type or Print Name and Title

PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE. THIS FORM MUST BE SIGNED BY A REPRESENTATIVE OF THE TAX COMMISSIONER'S OFFICE.

TAX COMMISSIONERS USE ONLY

Payment of all property taxes billed to date for the above referenced parcel has been verified as paid current and confirmed by the signature below.



Name



Title

5-30-2024

Date

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6.17.2024

CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.



5.30.2024

Alex Ciuca

Signature of Applicant

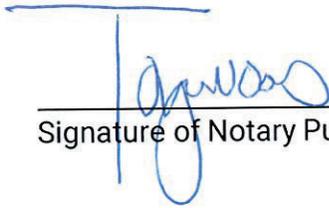
Date

Type of Print Name and Title

Signature of Applicant's
Attorney or Representative

Date

Type or Print Name and Title



5.30.2024



Signature of Notary Public

Date

Notary Seal

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners?

Yes

No

ALEX CIUCA

(Your Name)

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

Exhibit H: Internal and External Agency Review Comments

[attached]



**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

TRC Meeting Date:		07.08.2024	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 2	
Reviewer Email Address:		Brent.Hodges@gwinnettcountry.com	
Case Number:		CIC2024-00022	
Case Address:		2740 Thompson Mill Road, Buford, 30519	
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		YES	NO
1	Thompson Mill Road is a major collector. The Average Daily Traffic Volume is 6,081.		
2	The site is 8.2 miles to the nearest Ride Gwinnett facility located at 3505 Buford Drive (SR 20) (AutoNation Mall of Georgia).		
3	A sight distance certification shall be provided to ensure the shared driveway meets minimum sight distance, per UDO section 360-40.		
4	Per Section 360-90 of the UDO, a 5' concrete sidewalk shall be constructed along the site frontage.		
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input checked="" type="checkbox"/>
		YES	NO
1			
2			
3			
4			
5			
6			
7			

