

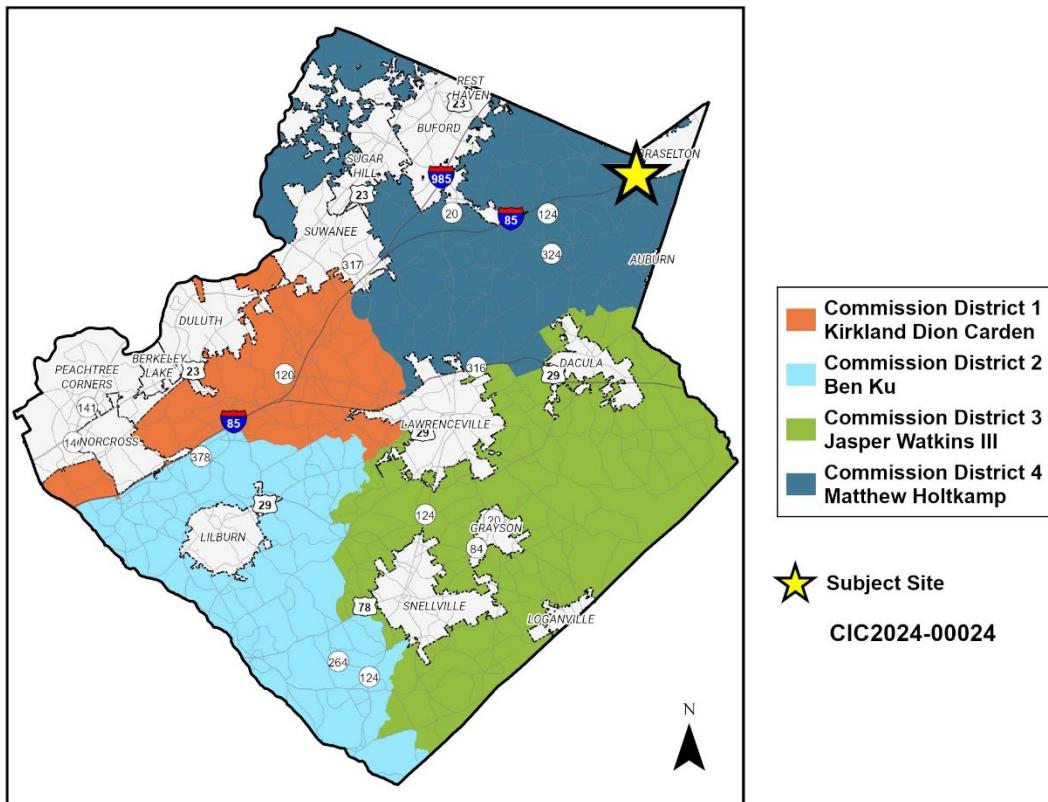


## PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

**Case Number:** CIC2024-00024  
**Current Zoning:** R-100 (Single-Family Residence District)  
**Request:** Change in Conditions  
**Address:** 4911 Spout Springs Road  
**Map Number:** R3007 037  
**Site Area:** 4.16 acres  
**Lots:** 6  
**Proposed Development:** Single-Family Detached Subdivision  
**Commission District:** District 4 – Commissioner Holtkamp  
**Future Development Type:** Rural

**Staff Recommendation:** APPROVAL WITH CONDITIONS

**Planning Commission  
Recommendation:** APPROVAL WITH CONDITIONS



**Applicant:** Alejandro Ramos  
4181 Lantern Hill Drive  
Dacula, GA 30019

**Owner:** LBM Custom Homes, LLC  
4181 Lantern Hill Drive  
Dacula, GA 30019

**Contact:** Kathleen Woodruff

**Contact Phone:** 404.285.1124

## Zoning History

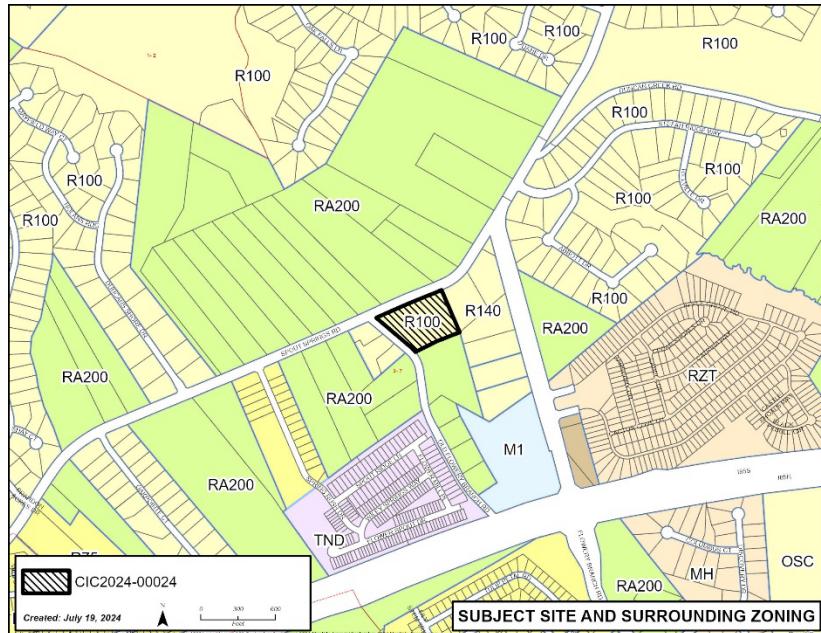
The subject property is zoned R-100 (Single-Family Residence District). A rezoning from R-140 (Single-Family Residence District) was approved in 2023, pursuant to RZR2023-00021.

## Existing Site Condition

The subject property is a 4.16-acre parcel located at the southeast corner of the Spout Springs Road and Old Flowery Branch Road intersection. There is an existing single-family residence on the property with several accessory buildings and structures, accessed from Old Flowery Branch Road. The eastern half of the property is wooded and the property slopes downwards from west to east by approximately 16 feet. There are no sidewalks along either property frontage of Spout Springs Road or Old Flowery Branch Road. Overhead utilities span the length of the property frontage on Old Flowery Branch Road. The nearest Gwinnett County Transit stop is approximately 3.6 miles from the subject property.

## Surrounding Use and Zoning

The subject property is located in a predominately residential area. Single-family detached residences on large lots are located to the east, west and south. To the north, across Spout Springs Road is a place of worship. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Single-Family Residential	R-100	1.44 units per acre
North	Place of Worship	RA-200	N/A
East	Single-Family Residential	R-140	0.47 units per acre
South	Single-Family Residential	RA-200	0.21 units per acre
West	Single-Family Residential	R-100	1.23 units per acre

## Project Summary

The applicant requests a change in conditions to amend condition 2 of RZR2023-00021, to remove the minimum lot size requirement of 25,000 square feet. The proposal includes:

- Six single-family residences on lots ranging from 20,909 square feet to 1.38 acres, yielding a density of 1.44 units per acre.
- Two-story residences with a minimum heated floor area of 3,000 square feet.
- Exterior building materials of brick, fiber-cement board and batten siding with wood accents.
- A shared private driveway providing access from Spout Springs Road.
- A 40-foot-wide setback and 10-foot-wide landscape strip along Spout Springs Road on lot 3.
- Lots to be served by sanitary sewer.

## Zoning and Development Standards

The applicant is requesting a change in conditions for a single-family detached subdivision. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Lot Size	Minimum 15,000 square feet	>15,000 square feet	YES
Lot Width	Minimum 100'	>100'	YES
Lot Coverage	Maximum 45%	<45%	YES
Front Yard Setback	Minimum 25'	>25'	YES
Side Yard Setback	Minimum 10'	>10'	YES
Rear Yard Setback	Minimum 30'	>30'	YES
Street Frontage Setback (Lot 3 Only)	Minimum 40' 10' wide landscape strip	40' 10'	YES
Building Height	Maximum 35'	<35'	YES

## Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit G). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

## Staff Analysis

**Change in Conditions Analysis:** According to the UDO, if a proposed amendment is for rezoning

property and involves a change in zoning classification, the Department shall evaluate the request and make a recommendation with respect to standards governing exercise of zoning power as defined in Section 270-20.6. After this evaluation, staff makes the following findings based on the standards from the UDO:

**A. Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property.**

The applicant is not proposing to increase the number of lots. The proposal would maintain a density and development pattern compatible to surrounding properties, making it suitable in view of the use and development of adjacent and nearby property.

**B. Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property.**

The proposed development is compatible with surrounding residential uses and meets all dimensional requirements of the R-100 zoning district. The proposed development would remove several existing non-conforming buildings and structures. The proposal would not adversely affect the existing use or usability of adjacent or nearby property.