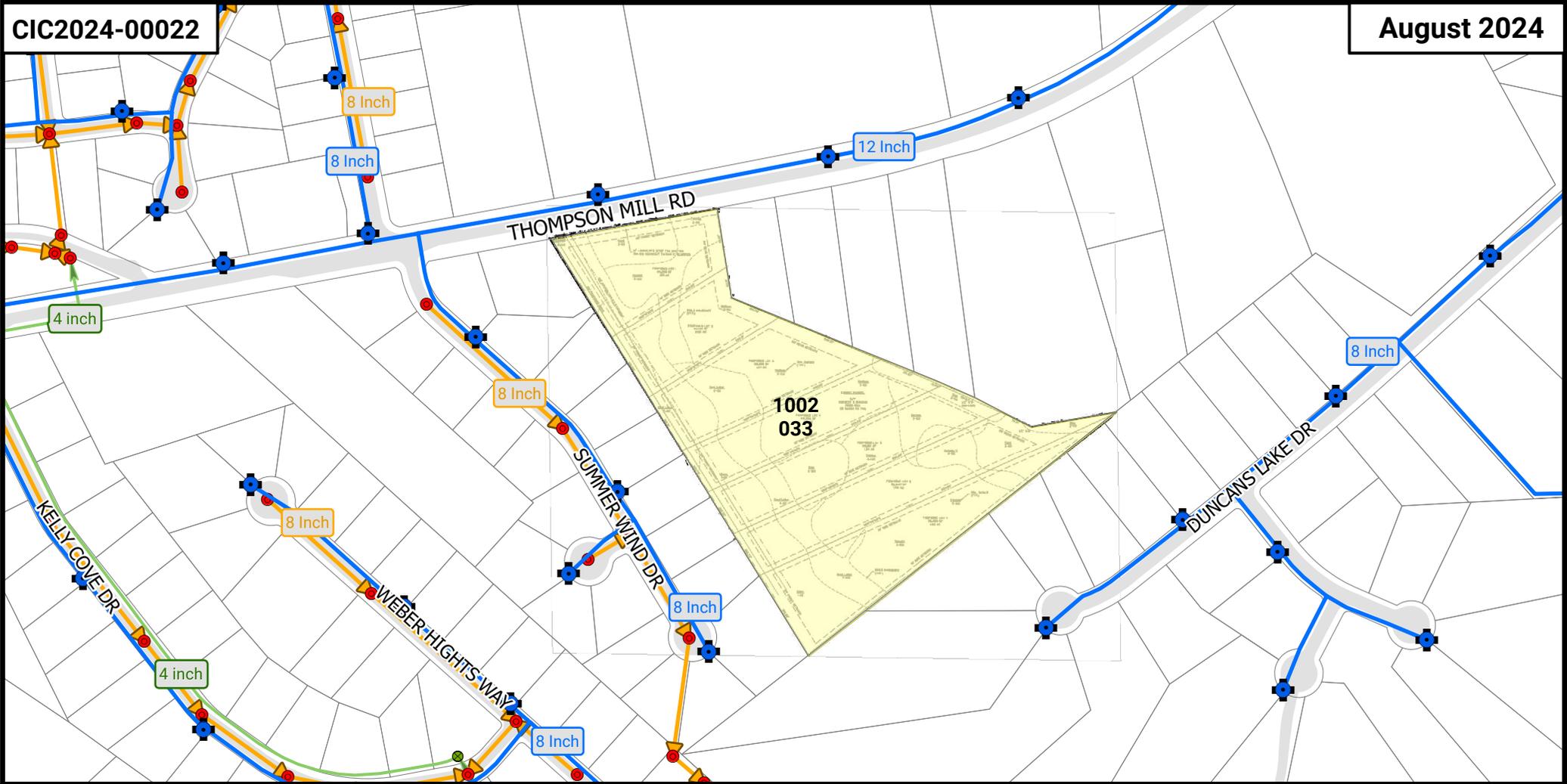


**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

TRC Meeting Date:				
Department/Agency Name:		DWR		
Reviewer Name:		Mike Pappas		
Reviewer Title:		GIS Planning Manager		
Reviewer Email Address:		Michael.pappas@gwinnettcountry.com		
Case Number:		CIC2024-00022		
Case Address:		2740 Thompson Mill Rd		
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1	Water: The proposed development may connect to the existing 12-inch water main on the northern right-of-way of Thompson Mill Road.			
2	Sewer: The proposed development plans to be on septic pending approval from the GNR Public Health.			
3				
4				
5				
6				
7				
Recommended Zoning Conditions:		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1				
2				
3				
4				
5				
6				
7				

Note: Attach additional pages, if needed

Revised 7/26/2021

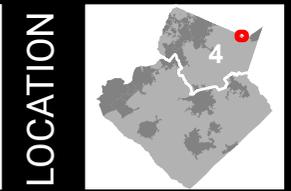
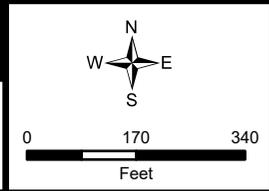


LEGEND

- Water Main
- Hydrant
- Manhole
- Sewer Collector
- Sewer Force Main

2740 Thompson Mill Rd
 RA-200 to R-100

Water & Sewer Utility Map



Water Comments: The proposed development may connect to the existing 12-inch water main on the northern right-of-way of Thompson Mill Road.

Sewer Comments: The proposed development plans to be on septic pending approval from the GNR Public Health.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Exhibit I: Maps

[attached]