**C. Whether the property to be affected by a proposed change in conditions has a reasonable economic use as currently zoned.**

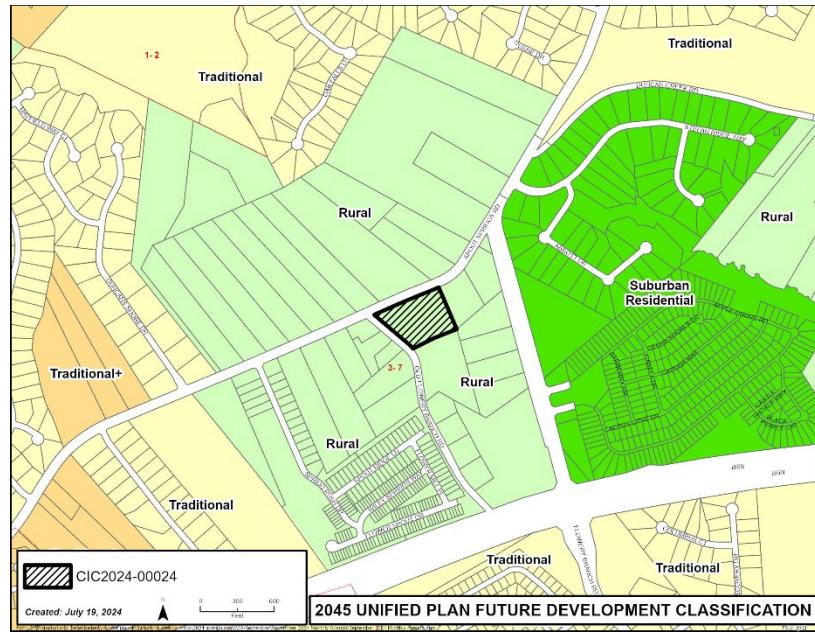
The property has reasonable economic use as currently zoned.

**D. Whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

A minimal increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. A minimal impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit G).

**E. Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map.**

The Unified Plan's Future Development Map indicates Rural for the subject property. The goal for this future development type is to maintain the low-intensity, pastoral character of rural areas. The proposal is in conformity with the policy and intent of the Unified Plan and Future Development Map.



**F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions.**

The original proposal in 2023 was designed for septic lots, but a soil test on the property revealed that the site was unfit for septic design. Sewered lots can be smaller in size without the need for individual septic drainage fields, providing more flexibility to the applicant.

### Staff Recommendation

Based on staff's evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

### Planning Commission Recommendation

Based on staff's evaluation of the request, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the Change in Conditions request.

### Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)

Approval as R-100 (Single-Family Residence District) for development of a single-family detached subdivision, subject to the following conditions:

1. The proposed development shall be constructed in general conformance with **Exhibit B: Site Plan dated received July 11, 2024, and** Exhibit C: Building Elevations dated received September 6, 2023, subject to the review and approval of the Department of Planning and Development.

2. The property shall be limited to a maximum of six single-family detached lots and accessory uses and structures, with a minimum lot size of ~~25,500~~ **20,000** square feet.
3. All dwellings shall have a minimum of a two-car garage.
4. The minimum heated floor area of dwellings shall be 3,000 square feet.
5. The developer shall construct a 5-foot-wide concrete sidewalk, as well as curb and gutter, along the Spout Springs Road and Old Flowery Branch Road frontage.
6. The developer shall be limited to one direct driveway access to Spout Springs Road.
7. ~~All residential buildings shall comply with Category 3 of the Gwinnett County Architectural Design Standards. Final building elevations shall be submitted for review and approval by the department of Planning and Development. shall be prohibited.~~
8. ~~A maximum of 20 percent of the development may be rented at any given time. The development shall be limited to a maximum of one rental unit. The restrictions shall be included in the covenants and shall be managed by mandatory homeowners association (HOA).~~
9. A Residential Drainage Plan (RDP) shall be required and approved by the Department of Planning and Development for each lot prior to the issuance of a building permit.

**Exhibits:**

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Previously Adopted Resolution (RZR2023-00021) and Site Plan
- E. Letter of Intent and Applicant's Response to Standards
- F. Application and Disclosure of Campaign Contributions
- G. Internal and External Agency Review Comments
- H. Maps

## Exhibit A: Site Visit Photos



View facing property from front of property



View facing property from subdivision to the west



View from Spout Springs Road facing West



View from Spout Springs Road facing East

**Exhibit B: Site Plan**

**[attached]**

**PLAT2024-00060**  
**RZR2023-00021**

**LEGEND**

BSL	BUILDING SETBACK LINE	OVERHEAD POWER
DE	DRAINAGE EASEMENT (STORM)	FIRE HYDRANT
SSE	SANITARY SEWER EASEMENT	WATER METER
EDP	EDGE OF PAVEMENT (Curb)	WATER VALVE
R/W	RIGHT OF WAY	GAS VALVE
S/W	SIDEWALK	GAS METER
POB	POINT OF BEGINNING	LIGHT POLE
POC	POINT OF COMMENCEMENT	CONCRETE PAD
MFE	MIN. FINISHED FLOOR ELEVATION	TELEPHONE MARKER
MAP	MAP ROCK	AIR CONDITIONER UNIT
PROPOSED FLOW ARROW /	CLEAN CUT	MIN. REAR SETBACK
PROPOSED BELT FENCE	SANITARY SEWER MANHOLE	MIN. SIDE SETBACK - 35' OR 30'
POWER POLE	LEFT WING CATCH BASIN	MINIMUM SIDE RETRACE - 10' ONE YARD, 25' TWO YARDS
IRON REBAR SET	RIGHT WING CATCH BASIN	MINIMUM REAR SETBACK - 40'
IRON PIN FOUND	DOUBLE WING CATCH BASIN	MINIMUM HEATED FLOOR AREA - 1,400 SQ. FT.
BOLLARD	DROP INLET	MAXIMUM BUILDING HEIGHT - 35 FT.
	HEADWALL	

**OWNER INFORMATION**

OWNER: LBM CUSTOM HOMES
ADDRESS: 4911 SPOUT SPRINGS ROAD
EMAIL: LBMCUSTOMHOMES@GMAIL.COM

**GWINNETT COUNTY PLANNING AND DEVELOPMENT**

**RECEIVED**  
**7.11.2024**

**OVERALL LOT DATA**

**LOT 1 DATA - 2149 OLD FLOWERY BRANCH ROAD**

1. AREA: 181,58 S.F. OR 4.159 AC.
2. CALCULATED PLAT CLOSURE: 1 FOOT IN 348,286 FEET
3. PARCEL NUMBER: 3007 037

**LOT 2 DATA - 2159 OLD FLOWERY BRANCH ROAD**

1. AREA: 80,101 S.F. OR 1.380 AC.
2. CALCULATED PLAT CLOSURE: 1 FOOT IN 317,539 FEET
3. PARCEL NUMBER: TO BE DETERMINED

**LOT 3 DATA - 2169 OLD FLOWERY BRANCH ROAD**

1. AREA: 30,489 SQ FT, 0.700 AC
2. CALCULATED PLAT CLOSURE: 1 FOOT IN 209,625 FEET
3. PARCEL NUMBER: TO BE DETERMINED

**LOT 4 DATA - 4949 SPOUT SPRINGS ROAD**

1. AREA: 23,280 SQ FT, 0.534 AC
2. CALCULATED PLAT CLOSURE: 1 FOOT IN 283,560 FEET
3. PARCEL NUMBER: TO BE DETERMINED

**LOT 5 DATA - 4959 SPOUT SPRINGS ROAD**

1. AREA: 22,892 SQ FT, 0.528 AC
2. CALCULATED PLAT CLOSURE: 1 FOOT IN 187,073 FEET
3. PARCEL NUMBER: TO BE DETERMINED

**LOT 6 DATA**

1. AREA: 23,510 SQ FT, 0.540 AC
2. CALCULATED PLAT CLOSURE: 1 FOOT IN 143,984 FEET
3. PARCEL NUMBER: TO BE DETERMINED

**FLOOD HAZARD NOTE**

THESE ARE NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEDING 100 ACRES OR FLOODPLAIN PLAT PANEL 1313500295 DATED MARCH 4, 2013. FLOODPLAIN SHOWN IS FROM PLAT PANEL 1313500295 DATED MARCH 4, 2013.

**ZONING**

GWINNETT COUNTY  
ZONING: R-100  
MINIMUM SIDE RETRACE - 35' OR 30'  
MINIMUM SIDE SETBACK - 10' ONE YARD, 25' TWO YARDS  
MINIMUM REAR SETBACK - 40'  
MINIMUM LOT SIZE - SEWER - 15,500 SQ. FT. SEPTIC - 25,500 SQ. FT.  
MINIMUM HEATED FLOOR AREA - 1,400 SQ. FT.  
MAXIMUM BUILDING HEIGHT - 35 FT.

**FIELD DATA**

1. FIELD SURVEY COMPLETED ON 2-9-23, 2-13-23 & 2-24-23.
2. THE CALCULATED POSITIONAL TOLERANCE BASED ON REDUNDANT LINEAR MEASUREMENTS OF OBSERVED POSITIONS WAS FOUND TO BE 0.01 FEET.
3. EQUIPMENT: ELECTRONIC TOTAL STATION AND NETWORK GPS  
GPS RECEIVER: SP 8S  
SN: 6126500077  
NETWORK: TRINBLE VRS Nw RTK GNSS

**SITE NOTES**

1. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE PARENT PARCEL INTO SIX LOTS.
2. THIS PROPERTY IS SERVED BY SEWER.
3. UTILITIES SHALL BE LOCATED UNDERGROUND.
4. WATER SERVICE IS PROVIDED BY GWINNETT COUNTY.