SUMMER SONG WAY

MOON CHASE DR

THOMPSON MILL RD

SUMMER WIND DR

SUMMER WIND LN

WEBER HEIGHTS WAY

KELLY COVE DR

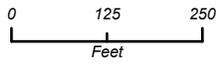
DUNCANS LAKE DR

DUNCANS VIEW TRCE

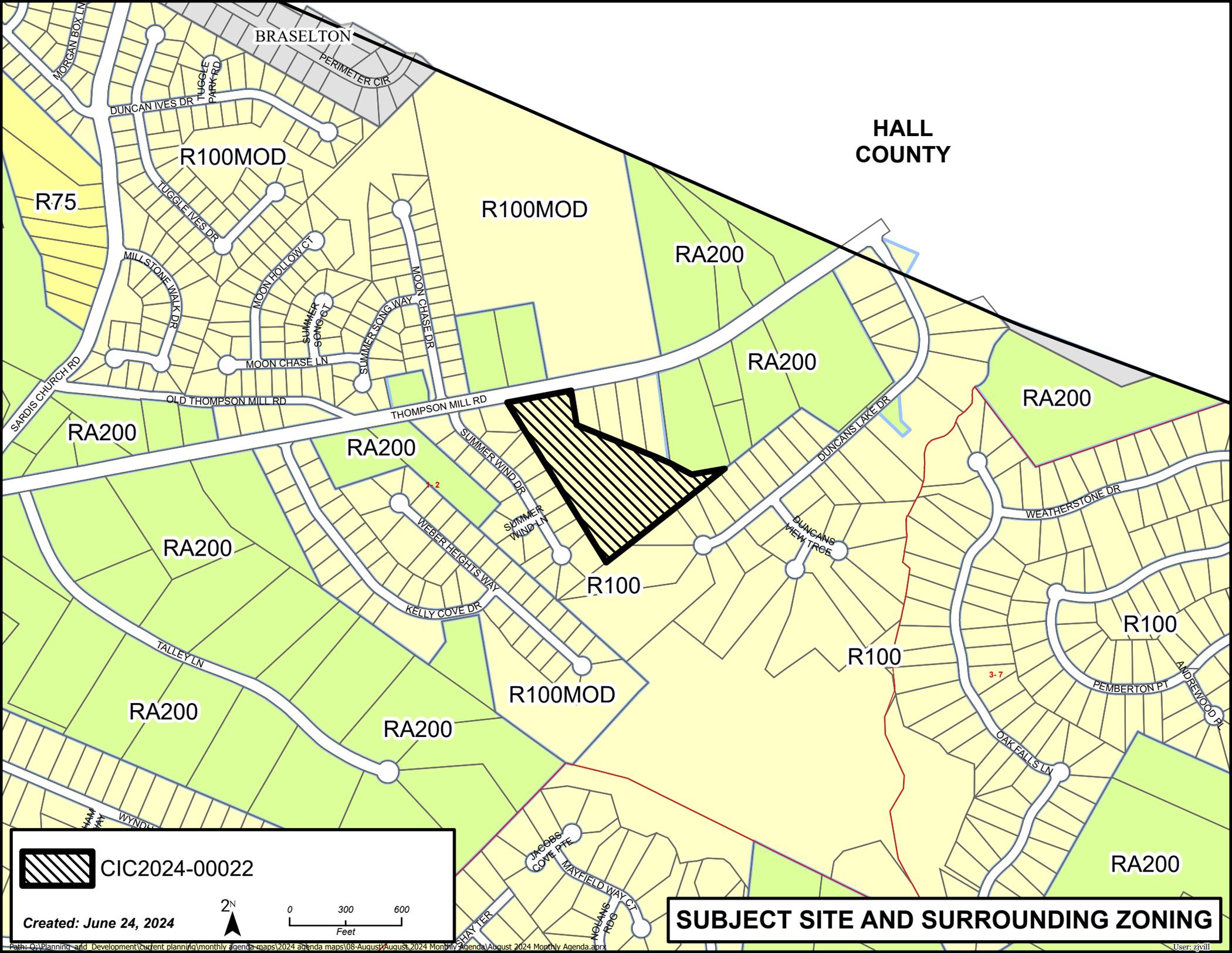
DUNCANS LAKE PT

 CIC2024-00022

Created: June 24, 2024



Gwinnett County GIS



HALL COUNTY

BRASELTON

R100MOD

R75

R100MOD

RA200

RA200

RA200

RA200

RA200

RA200

R100

R100

R100

RA200

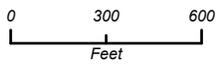