**PER ZONING CONDITION, THERE SHALL ONLY BE (1) DIRECT DRIVEWAY ACCESS TO SPOUT SPRINGS ROAD. LOTS 4 AND 5 SHALL UTILIZE A SHARED DRIVEWAY. LOTS 1-3 MAY HAVE DIRECT DRIVEWAY CONNECTIONS TO OLD FLOWERY BRANCH ROAD.**

**A RESIDENTIAL DRAINAGE PLAN (RDP) OR STUDY (RDS) MUST BE APPROVED BY THE STORMWATER PLAN REVIEW SECTION OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP" OR "RDS" RESPECTIVELY.**

**A RESIDENTIAL DRAINAGE STUDY (RDS) MUST BE CONDUCTED BY THE BUILDER'S DESIGN PROFESSIONAL AND APPROVED BY THE BUILDING PERMITS SECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT OR A CERTIFICATE OF OCCUPANCY ON THOSE LOTS SO NOTED IN THE FINAL PLAT.**

**PER THE GWINNETT COUNTY ZONING, THIS PLAT MAY NOT BE RESUBDIVIDED EXCEPT THROUGH THE SUBDIVISION PROCESS AS PROVIDED BY THE GWINNETT COUNTY UNITED DEVELOPMENT ORDINANCE IN EFFECT AT THAT TIME.**

**APPROVAL OF THIS PLAT DOES NOT AUTHORIZE ANY LAND DISTURBANCE OR CONSTRUCTION, LAND DISTURBANCE PERMITS AND/OR BUILDING PERMITS MUST BE OBTAINED PRIOR TO ANY LAND DISTURBANCE.**

**WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIED THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED, AND 2) THE APPROPRIATE PLAN SHEET [ ] DOES / [X] NOT INDICATE ANY WETLANDS. 3) NO WETLANDS ARE SHOWN ON THE MAPS, AND 3) NO WETLANDS ARE SHOWN ON THE MAPS, AND 3) NO WETLANDS ARE INDICATED. THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.**

**THERE ARE NO PROPOSED COVENANTS FOR THIS SUBDIVISION.**

**A SEPARATE BUILDING PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION FOR EACH SITE RETAINING WALL (WHICH EITHER EXCEEDS 4 FEET IN HEIGHT OR WHICH HAS A BACKFALL SLOPE GREATER THAN 1 FOOT RISE IN 3 FEET HORIZONTAL) AND FOR EACH DETENTION POND/WALL (DAM) IN ACCORDANCE WITH GWINNETT COUNTY CONSTRUCTION CODES AND STANDARDS. THE OWNER OF THE PROPERTY SHALL NOTIFY THE GWINNETT COUNTY BUILDING INSPECTIONS SECTION FOR ALL WALLS PERTINENT TO THE PROJECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY USABLE STRUCTURE ON THE SITE OR PRIOR TO APPROVAL OF THE FINAL SUBDIVISION PLAT AS APPLICABLE.**

**PUBLIC NOTICE - DRAINAGE**

1. GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.
2. STREAM BUFFERS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION.
3. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.

**CERTIFICATES AND STATEMENTS**

**FINAL SURVEYOR'S CERTIFICATE**

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN HEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY DIRECTION AND SUPERVISION. THE PLAT IS PREPARED IN ACCORDANCE WITH THE SIZE, TYPE AND MATERIALS AS CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS CLOSURE PRECISION OF ONE FOOT IN 348,286 FEET AND AN ANGULAR ERROR OF LESS THAN ONE SECOND PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN THE PRECISION STATED. THE SURVEYOR AND THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS HERON WAS ELECTRONIC TOTAL STATION.

By: PATRICK FRANCIS CAREY  
REGISTERED GEORGIA LAND SURVEYOR  
REG NO 3077 DATE OF EXPIRATION 12/31/2024

*[Signature]* 10/10/2023

**OWNERS ACKNOWLEDGMENT AND DECLARATION**

STATE OF GEORGIA COUNTY OF GWINNETT  
THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND DEDICATES BY ACKNOWLEDGMENT AND DECLARATION TO THE USE OF THE PUBLIC FOREVER ALL STREETS, SEWER COLLECTORS, LIFT STATIONS, DRAINS, EASEMENTS, AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN.

**SIGNATURE OF SUBDVIDER DATE SIGNED**

LBM CUSTOM HOMES  
PRINTED OR TYPED NAME OF SUBDVIDER

**SIGNATURE OF OWNER DATE SIGNED**

LBM CUSTOM HOMES  
PRINTED OR TYPED NAME OF OWNER

THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT CERTIFIES THAT THIS PLAT COMPLIES WITH TITLE 2 AND TITLE 3 OF THE GWINNETT COUNTY UNITED DEVELOPMENT ORDINANCE (UDO) AND THAT IT HAS BEEN APPROVED BY ALL OTHER OPERATIONAL COUNTY DEPARTMENTS, AS APPROPRIATE. THIS PLAT IS APPROVED.

DATED THIS 20 DAY OF 20

DIRECTOR, DEPARTMENT OF PLANNING AND DEVELOPMENT

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-57, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HERON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFERRED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-57.

KEYSTONE LAND SURVEYING, INC.  
282 WEST CROCAN STREET  
LAWRENCEVILLE, GEORGIA 30046  
770-545-6700  
www.keystonelandsurveying.com  
patrick@keystonelandsurveying.com

**GENERAL NOTES**

1. THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAT.
2. THIS PLAT IS SUBJECT TO ANY RESTRICTIONS, EASEMENTS, COVENANTS OR RESTRICTIONS THAT MAY EXIST EITHER WRITTEN OR UNWRITTEN.
3. UNDERGROUND UTILITIES NOT SHOWN HEREON MAY EXIST. THE SURVEYOR DOES NOT TAKE RESPONSIBILITY FOR ABSENCE OR PRESENCE OF ANY SUCH UTILITIES.
4. NO GEODETIC MONUMENTS WERE FOUND WITHIN 500 FEET OF THIS SITE.
5. THIS PLAT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON(S) OR ENTITIES NAMED HEREON.
6. DISTANCE FROM BUILDING TO PROPERTY LINE MEASURED FROM FOUNDATION.

**VICINITY MAP (NOT TO SCALE)**

**GRAPHIC SCALE - IN FEET**

SCALE: 1"=40'

20'	40'	60'	80'	100'	120'
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DESIGNED BY: **JOEY LAMAR THOMPSON ETAL**  
SHEET NUMBER: **1** OF **2**  
FILE NAME: **4911 SPOUT SPRINGS ROAD\_Exemption R2**

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DATE: **11-28-2023** | JOB NUMBER: **EXPLT-421**

**EXEMPTION PLAT FOR**  
**THE ESTATES AT MILL CREEK**  
**PHASE 2**  
**FORMERLY A PART OF MOTHER NATURE MINI FARMS SUBDIVISION**

**DUNCAN'S G.M.D. 1749**  
**GWINNETT COUNTY, GEORGIA 30519**

**REVISIONS**  
**1** 10/24/23 GWINNETT COMMENTS  
**2** 8/28/24 REVISE LOT CONFIGURATION

CLIENT: **LBM CUSTOM HOMES**

1 10/24/23 GWINNETT COMMENTS  
2 8/28/24 REVISE LOT CONFIGURATION

3 1 770-545-6700  
4 4  
5 5

CIC2024-00024

11 of 41

RP

**Exhibit C: Building Elevations**

**[attached]**

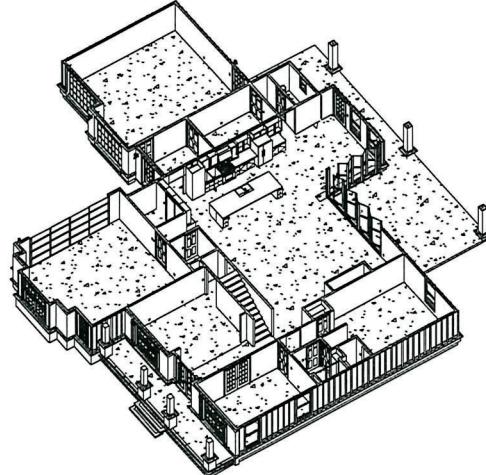
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9/6/2023

GENERAL NOTES

- MIN 10'-1" CEILING HEIGHT ON FIRST FLOOR AND 9'-1" ON SECOND FLOOR & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/8" FROM DIMENSIONS FOR EXTERIOR WOOD CLADDING. DOOR FRAMES & LOCATION OPENINGS ARE FRAMED IN. DOORS ARE NOT INCLUDED IN ALLOCATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR P.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSED SHELF HEIGHT OFF FLOOR: DOUBLE 42" x 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATEFORM
- POCH, STOOP, & DECK RAILINGS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

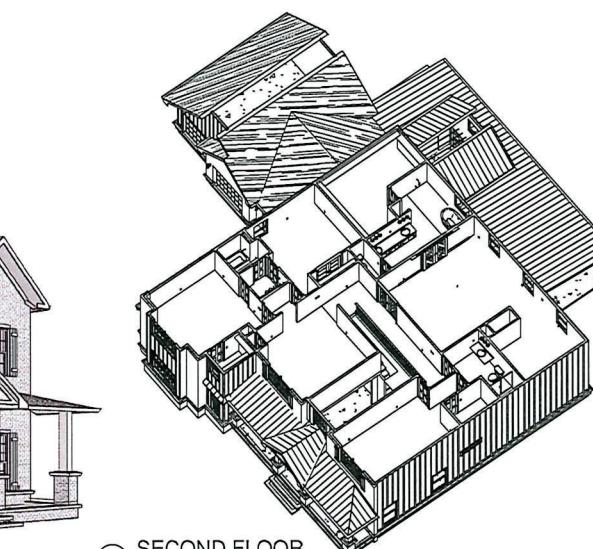
FINISHES SHALL BE COORDINATED WITH OWNER



③ FIRST FLOOR



④ SECOND FLOOR



PRINTED 12-14-2020  
FINAL PRINT

OPT. PAPER SIZE:  
For 1/4" = 1'-0" on 24"x26" PAPER SIZE  
ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION DOCUMENTS

PAPER SIZE: 11" x 17"

SCALE: SEE SHEET

A1.0

COVER SHEET

Revision Schedule	Revision Number	Revision Date

AREAS:  
FIRST FLOOR HEATED = 2,357 SF  
SECOND FLOOR HEATED = 1,227 SF  
BASMENT = 580 SF  
GARAGE = 975 SF  
TOTAL HEATED = 4,584 SF  
TOTAL PORCH = 445 SF  
TOTAL GARAGE = 975 SF

THE JACKELYN II  
T.B.D.

CONSTRUCTION PLAN SHEET LIST  
SHEET NUMBER | SHEET NAME

A1.0	COVER SHEET
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR
A1.3	ROOF PLAN
A2.1	FRONT AND REAR ELEVATION
A2.2	RIGHT AND LEFT ELEVATION
A3.1	SECTIONS AND DETAILS
A3.2	SECTIONS AND DETAILS
A3.4	3D BACK VIEW
E1.1	FIRST FLOOR ELECTRICAL
E1.2	SECOND FLOOR ELECTRICAL
S1.1	FOUNDATION PLAN

DRAWN BY: Author	JOB#: 2020-8-16	THE: ADDRESS:
CHECKED BY: Reviewer	2X UNLESS OTHERWISE NOTED	
DESIGNED BY: Designer	PRINT DATE: 10/12/2020 10:16:53 AM	FOUNDATION TYPE: MONOSLAB

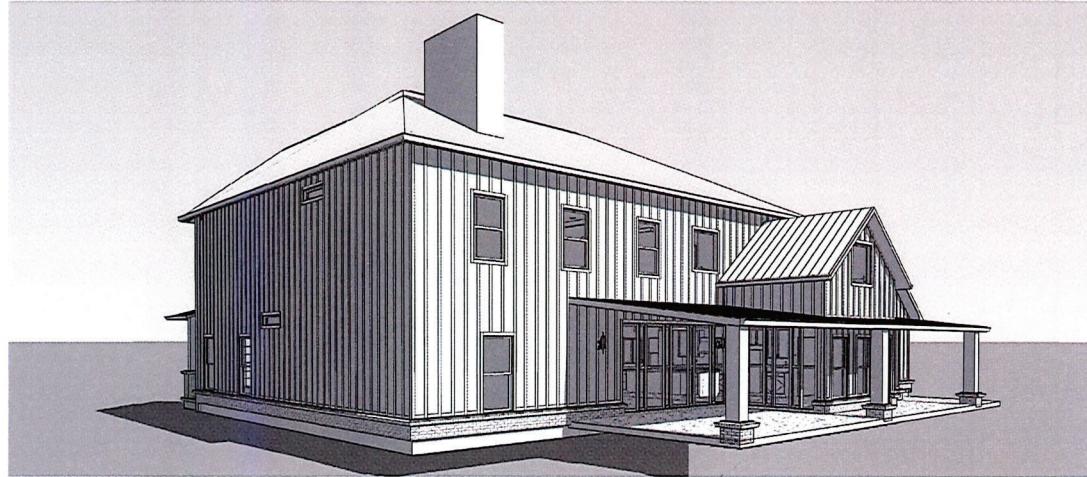
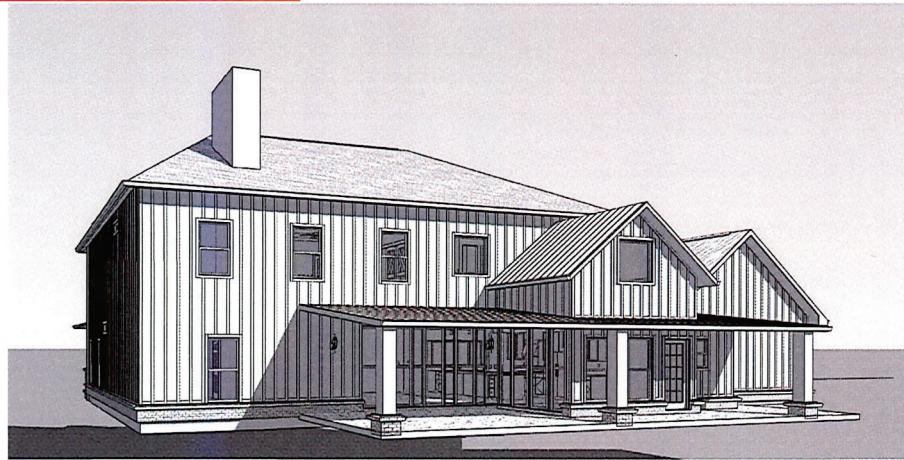
**DIMENSIONS**  
DESIGN • DRAFTING • VISUAL  
PROPERTY OF:

**LBM**  
Custom Homes, L.L.C.  
A Division of LBM

SHEET NUMBER:

RECEIVED

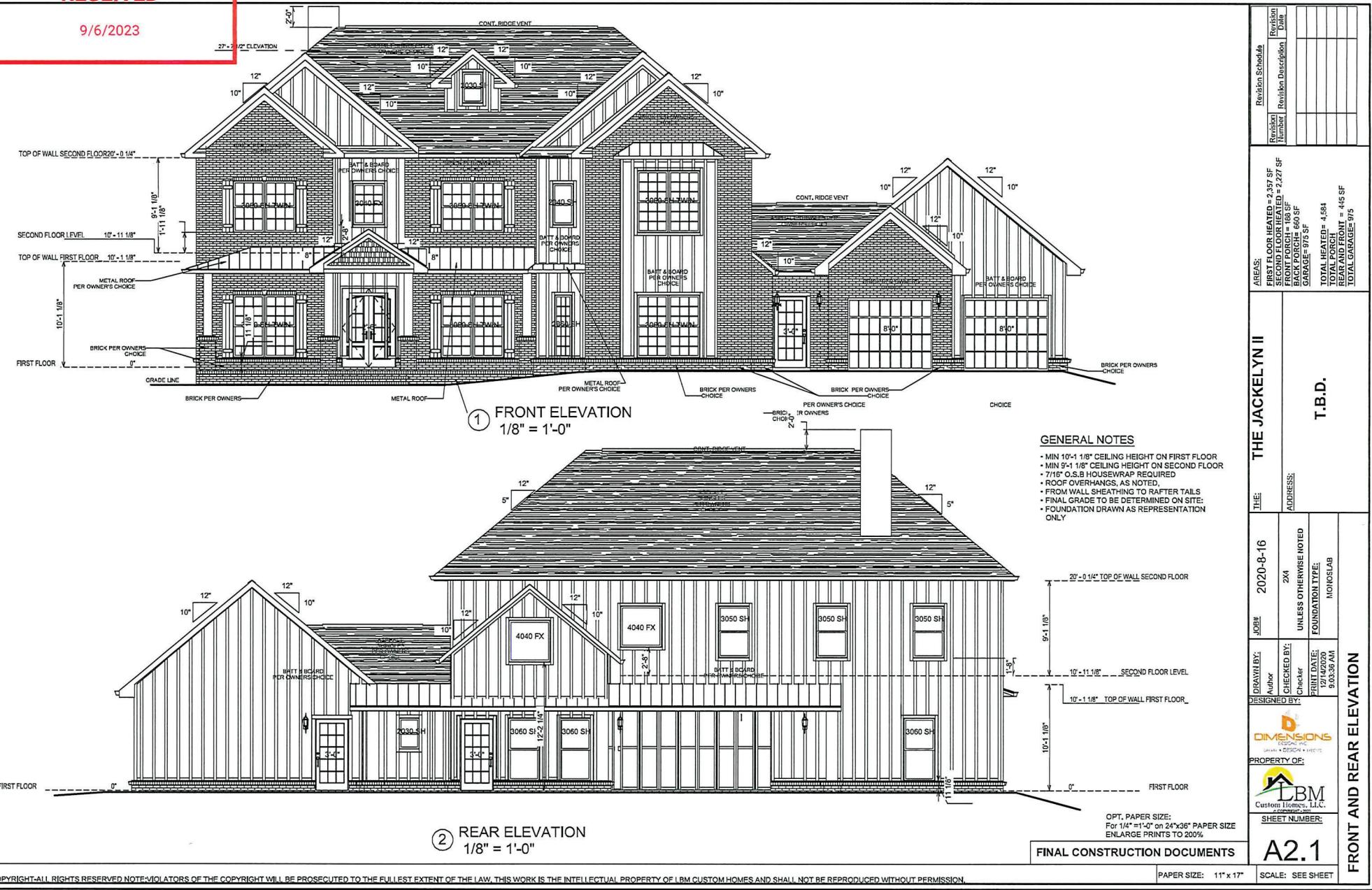
9/6/2023



Revision Schedule	Revision Number	Revision Description	Revision Date
AREAS:			
FIRST FLOOR HEATED = 2,357 SF			
SECOND FLOOR HEATED = 1,227 SF			
FRONT PORCH = 188 SF			
BACK PORCH = 600 SF			
BANJOKE = 975 SF			
TOTAL HEATED = 4,584 SF			
FRONT PORCH = 415 SF			
TOTAL GARAGE = 975 SF			
<b>THE JACKELYN II</b>			
ADDRESS:			
T.B.D.			
DRAWN BY: <b>Author</b>	2020-8-16	2X4	
DESIGNED BY: <b>Author</b>		UNLESS OTHERWISE NOTED	
CHECKED BY: <b>Author</b>		FOUNDATION TYPE:	
REINFORCED BY: <b>Author</b>		MONOSLAB	
PRINT DATE: 10/02/2020			
PRINT TIME: 10:11:07 AM			
 <b>DIMENSIONS</b> DESIGN • INC. DREAM • DESIGN • VISION <b>PROPERTY OF:</b>  <b>LBM</b> Custom Homes, LLC A Division of <a href="http://www.lbm.com">www.lbm.com</a>			
OPT. PAPER SIZE: For 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%			
SHEET NUMBER: <b>A3.4</b>			
FINAL CONSTRUCTION DOCUMENTS			
PAPER SIZE: 11" x 17"			
SCALE: SEE SHEET			

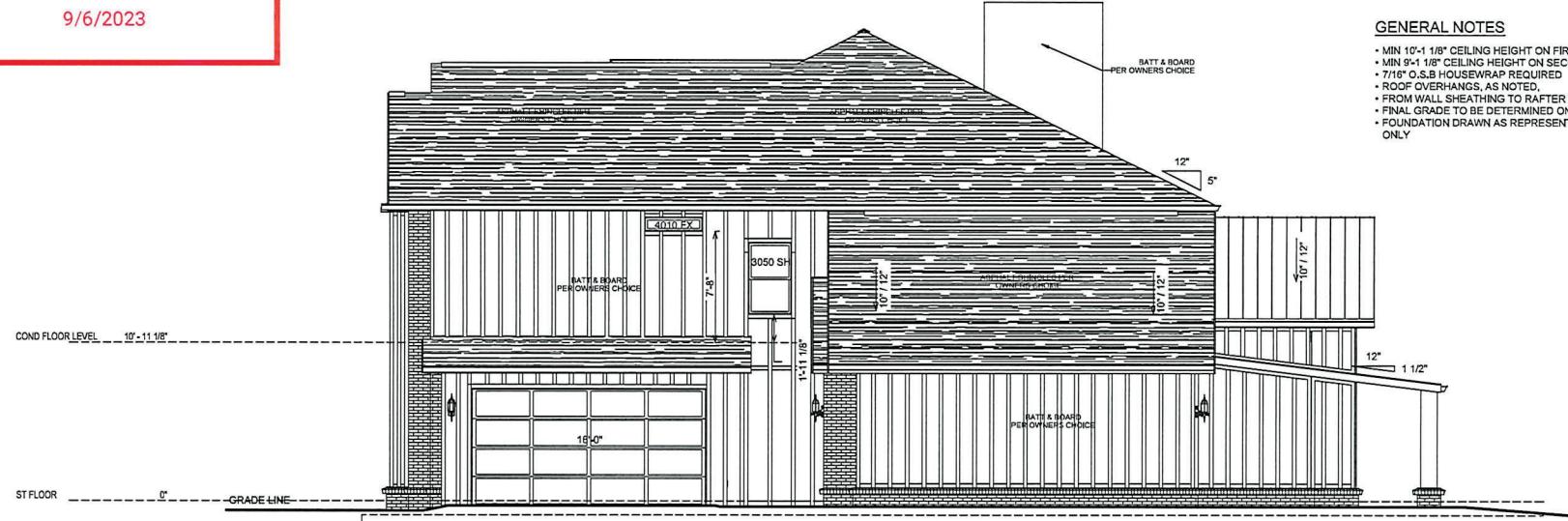
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9/6/2023



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9/6/2023



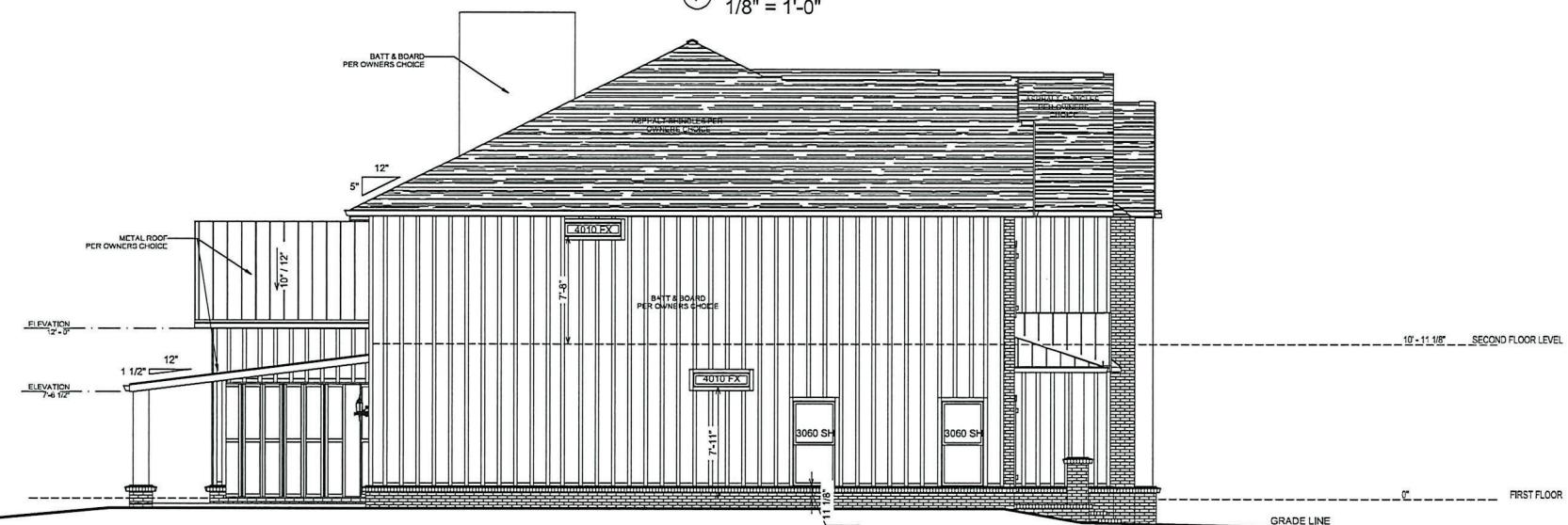
GENERAL NOTES

- MIN 10'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 9'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- 7/16" O.S.B. HOUSEWRAP REQUIRED
- ROOF SHEATHING, AS NOTED
- FROM WALL SHEATHING TO RAFTER TAILS
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

Revision Schedule	Revision Date

COND FLOOR LEVEL	10'-11 1/8"
ST FLOOR	GRADE LINE
15'-0"	
10'-11 1/8"	
12"	1 1/2"

① LEFT ELEVATION  
1/8" = 1'-0"



② RIGHT ELEVATION  
1/8" = 1'-0"

AREA:	FIRST FLOOR HEATED = 2,357 SF SECOND FLOOR HEATED = 1,237 SF
FRONT PORCH:	108 SF
BACK PORCH:	660 SF
GARAGE:	975 SF
TOTAL HEATED:	4,584 SF
FRONT PORCH OUT:	44 SF
BACK PORCH OUT:	975 SF
TOTAL GARAGE:	975 SF

DRAWN BY:	JOB#	2020-8-16
AUTHOR	2X4	UNLESS OTHERWISE NOTED
DESIGNED BY:	CHIEFED BY:	FOUNDATION TYPE:
DESIGNED BY:	CHECKED BY:	MONOSLAB

DRAWN BY:	JOB#	2020-8-16
AUTHOR	2X4	UNLESS OTHERWISE NOTED
DESIGNED BY:	CHIEFED BY:	FOUNDATION TYPE:
DESIGNED BY:	CHECKED BY:	MONOSLAB

DRAWN BY:	JOB#	2020-8-16
AUTHOR	2X4	UNLESS OTHERWISE NOTED
DESIGNED BY:	CHIEFED BY:	FOUNDATION TYPE:
DESIGNED BY:	CHECKED BY:	MONOSLAB

DRAWN BY:	JOB#	2020-8-16
AUTHOR	2X4	UNLESS OTHERWISE NOTED
DESIGNED BY:	CHIEFED BY:	FOUNDATION TYPE:
DESIGNED BY:	CHECKED BY:	MONOSLAB

DRAWN BY:	JOB#	2020-8-16
AUTHOR	2X4	UNLESS OTHERWISE NOTED
DESIGNED BY:	CHIEFED BY:	FOUNDATION TYPE:
DESIGNED BY:	CHECKED BY:	MONOSLAB

DRAWN BY:	JOB#	2020-8-16
AUTHOR	2X4	UNLESS OTHERWISE NOTED
DESIGNED BY:	CHIEFED BY:	FOUNDATION TYPE:
DESIGNED BY:	CHECKED BY:	MONOSLAB

RIGHT AND LEFT ELEVATION

OPT. PAPER SIZE:  
For 1/4" = 1'-0" on 24"x36" PAPER SIZE  
ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION DOCUMENTS

PAPER SIZE: 11" x 17" SHEET NUMBER: A2.2

SCALE: SEE SHEET

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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9/6/2023



GWINNETT COUNTY  
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9/6/2023



**Exhibit D: Previously Adopted Resolution (RZR2023-00021) and Site Plan**

**[attached]**

GWINNETT COUNTY  
BOARD OF COMMISSIONERS  
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: AMENDMENT TO THE OFFICIAL ZONING MAP

ADOPTION DATE: NOVEMBER 14, 2023

At the regular meeting of the Gwinnett County Board of Commissioners held in the Gwinnett Justice and Administration Center, Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

---

	<u>Present</u>	<u>Vote</u>
Nicole L. Hendrickson, Chairwoman	Yes	Aye
Kirkland Carden, District 1	Yes	Aye
Ben Ku, District 2	Yes	Aye
Jasper Watkins, III, District 3	Yes	Aye
Matthew Holtkamp, District 4	Yes	Aye

---

On motion of Commissioner Holtkamp which carried 5-0, the following Resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from R-140 to R-100 by Alejandro Ramos for the proposed use of a Single-Family Detached Subdivision on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

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7/8/2024

CASE NUMBER RZR2023-00021

GCID 2023-1045

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in the Gwinnett Daily Post, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on November 14, 2023, and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners, this 14th day of November 2023, that the aforesaid application to amend the Official Zoning Map from R-140 to R-100 is hereby **APPROVED** with the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit C: Building Elevations dated received September 6, 2023, subject to the review and approval of the Department of Planning and Development.
2. The property shall be limited to a maximum of six single-family detached lots and accessory uses and structures, ~~with a minimum lot size of 25,500 square feet.~~   
**Remove minimum lot size requirement.**
3. All dwellings shall have a minimum of a two-car garage.
4. The developer shall construct a 5-foot-wide concrete sidewalk, as well as curb and gutter, along the Spout Springs Road.
5. The developer shall be limited to one direct driveway access to Spout Springs Road.
6. All residential buildings shall comply with Category 3 of the Gwinnett County Architectural Design Standards. Final building elevations shall be submitted for review and approval by the department of Planning and Development. shall be prohibited.
7. A maximum of 20 percent of the development may be rented at any given time.
8. A Residential Drainage Plan (RDP) shall be required and approved by the Department of Planning and Development for each lot prior to the issuance of a building permit.

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CASE NUMBER RZR2023-00021  
GCID 2023-1045

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Nicole L. Hendrickson  
Nicole L. Hendrickson, Chairwoman

Date Signed: 12/5/2023

ATTEST:

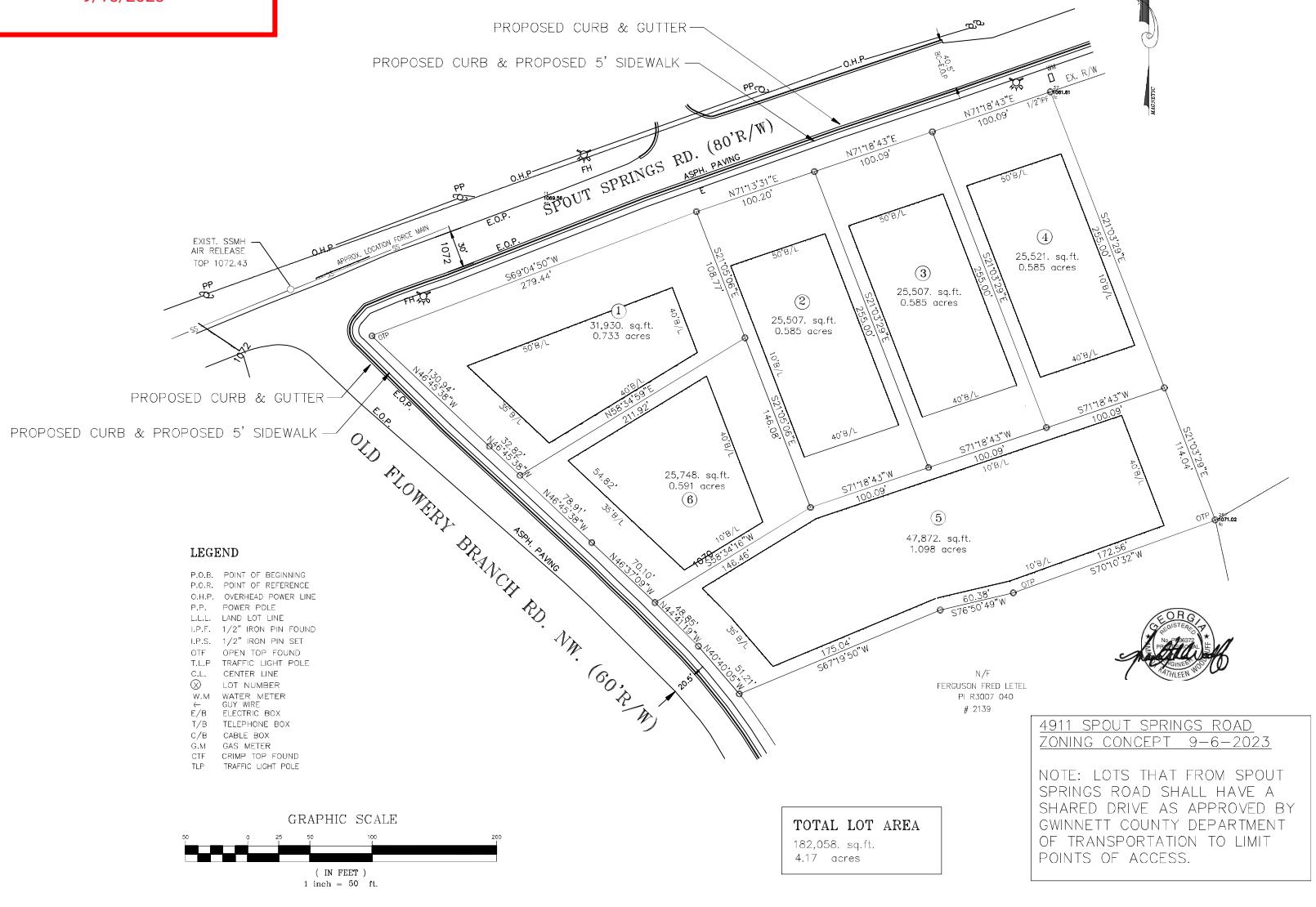
By: Dina M King  
County Clerk/Deputy County Clerk



## GWINNETT COUNTY PLANNING AND DEVELOPMENT

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9/15/2023



**Exhibit E: Letter of Intent and Applicant's Response to Standards  
[attached]**



**Date:** July 24, 2024

**To:** Gwinnett County Zoning Department

**Subject:** Change in Conditions  
4911 Spout Springs Road  
Buford, GA  
Gwinnett County

To Whom it May Concern,

We are providing this letter of intent to formally request a change in conditions to our previously rezoned property located at 4911 Spout Springs Road in Buford, Georgia. We are requesting remove the lot size requirement based on field conditions discovered during the Level 3 exploration process.

The soils tested on the property were found to be unsatisfactory for septic design. As such, a meeting was held with Gwinnett County DWR to identify possible sanitary sewer location connections. There is a connection available along Flowery Branch Road. We are proposing to tie into the sanitary system now. With this change to the development, lot size is no longer determined by septic system requirements.

The proposed lots fronting Spout Spring Road shall have a shared drive per Zoning Case RZR2023-0021. The houses will have a minimum heated area of 3,000 sqft. The materials will include asphalt shingles with a metal roofing over the porch, smooth HardiePlank Lap Siding with Board and Batten siding, Farmhouse Brick and wooden columns as illustrated in the elevations provided with this application.

This proposed plan is in conformity with the policy and intent of the Comprehensive Plan for this area of Gwinnett County and if granted, will allow for a permit that is suitable in view of the use and development of adjacent and nearby properties.

The Zoning of R-100 allows for reasonable economic use with the expectation that sanitary sewer service will improve the value of the property for this parcel and will not adversely affect the existing use of usability of adjacent and nearby properties.

3301 Stewart Lake Road, Monroe, GA 30655  
Phone (404) 530-9218 / Fax (404) 530-9219



The existing use and character of the surrounding area supports the redevelopment of the property as proposed under this request and, if granted, will have no adverse effects to existing historic buildings, sites, districts, or archeological resources.

If granted, the proposed change in condition will not create or cause excessive or burdensome use of existing infrastructure, transportation facilities, or schools, and will have no adverse effects on the environment or surrounding natural resources.

We appreciate your consideration of our request.

Please contact me anytime with questions or thoughts you may have and thank you.

Sincerely,

A blue ink signature of the name "Amanda Kathleen Woodruff, P.E." is written over a circular Georgia Professional Engineer registration seal. The seal has "GEORGIA" at the top, "REGISTERED" in the center, "No. PE23372" in the middle, "PROFESSIONAL ENGINEER" around the bottom, and "KATHLEEN WOODRUFF" at the bottom. The signature is written in a flowing, cursive blue ink.

Amanda Kathleen Woodruff, P.E.

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7/8/2024

## STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

Pursuant to requirements of the Unified Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

Please respond to the following standards in the space provided or use attachment as necessary:

(A) Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property:

Soc letter of intent

(B) Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property:

No. Property value should rise.

(C) Whether the property to be affected by a proposed change in conditions has reasonable economic use as currently zoned:

Yes. However, septic is not an option due to soils.

(D) Whether the proposed change in conditions will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

None expected

(E) Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map:

Yes, In conformance with existing area.

(F) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions:

No known conditions that would be negative if granted.

**Exhibit F: Application and Disclosure of Campaign Contributions**

**[attached]**

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7/11/2024

**CHANGE IN CONDITIONS APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
<p>Name: <u>Alejandro Ramos</u></p> <p>Address: <u>4181 Lantana Hill Drive</u></p> <p>City: <u>Dacula</u></p> <p>State: <u>GA</u> ZIP: <u>30019</u></p> <p>Phone: <u>404-285-1124</u></p> <p>Email: <u>Kathleen@woodruffda.com</u></p>	<p>Name: <u>LBM Custom Homes</u></p> <p>Address: <u>Same as Applicant</u></p> <p>City: _____</p> <p>State: _____ ZIP: _____</p> <p>Phone: _____</p> <p>Email: <u>Kathleen@woodruffda.com</u></p>
<p>Contact Person: <u>Kathleen Woodruff</u> Phone: <u>404-285-1124</u></p> <p>Contact's Email: <u>Kathleen@woodruffda.com</u></p>	
<p><b>APPLICANT IS THE:</b></p> <p><input type="checkbox"/> Owner's Agent <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Contract Purchaser</p>	
<p>Zoning District(s): <u>R-100</u> Prior Zoning Case No.: <u>RZR2023-0021</u></p>	
<p>Parcel Number(s): <u>3007-037</u> Acreage: <u>4.16 ac</u></p>	
<p>Property Address(es): <u>4711 Spart Springs Rd</u></p>	
<p>Proposed Change in Conditions: <u>No lot minimum size</u></p>	
<p>Variance(s): <u>None</u> Waiver(s): <u>None</u></p>	
<p><b>RESIDENTIAL DEVELOPMENT:</b></p>	
<p>No. of Dwelling Units: <u>10</u></p>	
<p>Dwelling Unit Sq. Ft.: <u>~ 3000</u></p>	
<p>Density: _____</p>	
<p>Floor Area Ratio (LRR, MRR, HRR): _____</p>	
<p><b>NON-RESIDENTIAL DEVELOPMENT</b></p>	
<p>No. of Buildings: <u>NA</u></p>	
<p>Total Building Sq. Ft.: <u>NA</u></p>	
<p>Floor Area Ratio: <u>NA</u></p>	
<p><b>MIXED-USE DEVELOPMENT</b></p>	
<p>No. of Dwelling Units: <u>NA</u> Dwelling Unit Sq. Ft.: <u>NA</u></p>	
<p>Total Non-Residential Sq. Ft.: <u>NA</u> Floor Area Ratio: <u>NA</u></p>	

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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7/11/2024

Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 12/2023

**CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION**

The undersigned below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of last action by the Board of Commissioners.

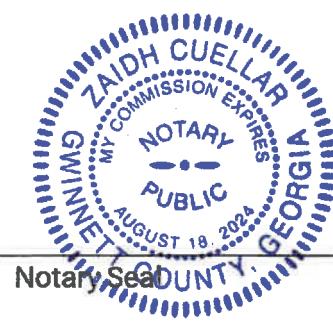
ALEJANDRO Ramos  
Signature of Applicant

7/11/24  
Date

ALEJANDRO Ramos  
Type or Print Name and Title

Signature of Notary Public

7-11-24  
Date



GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

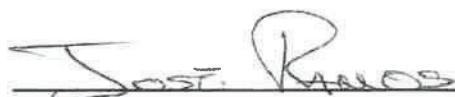
**RECEIVED**

7/11/2024

Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 12/2023

**CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION**

The undersigned below, or as attached, is the owner of the property considered in this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of last action by the Board of Commissioners.



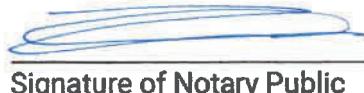
Signature of Property Owner

7/11/24

Date



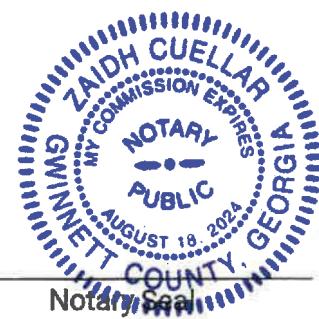
Type or Print Name and Title



Signature of Notary Public

7-11-24

Date



**RECEIVED**

7/11/2024

Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 12/2023

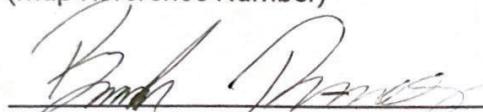
**VERIFICATION OF CURRENT PAID PROPERTY TAXES**  
**FOR CHANGE IN CONDITIONS**

The undersigned below is authorized to make this application. The undersigned certifies that all Gwinnett County property taxes billed to date for the parcel listed below have been paid in full to the Gwinnett County Tax Commissioner. In no case shall an application or reapplication for change in conditions be processed without such property verification.

**A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE CHANGE IN CONDITIONS REQUEST.**

Parcel I.D. Number: 3007 037

(Map Reference Number)



Signature of Applicant

07/11/24

Date

Brandon Ramos Accounts Manager, LBM custom-  
Type or Print Name and Title

**PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 Langley Drive. THIS FORM MUST BE SIGNED BY A REPRESENTATIVE OF THE TAX COMMISSIONER'S OFFICE.**

**TAX COMMISSIONERS USE ONLY**

Payment of all property taxes billed to date for the above referenced parcel has been verified as paid current and confirmed by the signature below.

T. Finley T. Finley  
Name

TSA  
Title

July 11, 2024  
Date

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7.11.2024

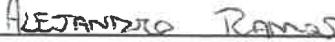
Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 12/2023

**CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS**

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

 Alejandro Rames  
Signature of Applicant

7/11/24  
Date

 Alejandro Rames  
Type of Print Name and Title

Signature of Applicant's  
Attorney or Representative

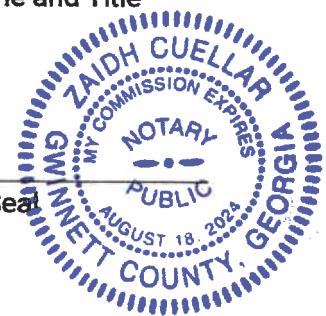
Date

Type or Print Name and Title

 Signature of Notary Public

7-11-24  
Date

Notary Seal



**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners?

Yes       No

(Your Name)

If the answer is yes, please complete the following section:

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

**Exhibit G: Internal and External Agency Review Comments**

**[attached]**



**Department of Planning and Development**  
**TECHNICAL REVIEW COMMITTEE**

<b>TRC Meeting Date:</b> 08.02.2024	
Department/Agency Name: Transportation	
Reviewer Name: Brent Hodges	
Reviewer Title: Construction Manager 2	
Reviewer Email Address: <a href="mailto:Brent.Hodges@gwinnettcounty.com">Brent.Hodges@gwinnettcounty.com</a>	
Case Number: CIC2024-00024	
Case Address: 4911 Spout Springs Road, Buford, 30519	
<b>Comments:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
1	Spout Springs Road is a major collector. The Average Daily Traffic Volume (ADT) = 7,416.
2	3.6 miles to the nearest transit facility located at the Hamilton Mill Park and Ride at 3220 Sardis Church Road.
3	
4	
5	
6	
7	
<b>Recommended Zoning Conditions:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
1	
2	
3	
4	
5	
6	
7	

**Note:** Attach additional pages, if needed

*Revised 7/26/2021*

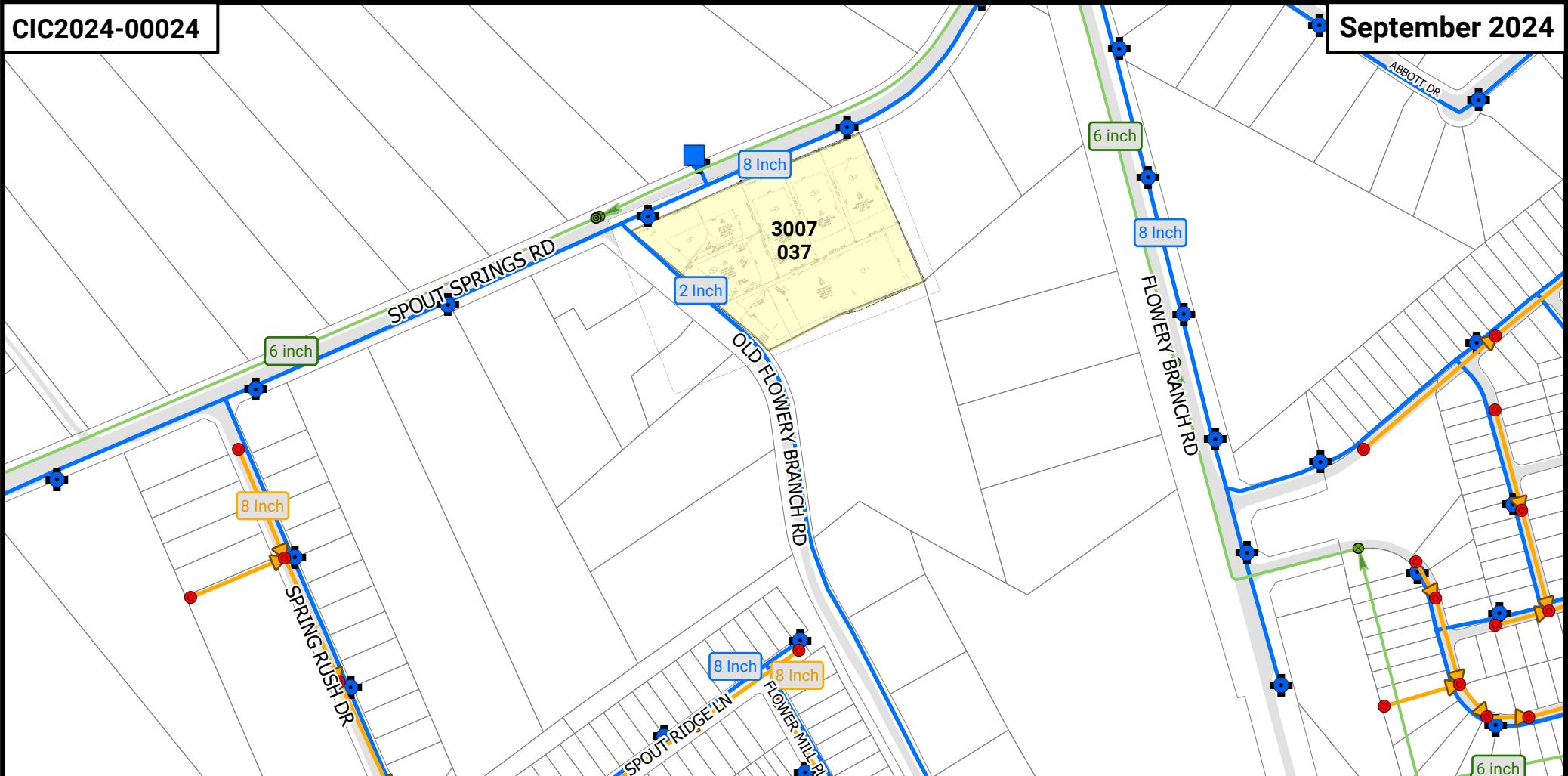


**Department of Planning and Development**  
**TECHNICAL REVIEW COMMITTEE**

<b>TRC Meeting Date:</b>			
Department/Agency Name: DWR			
Reviewer Name: Mike Pappas			
Reviewer Title: GIS Planning Manager			
Reviewer Email Address: <a href="mailto:Michael.pappas@gwinnettcounty.com">Michael.pappas@gwinnettcounty.com</a>			
Case Number: CIC2024-00024			
Case Address: 4911 Spout Springs Rd			
<b>Comments:</b>		<input checked="" type="checkbox"/> <b>YES</b>	<input type="checkbox"/> <b>NO</b>
1	Water: The proposed development lots that face Spout Springs Road may connect to an existing 8-inch water main along the southern right-of-way of Spout Springs Road. The proposed development lots that face Old Flowery Branch Road will be required to extend a new 8-inch water main across the frontage of the property. The existing 2-inch water main on Old Flowery Branch Road shall not be tapped.		
2	Sewer: A Sewer Capacity Certification is required for this development prior to rezoning. The proposed development plans to connect to an existing 8-inch gravity sewer on Spout Ridge Lane. An extension of the public sewer system of approximately 750 linear feet along Old Flowery Branch Road will be required. Easements will be required.		
3			
4			
5			
6			
7			
<b>Recommended Zoning Conditions:</b>		<input type="checkbox"/> <b>YES</b>	<input checked="" type="checkbox"/> <b>NO</b>
1			
2			
3			
4			
5			
6			
7			

**Note:** Attach additional pages, if needed

*Revised 7/26/2021*

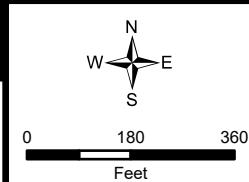


## LEGEND

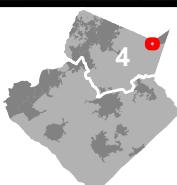
- Water Main
- Hydrant
- Master Vault
- Manhole
- Sewer Collector
- Sewer Force Main

## 4911 Spout Springs Rd

R-75

Water & Sewer  
Utility Map

## LOCATION



**Water Comments:** The proposed development lots that face Spout Springs Road may connect to an existing 8-inch water main along the southern right-of-way of Spout Springs Road. The proposed development lots that face Old Flowery Branch Road will be required to extend a new 8-inch water main across the frontage of the property. The existing 2-inch water main on Old Flowery Branch Road shall not be tapped.

**Sewer Comments:** A Sewer Capacity Certification is required for this development prior to rezoning. The proposed development plans to connect to an existing 8-inch gravity sewer on Spout Ridge Lane. An extension of the public sewer system of approximately 750 linear feet along Old Flowery Branch Road will be required. Easements will be required.

**Water Availability:** Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

**Sewer Availability:** A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

**Water and Sewer Design and Construction Requirements:** Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

**Private Road Developments:** Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

**Exhibit H: Maps**

**[attached]**



FLOWERY BRANCH RD

SPOUT SPRINGS RD

OLD FLOWERY BRANCH RD



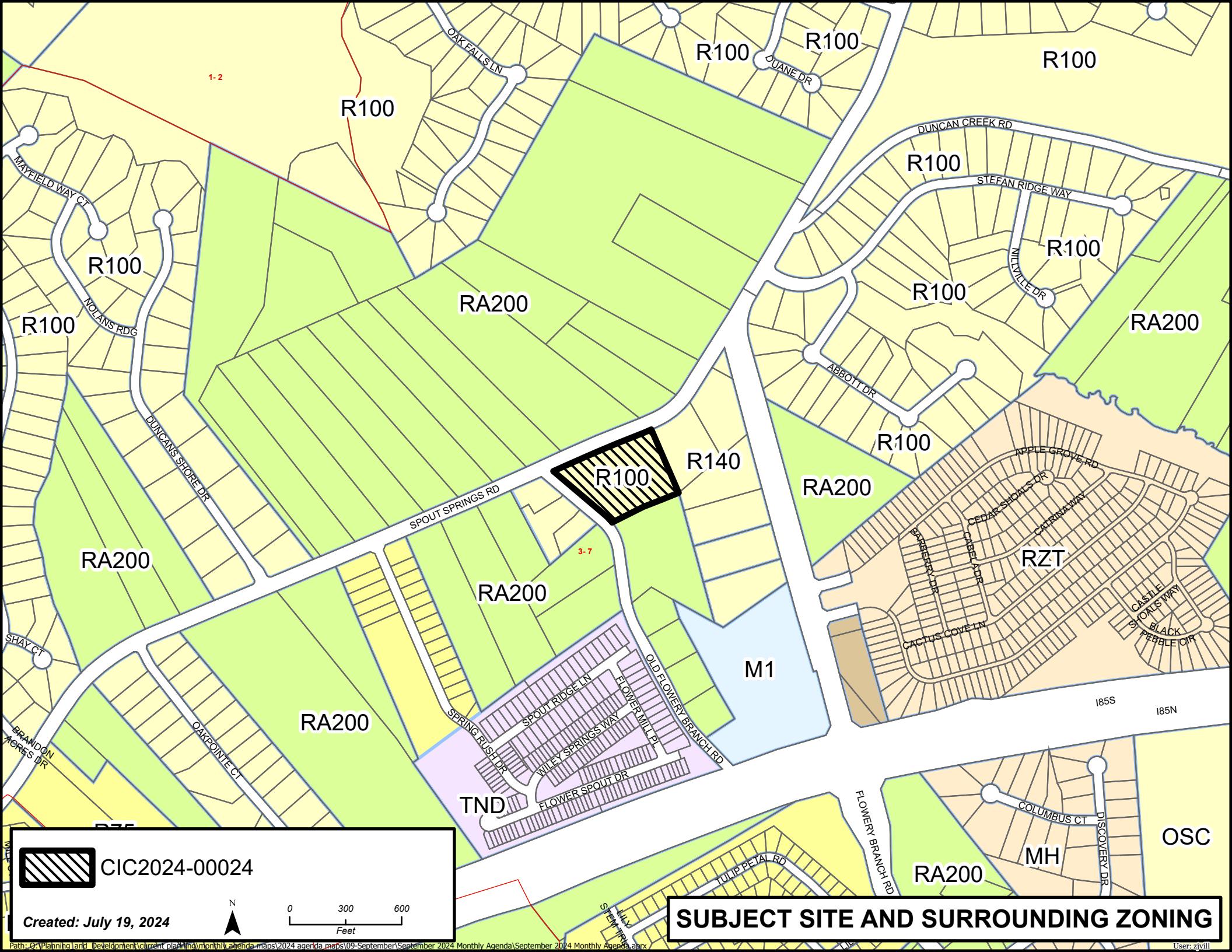
CIC2024-00024



0 75 150  
Feet

Gwinnett County GIS

User:zjvill



CIC2024-00024

N

A horizontal number line with arrows at both ends. The number 0 is at the left end. There are two tick marks on the line. The first tick mark is labeled 300 above the line. The second tick mark is labeled 600 above the line. Below the line, the word "Feet" is written in an italicized font.

Created: July 19, 2024

## **SUBJECT SITE AND SURROUNDING ZONING**