RA200

R100MOD

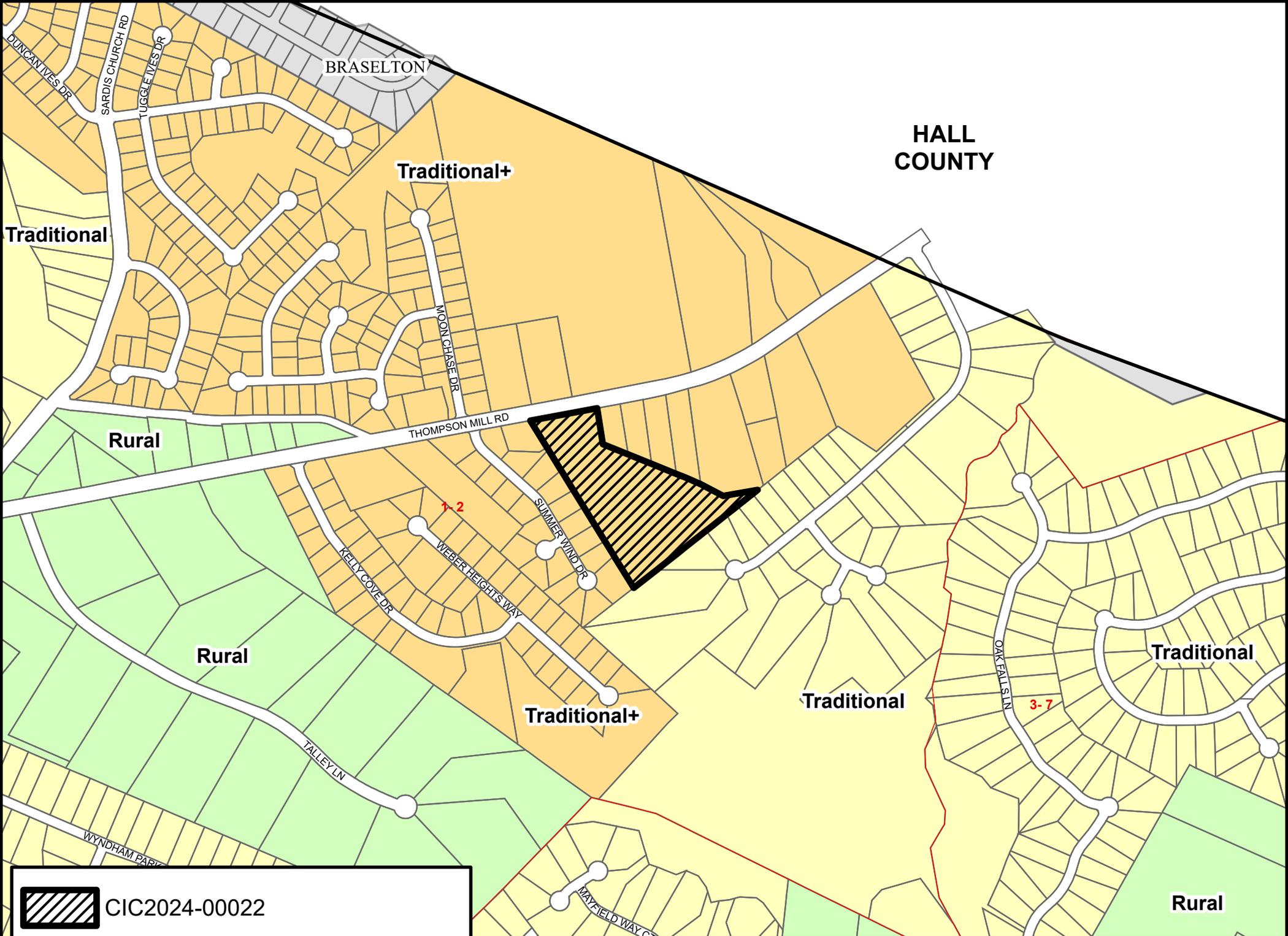
RA200

 CIC2024-00022

Created: June 24, 2024



SUBJECT SITE AND SURROUNDING ZONING



**HALL
COUNTY**

Traditional+

Traditional

Rural

Rural

Traditional+

Traditional

Traditional

Rural

BRASELTON

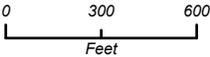
THOMPSON MILL RD

1-2

3-7

 CIC2024-00022

Created: June 24, 2024



2045 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION