

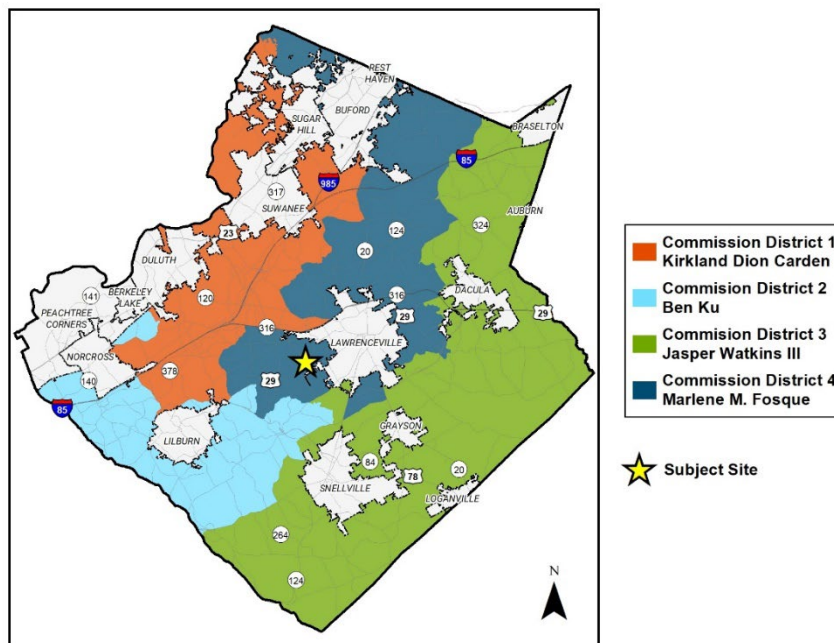


PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: RZM2022-00034
Current Zoning: R-75 (Single Family Residence)
Request: Rezoning to R-TH (Single-Family Residence Townhouse District)
Additional Request: Variance
Address: 1623 and 1627 Lawrenceville Highway
Map Number: R5079 020 and 021
Site Area: 2.91 acres
Units: 29
Proposed Development: Townhouses
Commission District: District 4 - Commissioner Fosque*
Character Area: Community Mixed Use

Staff Recommendation: APPROVAL WITH CONDITIONS

**Planning Commission
Recommendation:** APPROVAL WITH CONDITIONS



* Commission District 1 effective January 1, 2022

Planning Commission Advertised Public Hearing Date: 8/3/2022
Board of Commissioners Advertised Public Hearing Date: 8/23/2022

Applicant: APC Contractors, Inc.
c/o Alliance Engineering and Planning
299 South Main Street
Alpharetta, GA 30009

Owner: Efren Pelayo and
Martha Ofelia Pelayo
1623 Lawrenceville Highway
Lawrenceville, GA 30044

Contact: Tyler Lasser

Contact Phone: 770.225.4730

Zoning History

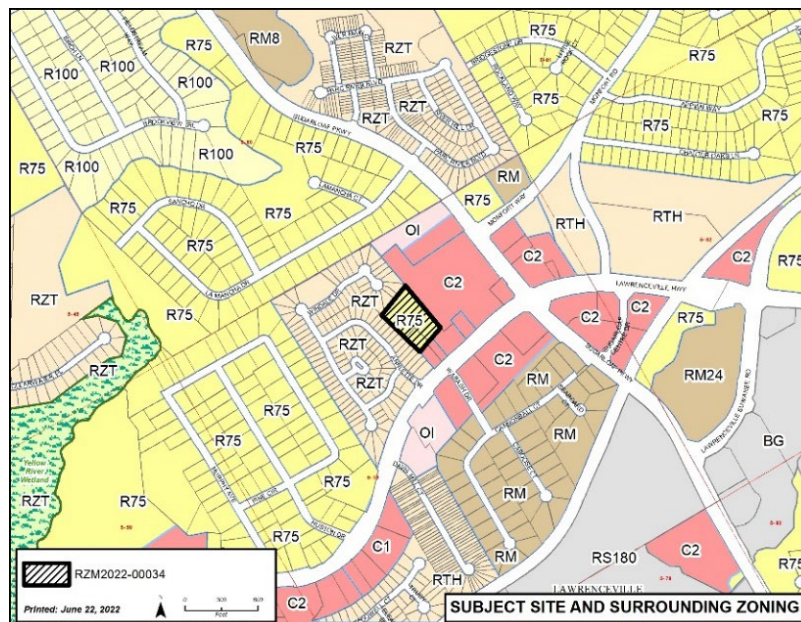
The subject property is zoned R-75 (Single-Family Residence). No prior rezoning requests are on record for the property.

Existing Site Condition

The subject site is a 2.91-acre assemblage of two land locked parcels located along the north side of Lawrenceville Highway, west of its intersection with Sugarloaf Parkway. Both parcels contain single-family homes with mature vegetation. The larger parcel (R5079 021) has a detached garage and two sheds. Both lots are situated behind 1621 and 1619 Lawrenceville Highway, which are both zoned C-1 and front Lawrenceville Highway. The site is accessed via a shared driveway on a commercially zoned parcel fronting Lawrenceville Highway. The site slopes downward from Lawrenceville Highway towards the northwest by approximately 28 feet. There is a sidewalk along Lawrenceville Highway along the property frontage. The nearest Gwinnett County Transit stop is approximately 0.65 miles from the site.

Surrounding Use and Zoning

The subject site is surrounded by detached single-family homes and commercial uses. Directly adjacent to the west and north is Madison Landing subdivision, a single-family detached subdivision. Adjacent to the east is the Davis Mill Station multi-tenant shopping center. To the south, are two undeveloped commercially zoned parcels and an oil change service business. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Townhouses	R-TH	10 units per acre
North	Single-Family Residential	R-ZT	5 units per acre
East	Commercial	C-2	N/A
South	Undeveloped Commercial	C-2	N/A
West	Single-Family Residential	R-ZT	5 units per acre

Project Summary

The applicant requests rezoning of a 2.91-acre site from R-75 to R-TH to construct a townhouse development, including:

- Twenty-nine single-family attached townhouse units, yielding a net density of 10 units per acre.
- Three-bedroom, 35-foot-tall, townhouses with a minimum heated floor area of 1,700 square feet.
- Single car garages and driveways for each unit allowing parking for two vehicles.
- Guest parking located in twenty-eight on-street parallel parking spaces and in a ten-space parking lot at the rear of the site.
- One full access entrance from Lawrenceville Highway through the adjacent commercial parcel, which will include a 50-foot-wide right-of-way to meet site access and road frontage requirements.
- Gate controlled vehicular access into the subdivision.
- 4-foot-wide sidewalks located on both sides of internal one-way streets connecting to the existing sidewalk along Lawrenceville Highway.
- A stormwater management facility located on the northern end of the site.
- Front facades consisting of a mixture of brick, fiber cement, siding, and stucco.
- A common area located in the center of the site surrounded by internal streets and on-street parking.

Zoning and Development Standards

The applicant is requesting a rezoning to R-TH, Single-Family Residence Townhouse District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	35'	YES
Front Yard Setback	Minimum 10'	10'	YES
External Side Setback	Minimum 20'	20'	YES
External Rear Setback	Minimum 20'	>20'	YES
Off-Street Parking	Minimum 87 spaces Maximum 174 spaces	58 spaces	NO*
Guest Parking	Minimum 8 spaces	10	YES
Density	Maximum 10 units per acre	10 units per acre	YES
Common Area	Minimum 15% or 0.43 acres	0.65 acres	YES
Heated Floor Area	Minimum 1,200 square feet (3-Bedroom)	1,700 square feet	YES

Variance Request

In addition to the rezoning request, the applicant is seeking a variance from the following provision of Title II of the UDO:

Section 240-20. - Parking Space Requirements:

A. Minimum required parking spaces for residences (townhouses): 3 per dwelling unit

The applicant proposes to reduce the required on-street parking spaces from 3 spaces per dwelling unit to 2 spaces per dwelling unit. The total proposed parking spaces for the 29 townhouse units is 58. The applicant also proposes an additional 28 parallel parking spaces around the centralized common area and 10 guest parking spaces in the rear of the site.

Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit E). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Rezoning Request Analysis: According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, the staff makes the following findings based on the standards from the UDO:

A. Whether a proposed zoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The area is characterized by single-family residential, commercial uses, and townhouses. Directly adjacent to the west and north is the Madison Landing subdivision, a single-family detached home subdivision zoned RZT. Adjacent to the east is Davis Mill Station shopping center and a convenience store with fuel pumps. To the south, are two undeveloped commercially zoned parcels and an oil change service business. Townhouses would be an appropriate transition from commercial properties to single-family detached subdivisions. Therefore, with conditions of approval, the rezoning request would be suitable in view of the use and development of adjacent and nearby properties.

B. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.

The proposed rezoning would not adversely affect the use or usability of adjacent or nearby properties. The applicant proposes a 50-foot-wide portion of the adjacent C-1 zoned parcel (5079 009A) to be dedicated as right-of-way to meet the site access and road frontage requirements. Additionally, the townhouse subdivision would be compatible with surrounding single-family detached subdivisions and commercial development. The commercial node at the nearby Sugarloaf Parkway and Lawrenceville Highway intersection has experienced high levels

of vacancy recently. Providing additional residential units within a short walking distance would benefit the businesses in the area.

C. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.

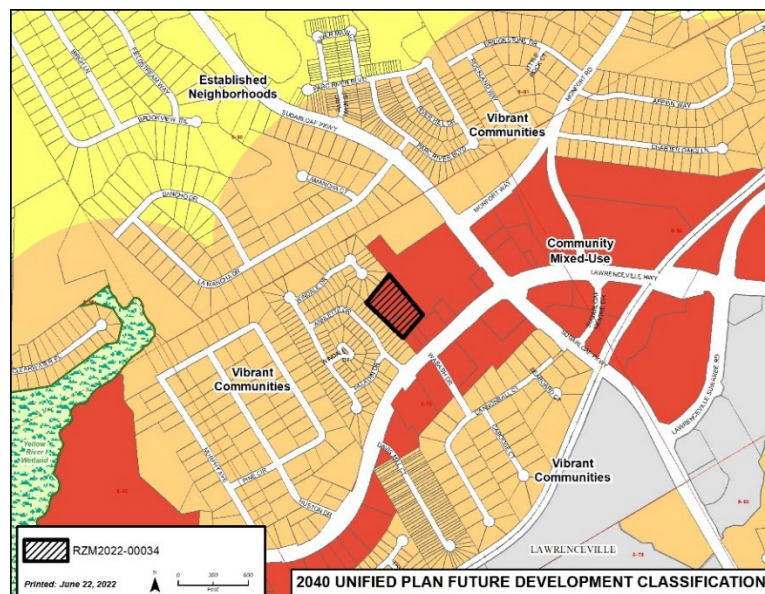
The property has a reasonable economic use as currently zoned.

D. Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

Impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. An impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request is attached (Exhibit E).

E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map.

The 2040 Unified Plan and Future Development Map indicate the subject property is within the Community Mixed Use Character Area. This Character Area is intended for activity nodes and connecting areas along major corridors, such as Lawrenceville Highway. Future development and redevelopment within this area should focus on making these corridors more pedestrian-oriented with intensity focused on specific nodes. Reserving the parcel fronting Lawrenceville Highway for a future potential commercial development would create a mixed-use environment. Design recommendations include buildings set close to the street for pedestrian orientation and engagement, small-scale mix of uses, parking located behind buildings, and small-scale intense open spaces for public gathering. Townhouses are also listed as a potential development type within the Community Mixed-Use Character Area, making this use appropriate at this location. Therefore, the requested rezoning would be consistent with the policy and intent of the Unified Plan and Future Development Map.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning.

The surrounding area is characterized by a mix of single family detached homes, and commercial uses. While adjacent uses are single-family detached homes and commercial uses, townhouse developments have been approved in nearby areas in recent years. Townhouses were approved approximately 0.3 miles from the subject property in 2022. The proposed development will complement the mixed-use character of the area by adding housing diversity and density to support commercial uses gives supporting grounds for approval of the proposed rezoning.

Variance Request Analysis: The standards for granting variances are outlined in Section 270-100.7 of the Unified Development Ordinance. The staff makes the following findings related to the variance request:

The applicant requests a variance to reduce the required off-street parking spaces from 87 to 58. The applicant is proposing single car garages and driveways allowing space for two vehicles for each unit. To provide addition parking, the applicant proposes an additional 28 parallel parking spaces around the centralized common area and 10 off-street parking spaces, totaling 96 parking spaces. The 28 on-street parallel parking spaces will allow close and convenient parking near residences. The subject property is relatively narrow in width not created due to the property owner's action. Therefore, the requested variance is based on a hardship and does not circumvent the intent of the Unified Development Ordinance.

Staff Recommendation

Based on the staff's evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

In addition, staff recommends **APPROVAL** of the following variance request:

1. To reduce the required on-street parking spaces from 3 spaces per dwelling unit to 2 parking spaces per dwelling unit.

Planning Commission Recommendation

Based on the staff's evaluation of the rezoning application, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

The Planning Commission recommends **APPROVAL** of the following variance request:

1. To reduce the required on-street parking spaces from 3 spaces per dwelling unit to 2 parking spaces per dwelling unit.

Planning Commission Recommended Conditions (includes Staff Recommended Conditions)

Approval as R-TH (Single Family Residence Townhouse District) for townhouses, subject to the following conditions:

1. The proposed development shall be constructed in general conformance with the Exhibit B: Site Plan dated received June 14, 2022, and Exhibit C: Building Elevations dated received June 14, 2022, with revisions required by conditions and the Unified Development Ordinance, subject to the review and approval of the Department of Planning and Development.
2. Uses shall be limited to single-family attached townhouses and accessory uses, not to exceed 29 units.
3. The minimum heated floor area per unit shall be 1,700 square feet.
4. All dwellings shall have at least a single-car garage.
5. Natural vegetation shall remain on the property until the issuance of a development permit
6. All grassed areas shall be sodded.
7. Stormwater BMP facilities shall be screened from view of adjoining properties and rights of way by landscaping and/or decorative fencing that is in compliance with the Gwinnett County Stormwater Management Manual, subject to review and approval by the Planning and Development Department.
8. An onsite property management office shall be provided with regularly scheduled business hours for the convenience of residents, if operated as a rental community.
9. A 50-foot-wide portion of the adjacent C-1 zoned parcel (5079 009A) shall be dedicated to the proposed development as right-of-way prior to the issuance of a land disturbance permit.
10. The subdivision entrance shall be landscaped by the developer and maintained by the homeowners association, or property management company if operated as a rental community. The entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval by the Department of Planning and Development.
11. A mandatory homeowners association shall be established and shall be responsible for maintenance of all common areas/facilities, street frontage landscaping, lawn, and ornamental planting maintenance.

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Internal and External Agency Review Comments
- F. Maps

Exhibit A: Site Visit Photos

[attached]



View of the site from Lawrenceville Highway



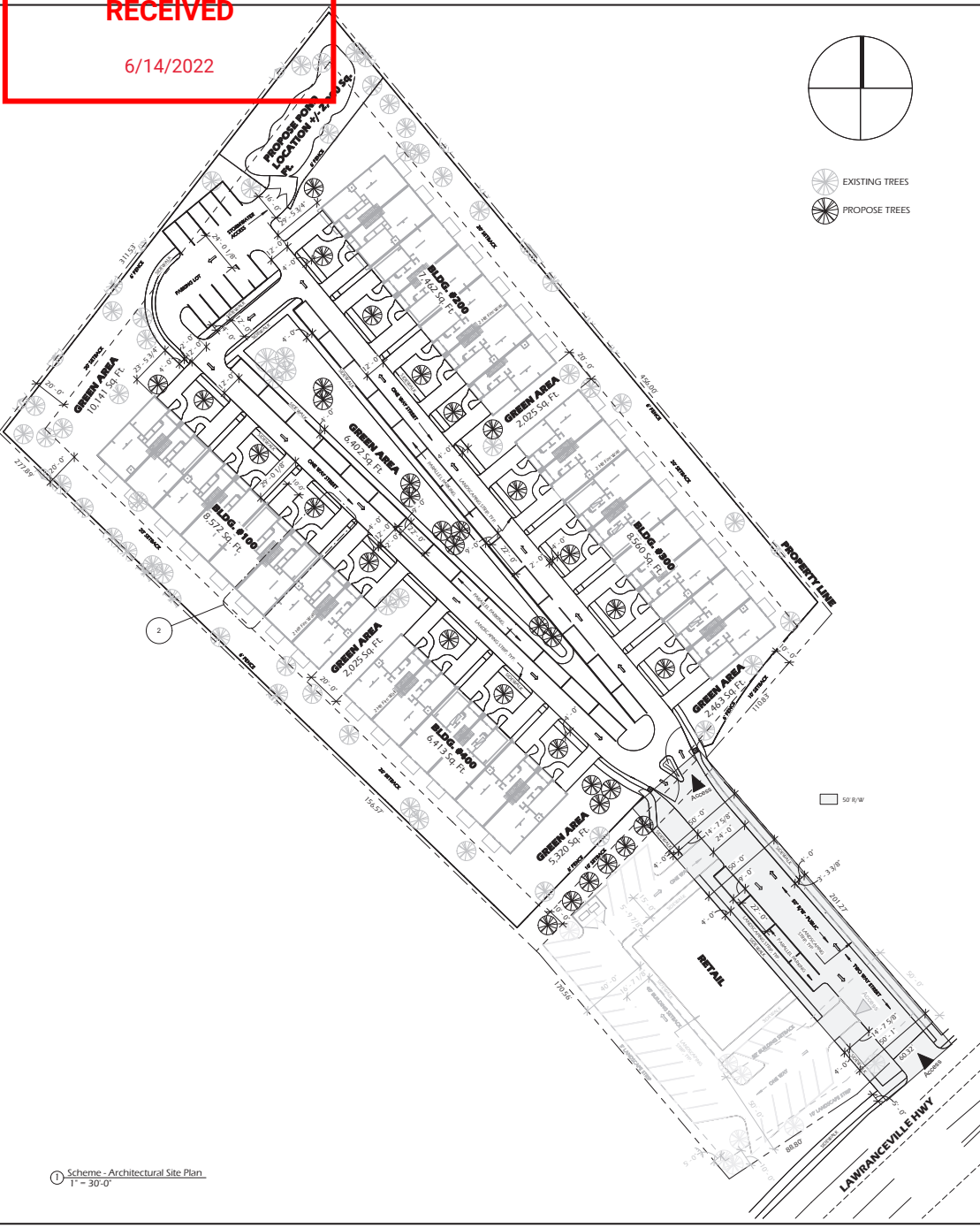
View of the site and adjacent commercial use

Exhibit B: Site Plan

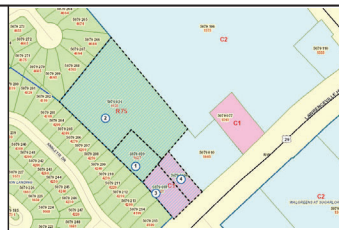
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① Scheme - Architectural Site Plan
1" = 30'-0"



EXISTING ZONING

SITE DATA:

ADDRESS
1623, 1627, 1619, 1621 Lawrenceville Hwy, Lawrenceville, GA 30044

EXISTING ZONING:
• Lot 1623 & 1627 - R-75
• Lot 1621 & 1619 - C-1

PROPOSED ZONING:
FROM R-75 to R-TH zoning
City Req. Max Density for townhouses - 10 UNITS/ACRE

SETBACK REQUIREMENTS

Front: Min 10 Feet
Side: Min 20 Feet
Rear: Min 20 Feet

PROPOSED SETBACKS
Front: 50 Feet
Side: 30 Feet
Rear: 50 Feet

PROPERTY AREA:

Lot 1623 - 2.4936 Acres
Lot 1627 - 0.4133 Acres
Lot 1621 - 0.3797 Acres
Lot 1619 - 0.2753 Acres

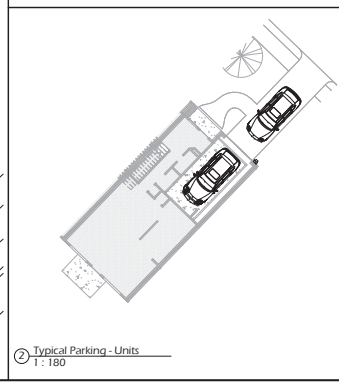
Total = 3.5619 Acres

OPEN GREEN SPACE

Property Area= 126,625 Sq. Ft.
Open space required= 20% = 126,625 Sq Ft x 0.20 = 25,325 Sq. Ft.
Open Space Central Area = 6,402 Sq. Ft.
Open Space Between Bldg= 4,050 Sq. Ft.
Open Green area at end of bldg= 17,902 Sq. Ft.
TOTAL = 28,376 Sq. Ft.

INTERIOR STREETS DATA:

INTERIOR STREETS AREA= 24,328 sq ft
INTERIOR STREETS= 24'-0" WIDTH (2 WAYS)
= 12'-0" WIDTH (1 WAY)



② Typical Parking - Units
1:180

- SITE NOTES:**
1. See photometric plan by civil engineer for site lighting layouts.
 2. All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
 3. All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
 4. Building sign number (post address) shall be min. 10" number with color contrasting from background.
 5. Owner responsible for ensuring the lighting meets DCA requirements.

TREES ARE FOR REFERENCE ONLY

UNIT LOT COVERAGE

R-TH MAXIMUM LOT COVERAGE = Max. 60%

IMPERVIOUS SURFACE PROPOSED
RESIDENTIAL UNITS= 29

MAIN LEVEL FLOOR: 30,508 Sq. Ft.
FRONT PORCH: 986 Sq. Ft.
BACK PORCH: 1,740 Sq. Ft.
SIDEWALK EXTERIOR: 1,881 Sq. Ft.
SIDEWALK GREEN AREA: 20,43 Sq. Ft.
DRIVEWAYS: 9,495 Sq. Ft.
INTERIOR STREETS & PARKING: 19,571 Sq. Ft.
TOTAL PROPOSED IMPERVIOUS= 66,224 Sq. Ft.

CALCULATION LOT COVERAGE= 66,224 Sq. Ft. / 126,624 Sq. Ft. = **0.52%**

UNIT SITE DEVELOPMENT

TOTAL UNITS - 29 Units - 3 Beds

RESIDENTIAL LOTS 1623 & 1627
Total Area = **2.9069 Acres**

Max Density For Townhouses
Total Units = **29 Units**
Calculation= 29/2.906 = **10 Unit/Ac**

HEATED AND UNHEATED CALCULATION:

HEATED AREA
(1 UNIT) = 1,700 sq ft
(29 UNIT) = 49,300 sq ft

UNHEATED AREA (GARAGE)
(1 UNIT) = 263 sq ft
(29 UNIT) = 7,627 sq ft

UNHEATED AREA (PORCH AND BALCONY)
(1 UNIT) = 157 sq ft
(29 UNIT) = 4,553 sq ft

TOTAL AREA
(1 UNIT) = 2,199 sq ft
(29 UNIT) = 63,771 sq ft

FOOTPRINT PER UNIT = 1,052 sq ft

UNIT PARKING RATIO

DWELLING UNITS= 29

REQUIRED SPACE= 3 per Dwelling
REQUIRED VISITOR= 0.25 per Dwelling
TOTAL REQUIRED= 95

TOTAL PROPOSED SPACES = 96
PARALLEL PARKING= 28
PARKING LOT= 10
PARKING PER DWELLING= 2

FOOTPRINT PER BUILDING

BLDG. #100 - 8 UNITS = 8,572 sq ft
BLDG. #200 - 7 UNITS = 7,462 sq ft
BLDG. #300 - 8 UNITS = 8,560 sq ft
BLDG. #400 - 6 UNITS = 6,413 sq ft

TOTAL 29 UNITS = 31,007 sq ft

PROJECT BUILDING DATA TABLE					
Building Number	Stories	3 bed per Unit	Total Units per building	Total Gross SF per Building	Total Beds per Building
100	2-Story	8	8	8,572	24
200	2-Story	7	7	7,462	21
300	2-Story	8	8	8,560	24
400	2-Story	6	6	6,413	18
TOTALS		29	29	31,007	87

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GRAND LUXXE TOWNHOMES
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Lawrenceville, GA 30044

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No.	Description	Date

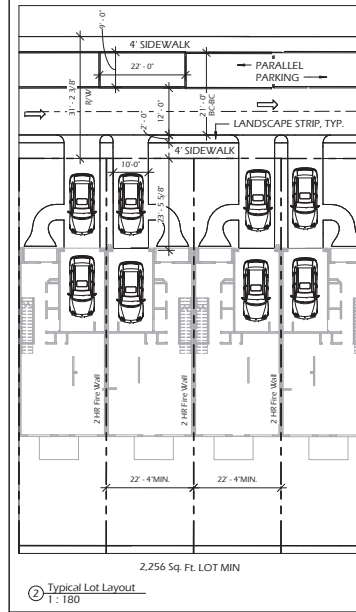
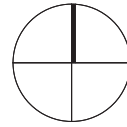
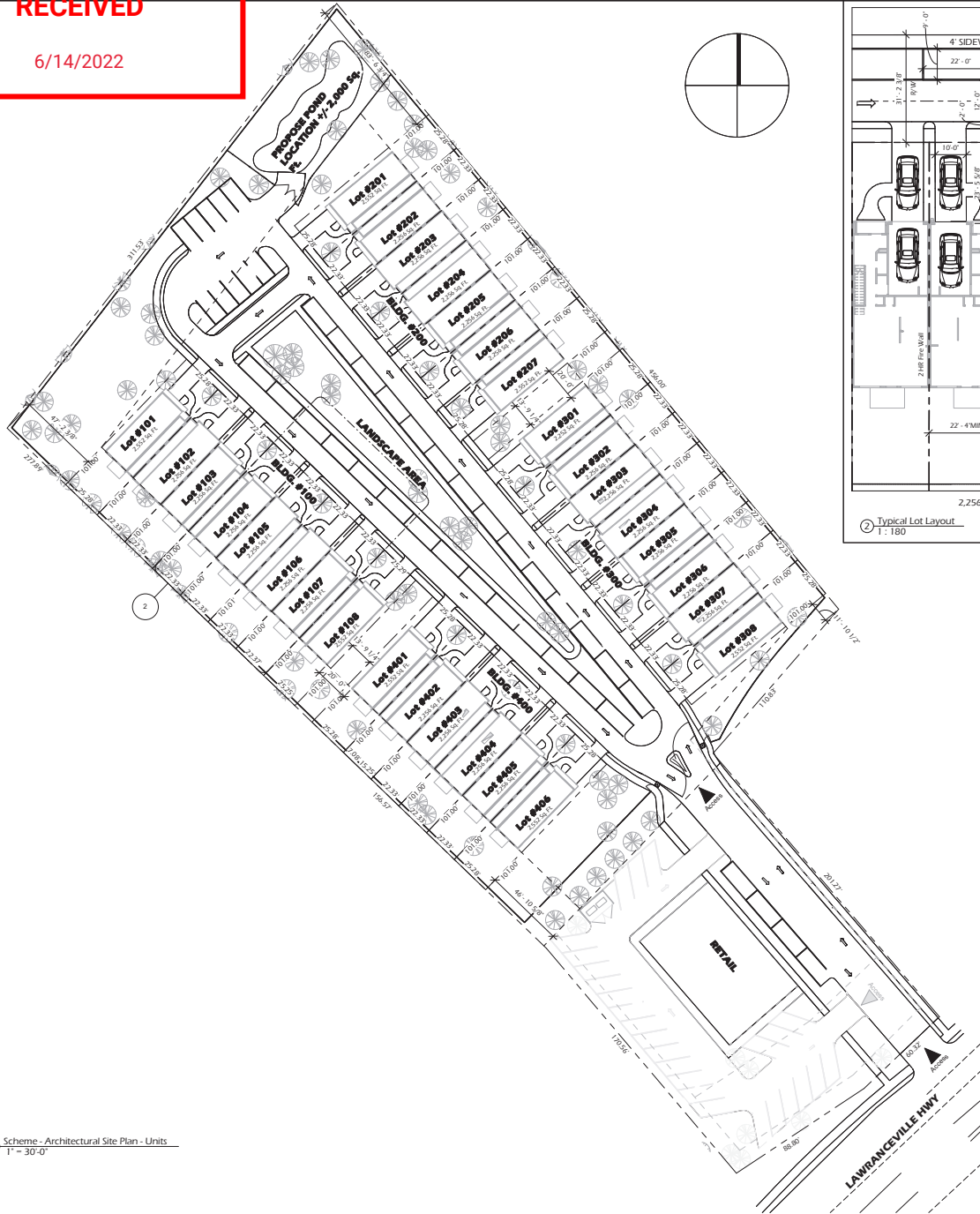
PROJECT NUMBER: 2020-03

SHEET TITLE
SITE PLAN - BUILDING INFO

SHEET No.
AS101

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SITE NOTES:

1. See photometric plan by civil engineer for site lighting layouts.
2. All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
3. All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
4. Building sign number (post address) shall be min. 10" number with color contrasting from background.
5. Owner responsible for ensuring the lighting meets DCA requirements.

PROJECT BUILDING DATA TABLE					
Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
100	Lot 101	A	End	Per Plan	2,579 Sq. Ft.
	Lot 102	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 103	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 104	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 105	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 106	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 107	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 108	B	End	Mirrored	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE					
Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
200	Lot 201	B	End	Mirrored	2,579 Sq. Ft.
	Lot 202	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 203	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 204	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 205	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 206	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 207	A	End	Per Plan	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE					
Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
300	Lot 301	B	End	Mirrored	2,579 Sq. Ft.
	Lot 302	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 303	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 304	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 305	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 306	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 307	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 308	A	End	Per Plan	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE					
Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
400	Lot 401	B	End	Per Plan	2,579 Sq. Ft.
	Lot 402	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 403	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 404	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 405	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 406	B	End	Mirrored	2,579 Sq. Ft.



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PROJECT NUMBER: 2020-03

SHEET TITLE

LOT
LAYOUT

SHEET No.

AS103

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Exhibit C: Building Elevations

[attached]

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No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE
COVER SHEET

SHEET No.

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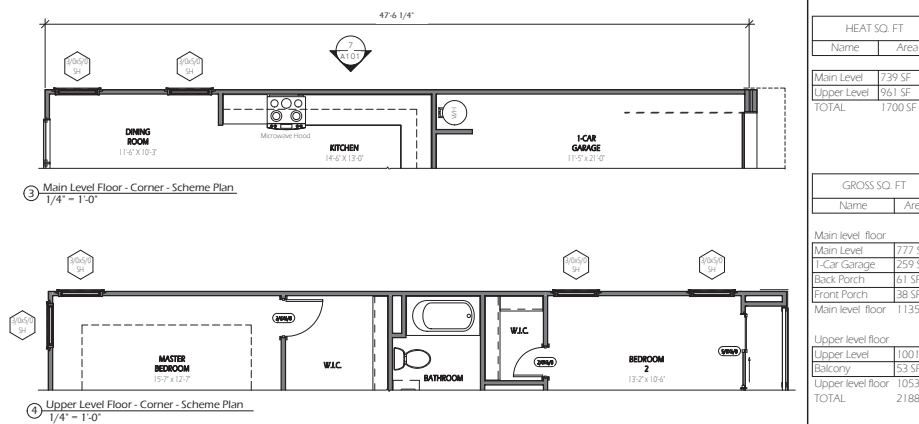
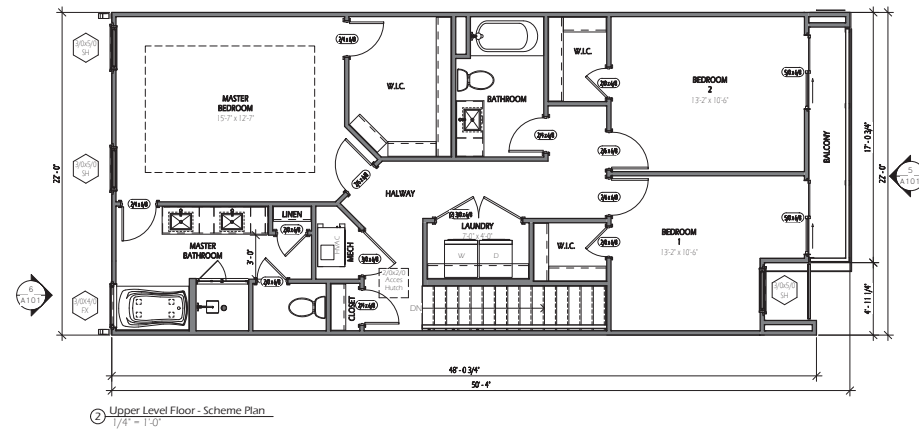
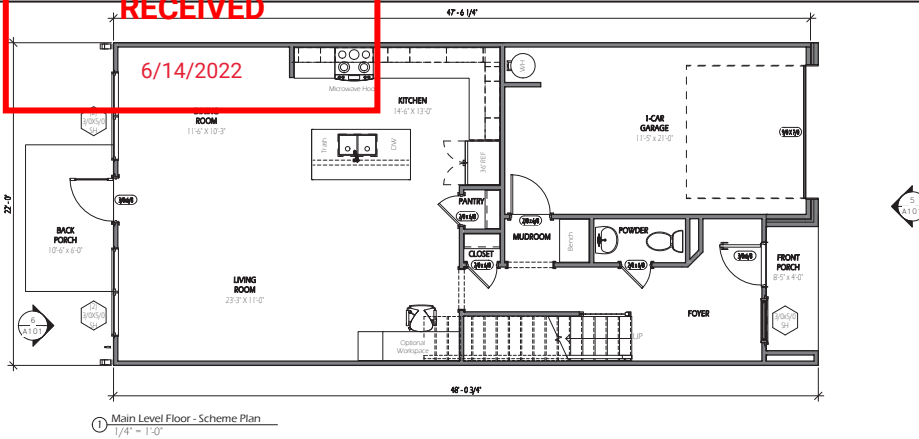
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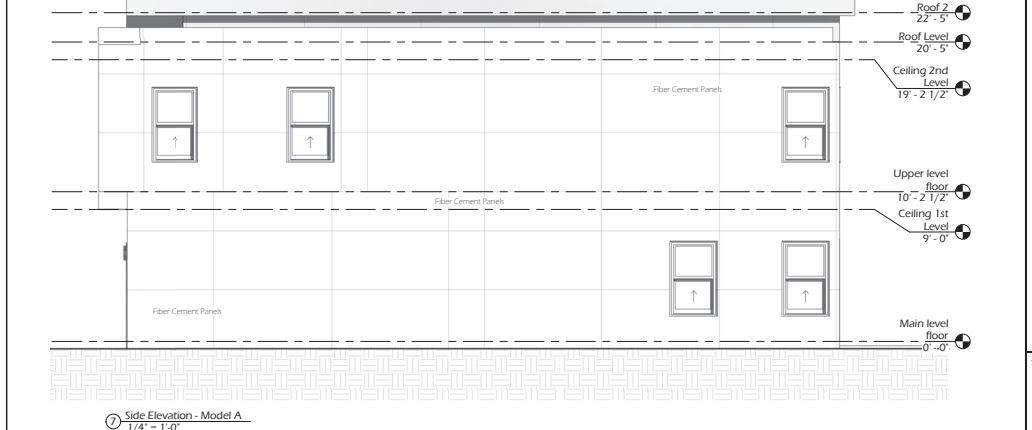
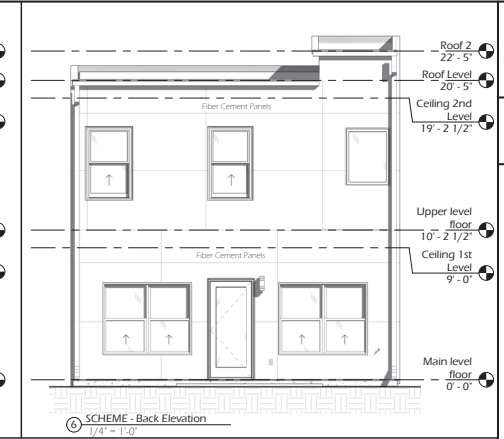
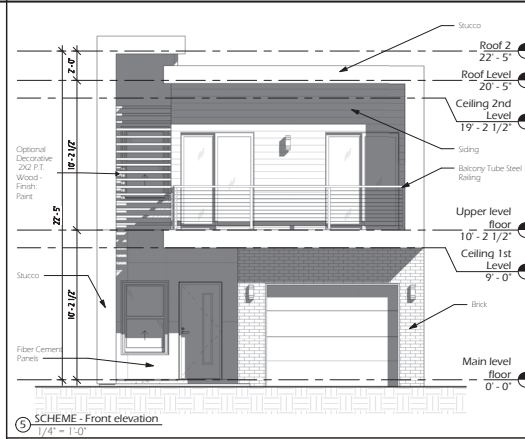


HEAT SQ. FT.	
Name	Area
Main Level	739 SF
Upper Level	961 SF
TOTAL	1700 SF

GROSS SQ. FT.	
Name	Area

Main level floor	777 SF
Main Level	259 SF
1-Car Garage	61 SF
Back Porch	38 SF
Front Porch	38 SF
Main level floor	1135 SF

Upper level floor	1001 SF
Upper Level	53 SF
Upper level floor	1053 SF
TOTAL	2188 SF



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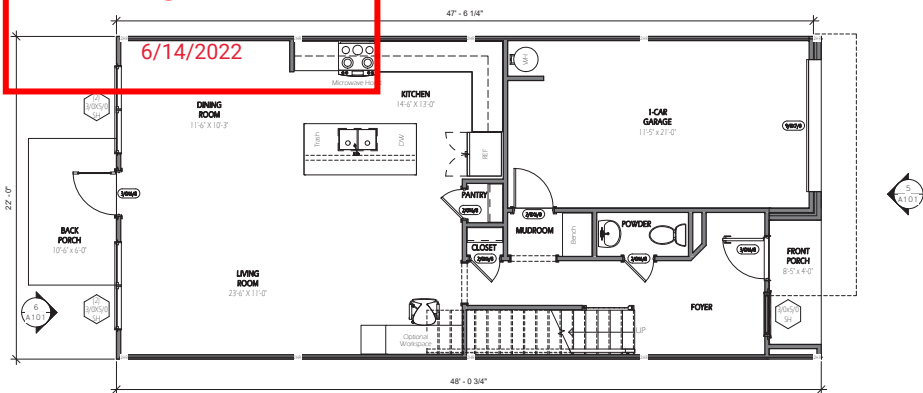
PROJECT NUMBER: 2022-02

SHEET TITLE: Model A - Unit Floor Plans

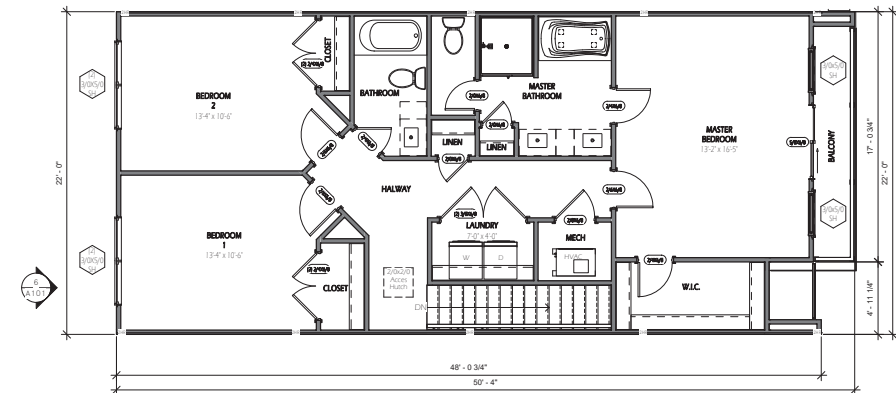
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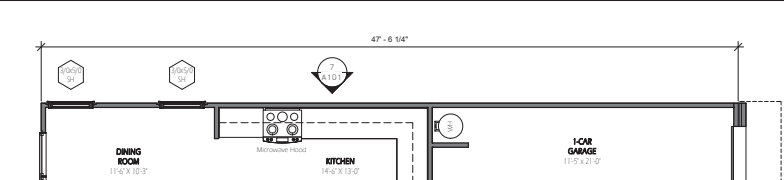
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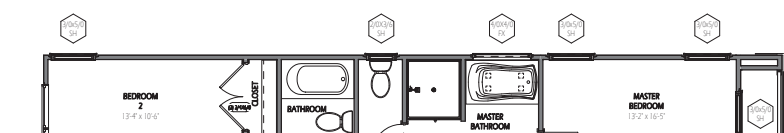
① Main Level Floor - Scheme Plan
1/4" = 1'-0"



② Upper Level Floor - Scheme Plan
1/4" = 1'-0"



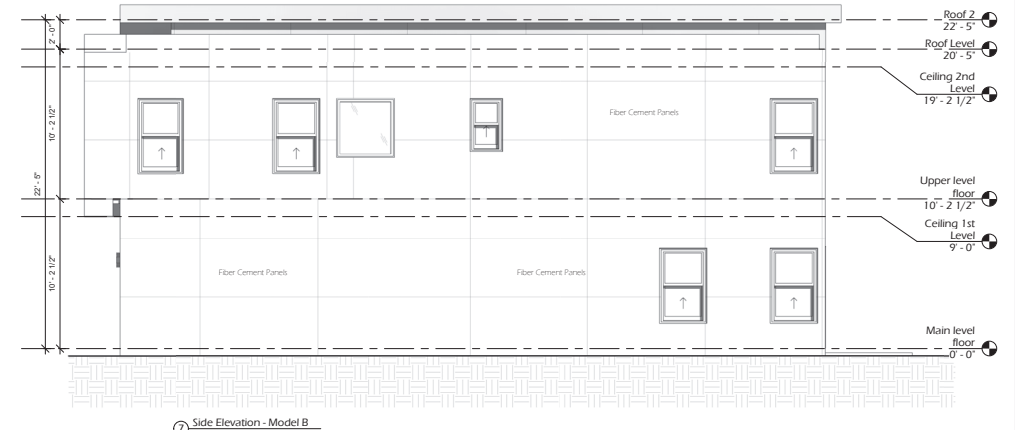
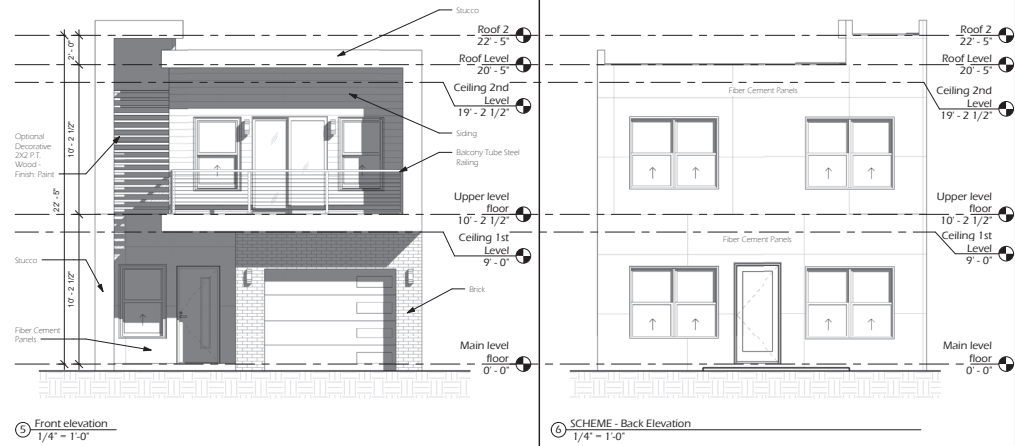
③ Main Level Floor - Corner - Scheme Plan
1/4" = 1'-0"



④ Upper Level Floor - Corner - Scheme Plan
1/4" = 1'-0"

HEAT SQ. FT.	
Name	Area
Main Level	777 SF
1-Car Garage	279 SF
Upper Level	165 SF
TOTAL	1760 SF

GROSS SQ. FT.	
Name	Area
Main level floor	777 SF
1-Car Garage	279 SF
Black Porch	61 SF
Front Porch	38 SF
Main level floor	1135 SF
Upper level floor	1001 SF
Upper Level	93 SF
Balcony	106.3 SF
Upper level floor	2188 SF
TOTAL	



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The Luxe
Townhomes at 1623, 1627, 1619 Lawrenceville Hwy, Lawrenceville, Ga 30044

SEAL

PRELIMINARY
Not for construction
Not for permitting
For preview ONLY!

REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

Model B - Unit
Floor Plans

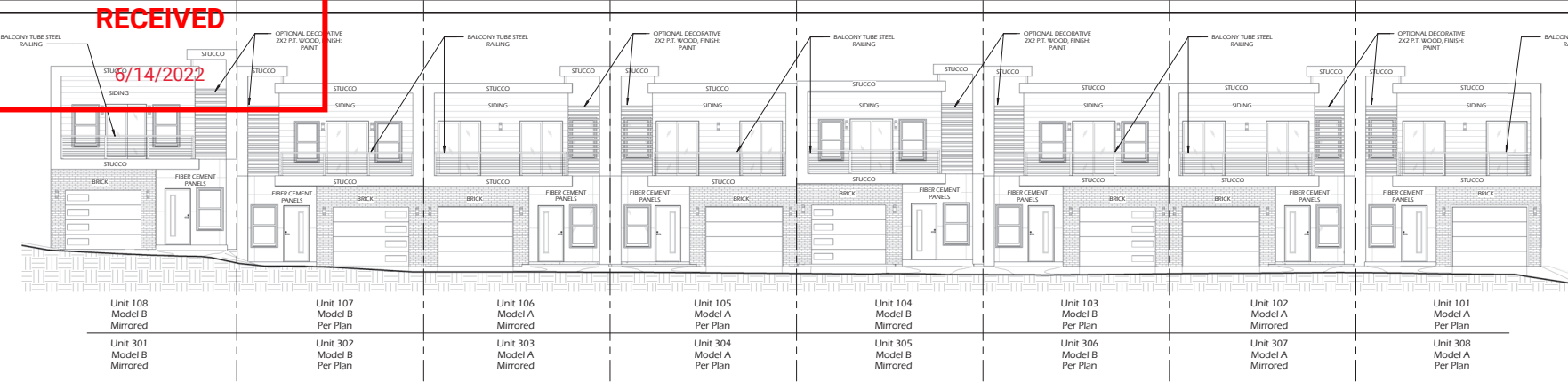
SHEET No.

A101

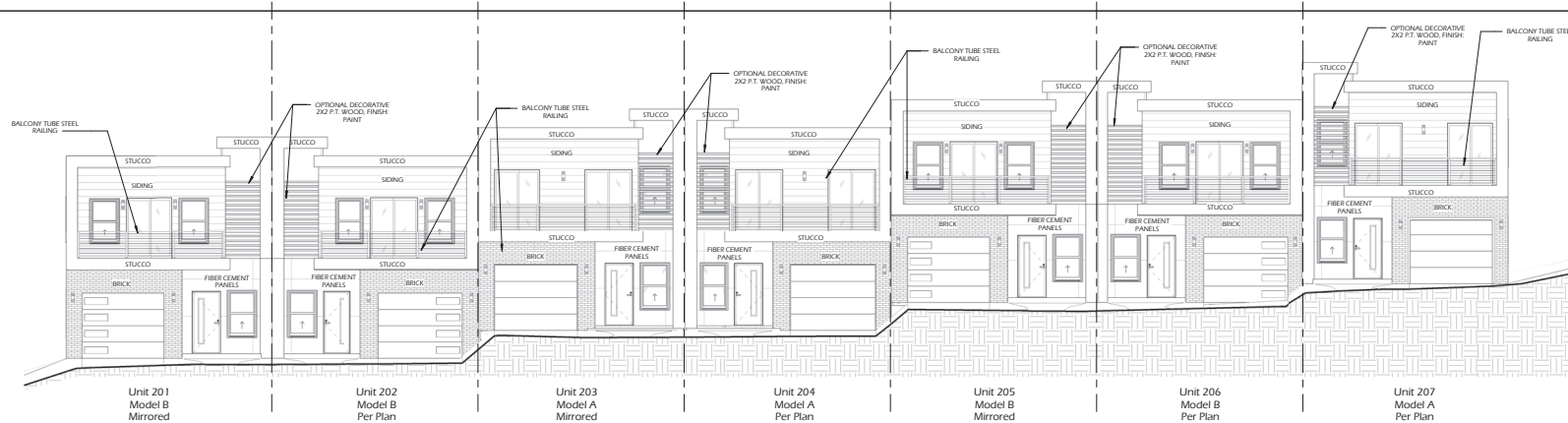
Plans to be printed on sheet Arch D 24" x 36"

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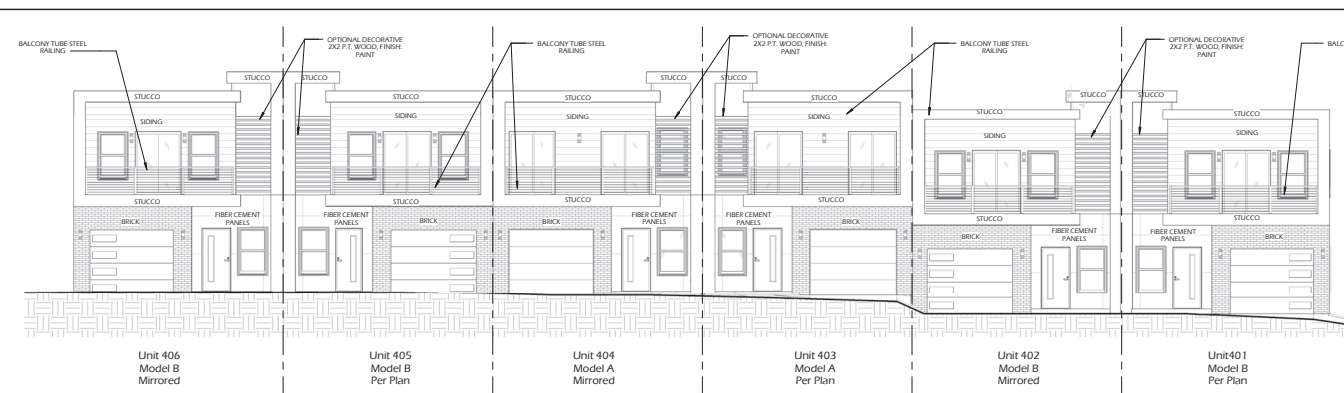
6/14/2022



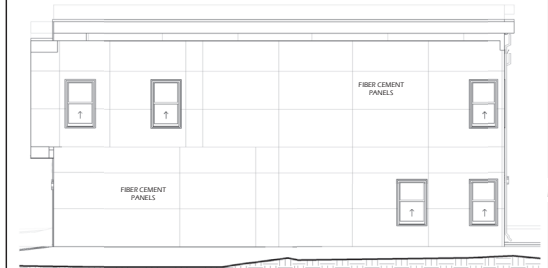
① EXTERIOR FRONT ELEVATION - BLDG #100, 300
1:75



② EXTERIOR FRONT ELEVATION - BLDG #200
1:75



③ EXTERIOR FRONT ELEVATION - BLDG #400
1:75



④ TYPICAL BLDG END - MODEL A UNIT
1:75

Plans to be printed on sheet Arch D 24" x 36"



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GRAND LUXE TOWNHOMES
1623, 1627, 1619, 1621 Lawrenceville Hwy.
Lawrenceville, GA 30044

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REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

**BUILDING
ELEVATIONS**

SHEET No.

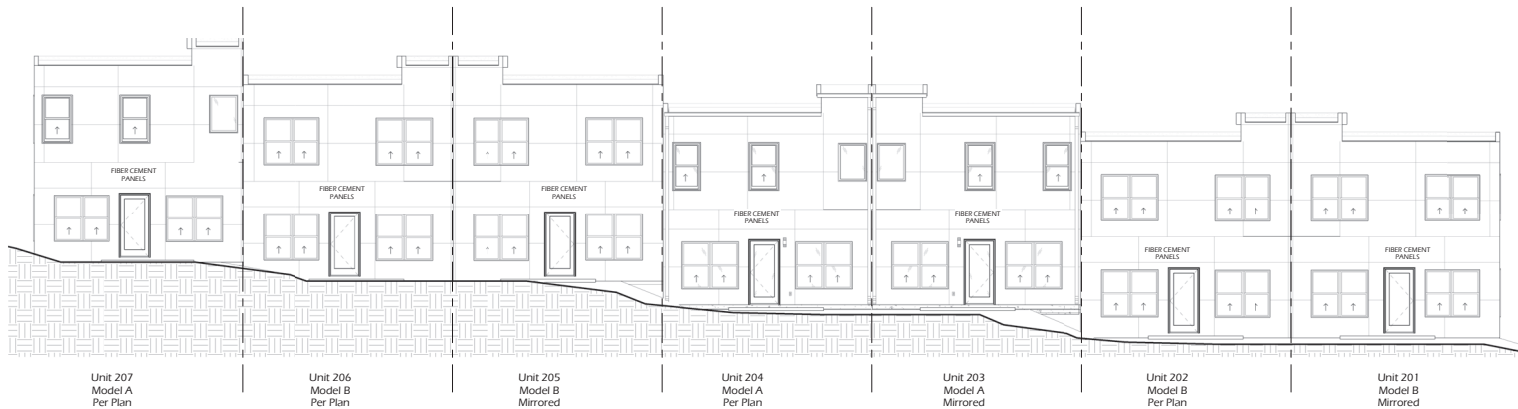
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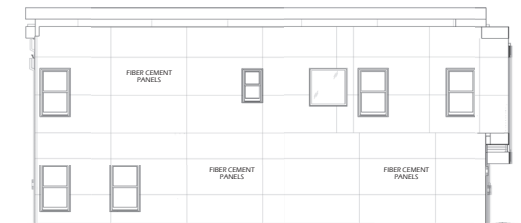
① EXTERIOR BACK ELEVATION - BLDG #100, 300
1:75



② EXTERIOR BACK ELEVATION - BLDG #200
1:75



③ EXTERIOR BACK ELEVATION - BLDG #400
1:75



④ TYPICAL BLDG END - MODEL B UNIT
1:75

Plans to be printed on sheet Arch D 24" x 36"



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GRAND LUXE TOWNHOMES
1623, 1627, 1619, 1621 Lawrenceville Hwy,
Lawrenceville, GA 30044

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REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

BUILDING ELEVATION

SHEET No.

AS105

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MEXICAN RESTURANT

LAWRENCEVILLE HIGHWAY

APPLICABLE CODE INFORMATION

- International Building Code, 2012 Edition, with Georgia Amendments (2014) (2015) (2016)
- International Residential Code, 2012 Edition, with Georgia Amendments (2014) (2015)



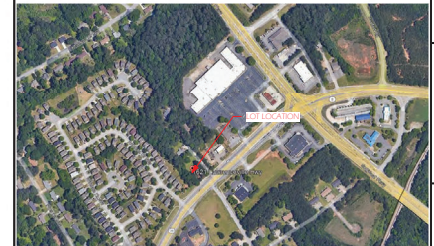
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PROJECT INFORMATION

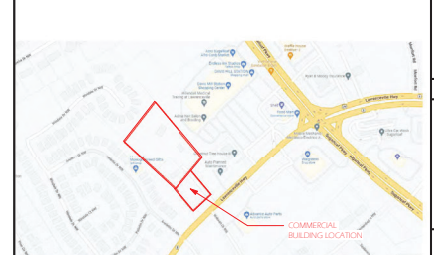
The drawings herein are provided to detail the construction to a commercial building.

The new construction will provided 4,500 heated square feet.

SITE AERIAL PLAN



SITE LOCATION PLAN



Plans to be printed on sheet Arch D 24" x 36"

MEXICAN RESTURANT
1621 & 1619 Lawrenceville Hwy

SEAL

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Not for construction
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REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

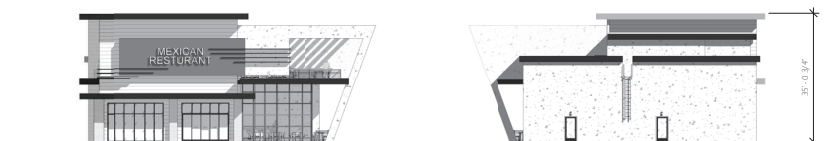
COVER SHEET

SHEET No.

A0

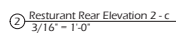
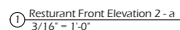
NOTE: Renderings are for illustrative purposes only and should not be used as a guide to or an interpretation of the construction documents.

HEIGHT CALCULATIONS



① Restaurant Front Elevation 2 - a Copy 1
1/16" = 1'-0"

② Restaurant Rear Elevation 2 - c Copy 1
1/16" = 1'-0"

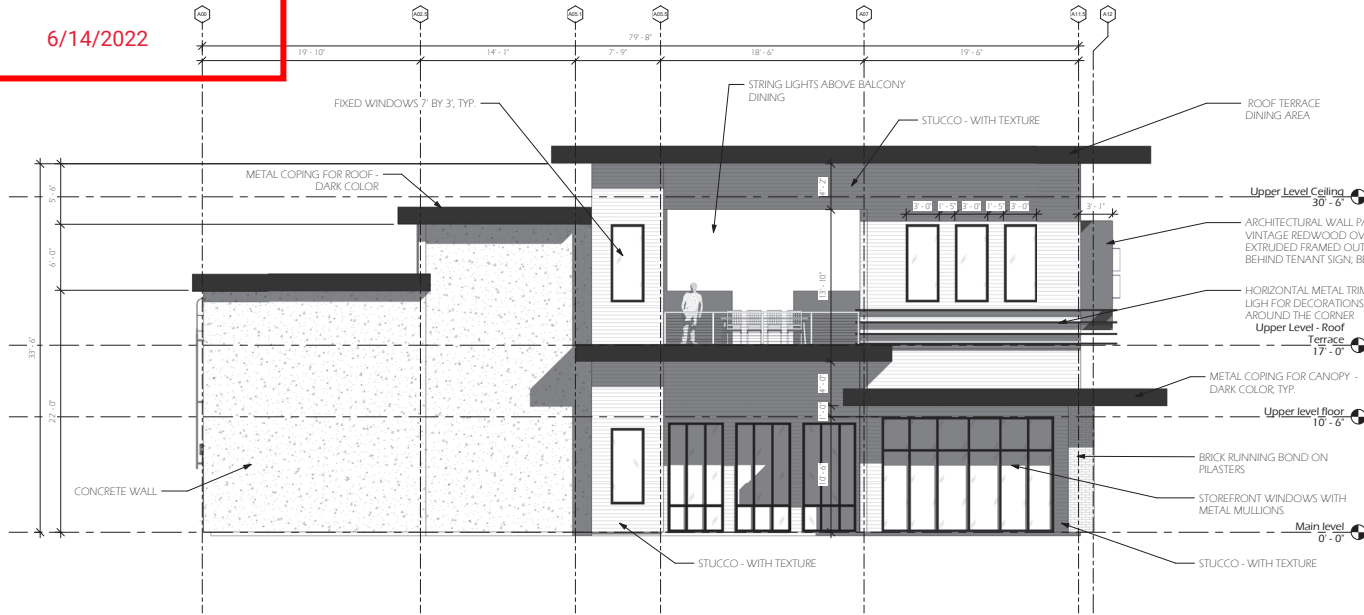


A3

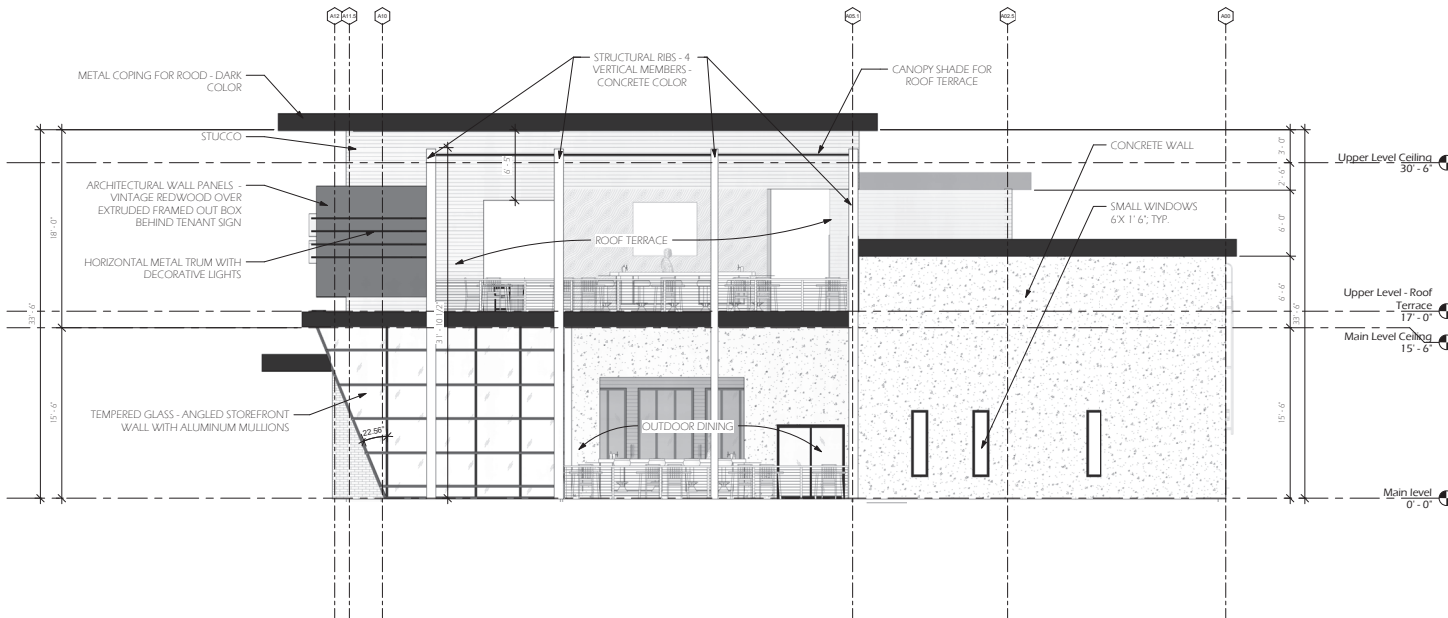
SA

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1 Restaurant Left Side Elevation 3 - b
3/16" = 1'-0"



2 Restaurant Right Side Elevation 2 - d
3/16" = 1'-0"

GENERAL NOTES

1. All dimensions are taken from the core face of the wall.
2. Contractor to verify all dimensions & Existing site conditions prior to construction.
3. Door & Window sizes area given in feet and inches in width and height respectively
4. Contractor shall verify all interior finishes, floor coverings, and trim sizes & configurations with owner prior to construction.
5. It is the sole responsibility of the contractor to verify clearances of the items mentioned above prior to construction.
6. Refer to exterior elevations for exterior wall finishes.
7. Refer to Door schedule for dimensions and finishes.
8. Refer to Window schedule for dimension and construction.
9. All beam sizes to be verified by structural engineer.
10. Contractor shall make all necessary modifications during construction process to comply with I.R.C. (International residential code), Latest edition, or applicable codes at site.
11. R308.4.6 Glazing adjacent stairs and ramps note: Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered a hazardous location.



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MEXICAN RESTAURANT
1621 & 1619 Lawrenceville Hwy

SEAL

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Not for permitting
For review ONLY

REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

ELEVATIONS

SHEET No.

A3.1

Plans to be printed on sheet Arch D 24" x 36"

Exhibit D: Letter of Intent and Applicant's Response to Standards

[attached]

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Applicant's Letter of Intent

1623 and 1627 Lawrenceville Highway (Parcel #5079 021, 5079 020)
R-75 to R-TH

The applicant, APC Contractors LLC., requests a rezoning on an approximately 2.9-acre site located on Lawrenceville Highway near its intersection with Sugarloaf Parkway, and adjacent to the Davis Mill Station Commercial center. The lots subject to the zoning request include 1623 and 1627 Lawrenceville Highway, which are both currently zoned R-75. Both lots are entirely situated behind 1621 and 1619 Lawrenceville Highway, which are both zoned C-1 and front Lawrenceville Highway. The applicant requests to rezone the rear lots from R-75 (Single-Family Residence District) to R-TH (Single-Family Residence Townhouse District) to construct an attached townhome community and maintain the two fronting lots under the C-1 zoning category (Neighborhood Business District). As illustrated on the submitted site plan, the Applicant proposes to construct a 29-unit attached townhouse community that offers extensive greenspace and sufficient walkability. As proposed, each unit will have a heated floor area of approximately 1,700 square feet, with a minimum of three bedrooms. Each of the four townhouse buildings will be two stories tall and will be constructed with a mixture of brick, fiber cement, siding, and stucco. Private door access will be provided to each unit as well as a front-entry garage. In addition to garage and driveway spaces, additional parallel parking for guests will be provided around the centralized common area, and a small parking lot will be provided at the rear of the site. To provide sufficient site access, and meet the required road frontage standard, the Applicant will dedicate a 50-foot-wide portion of the adjacent C-1 zoned parcel (5079 009A) spanning from Lawrenceville Highway to the proposed development as right-of-way. The newly created road will also provide access to the future development of the commercial property. Vehicular access into the townhomes from the road will be gate controlled for enhanced security. The sidewalks provided throughout the townhouse development will extend adjacent to the newly created road and connect to sidewalks along Lawrenceville Highway, creating a safe and convenient path the many nearby businesses. The subject site is within the Community Mixed-Use character area of the 2040 Comprehensive Plan, which encourages a mixture of commercial uses and medium to high density residential development, including Townhomes. Within proximity there are a variety of townhouse and multi-family-zoned lots with existing and pending developments. The proposed development is consistent with the surrounding uses and meets in the intent of the character area, providing high-quality residential units with a reasonable density near a major county intersection and maintains the pattern of commercial uses along Lawrenceville Highway within the node. Further, the townhomes will act as a natural transition between the Madison Landing subdivision and largely commercial intersection. On the C-1 zoned properties fronting Lawrenceville Highway, the Applicant aims to construct a high-end Mexican Restaurant with rooftop and outdoor dining, which will be accessible to the public. The added foot traffic generated from the proposed townhouse community and the many pending residential units in proximity will help maintain successful businesses and make the area a livelier and safer node.

The Applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide exceptional housing in a highly desirable section of Gwinnett County.

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Standards Governing the Exercise of the Zoning Power

To further demonstrate that the proposed rezoning and land use is consistent with the intent of the UDO and 2040 Unified Plan, the applicant submits its response to the Standards Governing Exercise of the Zoning Power as follows:

(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Rezoning the subject site to R-TH for the purpose of constructing townhomes is suitable in relation to the adjacent and nearby properties. The site is primarily surrounded by commercial uses, except for the dense subdivision to the west. Further, there are many planned or existing large-scale multifamily and townhouse developments in the area.

(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

The proposed rezoning will not adversely affect the use of the surrounding properties. The subject property will sit behind commercial property and will create a natural transition between the single-family detached and the heavily commercial intersection at Sugarloaf Parkway.

(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Due to the size and location of the property, the applicant believes that the subject property does not have a reasonable economic use as currently zoned. The applicant submits the rezoning would allow for a use more compatible with the pattern of development in the area.

(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The rezoning will not result in an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed rezoning is in conformity with the intent of the 2040 Unified Plan. The subject property is located within the Community Mixed-Use character area of the 2040 Future Development Map, which encourages townhomes as a land use.

(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

The pattern of residential infill development in the area and the proposed development's consistency with the land use of the adjacent properties are among reasons for the approval of the proposed rezoning.

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Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

Exhibit E: Internal and External Agency Review Comments

[attached]



**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

TRC Meeting Date:		7.13.22	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 1	
Reviewer Email Address:		Brent.Hodges@gwinnettcountry.com	
Case Number:		RZM2022-00034	
Case Address:		1623 and 1627 Lawrenceville Highway	
Comments:		<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
1	Lawrenceville Highway (SR 8) is a principal arterial. ADT = 26,100.		
2	0.65 miles to nearest transit facility (#2454883) Lawrenceville Highway and Wal-Mart.		
3	The developer shall coordinate with the Georgia Department of Transportation (GDOT) regarding access along Lawrenceville Highway (SR 8).		
4			
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
1			
2			
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021



Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:		7/13/2022	
Department/Agency Name:		DWR	
Reviewer Name:		Mike Pappas	
Reviewer Title:		GIS Planning Manager	
Reviewer Email Address:		Michael.pappas@gwinnettcountry.com	
Case Number:		RZM2022-00034	
Case Address:		1623 & 1627 Lawrenceville Highway	
Comments:		<input checked="" type="checkbox"/> X	<input type="checkbox"/> YES
		<input type="checkbox"/>	<input type="checkbox"/> NO
1	Water: The development may connect to an existing 12-inch water main located on the northwest right-of-way of Lawrenceville Highway.		
2	Sewer: A Sewer Capacity Certification is required to confirm capacity.		
3	Sewer: Pending available sewer capacity, proposed development may connect to an existing 8-inch sanitary sewer main located approximately 5 feet south on parcel 5079 208.		
4	Sewer: The easement connecting to the existing gravity sewer shall remain clear of all permanent structures, including building footings and air conditioning units, as well as deep-rooted landscaping.		
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input checked="" type="checkbox"/> X
		<input type="checkbox"/>	<input type="checkbox"/> NO
1			
2			
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021

Residential Rezoning Impact on Local Schools Prepared for Gwinnett County BOC, August, 2022											Proposed Zoning
	School	2022-23			2023-24			2024-25			Approximate Student Projections from Proposed Developments
		Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	
RZC2022-00001 & RZC2022-00002	Duluth HS	2,643	2,650	-7	2,696	2,650	46	2,736	2,650	86	25
	Duluth MS	1,286	1,775	-489	1,312	1,775	-463	1,331	1,775	-444	19
	Harris ES	680	750	-70	687	750	-63	694	750	-56	33
RZM2022-00026 & RZM2022-00027 & RZM2022-00028	Collins Hill HS	2,730	2,625	105	2,773	2,625	148	2,800	2,625	175	27
	Creekland MS	1,911	2,100	-189	1,892	2,100	-208	1,915	2,100	-185	20
	Rock Springs ES	792	1,325	-533	808	1,325	-517	824	1,325	-501	35
RZM2022-00031	Collins Hill HS	2,730	2,625	105	2,773	2,625	148	2,800	2,625	175	24
	Creekland MS	1,911	2,100	-189	1,892	2,100	-208	1,915	2,100	-185	19
	Taylor ES	826	1,300	-474	817	1,300	-483	809	1,300	-491	32
RZM2022-00032	Peachtree Ridge HS	3,262	3,050	212	3,295	3,050	245	3,271	3,050	221	6
	Hull MS	1,258	1,750	-492	1,271	1,750	-479	1,290	1,750	-460	5
	Mason ES	937	1,150	-213	924	1,150	-226	912	1,150	-238	9
RZM2022-00033	Parkview HS	3,208	2,900	308	3,240	2,900	340	3,224	2,900	324	8
	Trickum MS	2,160	1,775	385	2,182	1,775	407	2,170	1,775	395	7
	Camp Creek ES	1,323	1,325	-2	1,336	1,325	11	1,350	1,325	25	11
RZM2022-00034	Discovery HS	2,862	2,525	337	2,905	2,525	380	2,949	2,525	424	5
	Richards MS	2,052	2,200	-148	2,093	2,200	-107	2,124	2,200	-76	4
	Benefield ES	1,216	1,375	-159	1,204	1,375	-171	1,192	1,375	-183	6
RZM2022-00036	Grayson HS	3,277	3,000	277	3,375	3,000	375	3,477	3,000	477	14
	Bay Creek MS	1,318	1,150	168	1,345	1,150	195	1,385	1,150	235	10
	Trip ES	1,241	1,200	41	1,266	1,200	66	1,291	1,200	91	18
RZM2022-00037	Mill Creek HS	2,915	2,800	115	2,633	2,800	-167	2,596	2,800	-204	30
	Osborne MS	1,658	1,575	83	1,646	1,575	71	1,671	1,575	96	22
	Fort Daniel ES	727	925	-198	749	925	-176	764	925	-161	39
RZR2022-00020	South Gwinnett HS	2,735	2,750	-15	2,790	2,750	40	2,832	2,750	82	37
	Grace Snell MS	1,262	1,200	62	1,281	1,200	81	1,300	1,200	100	26
	Magill ES	1,222	1,525	-303	1,253	1,525	-272	1,284	1,525	-241	47
RZR2022-00023	Collins Hill HS	2,730	2,625	105	2,773	2,625	148	2,800	2,625	175	37
	Creekland MS	1,911	2,100	-189	1,892	2,100	-208	1,915	2,100	-185	26
	Rock Springs ES	792	1,325	-533	808	1,325	-517	824	1,325	-501	47

Exhibit F: Maps

[attached]



WINDALE DR

ANNLETTE DR

WINDALE CT

PALADIN DR

WABASH DR

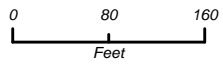
LAWRENCEVILLE HWY

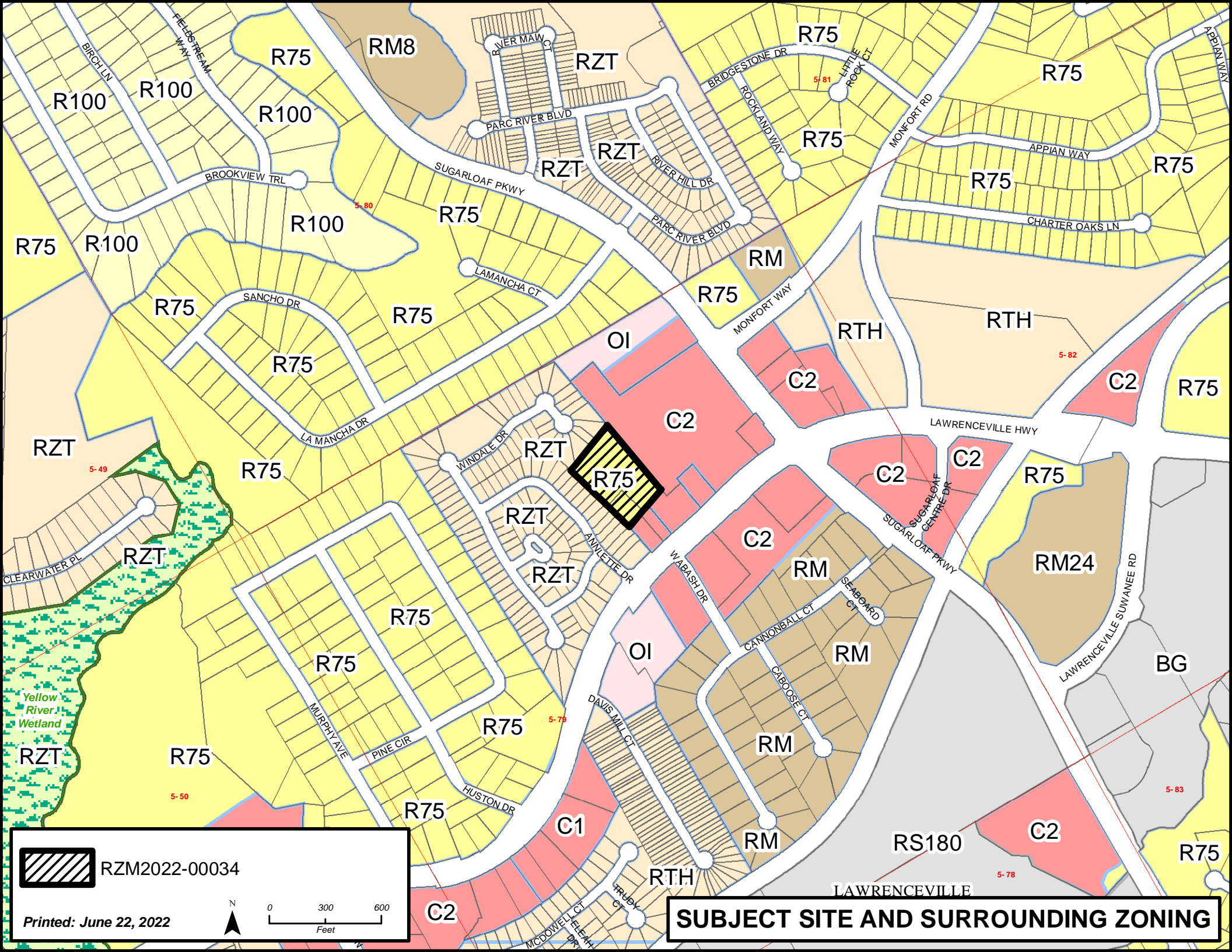
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SUGARLOAF PKWY



RZM2022-00034

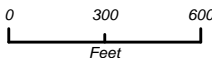
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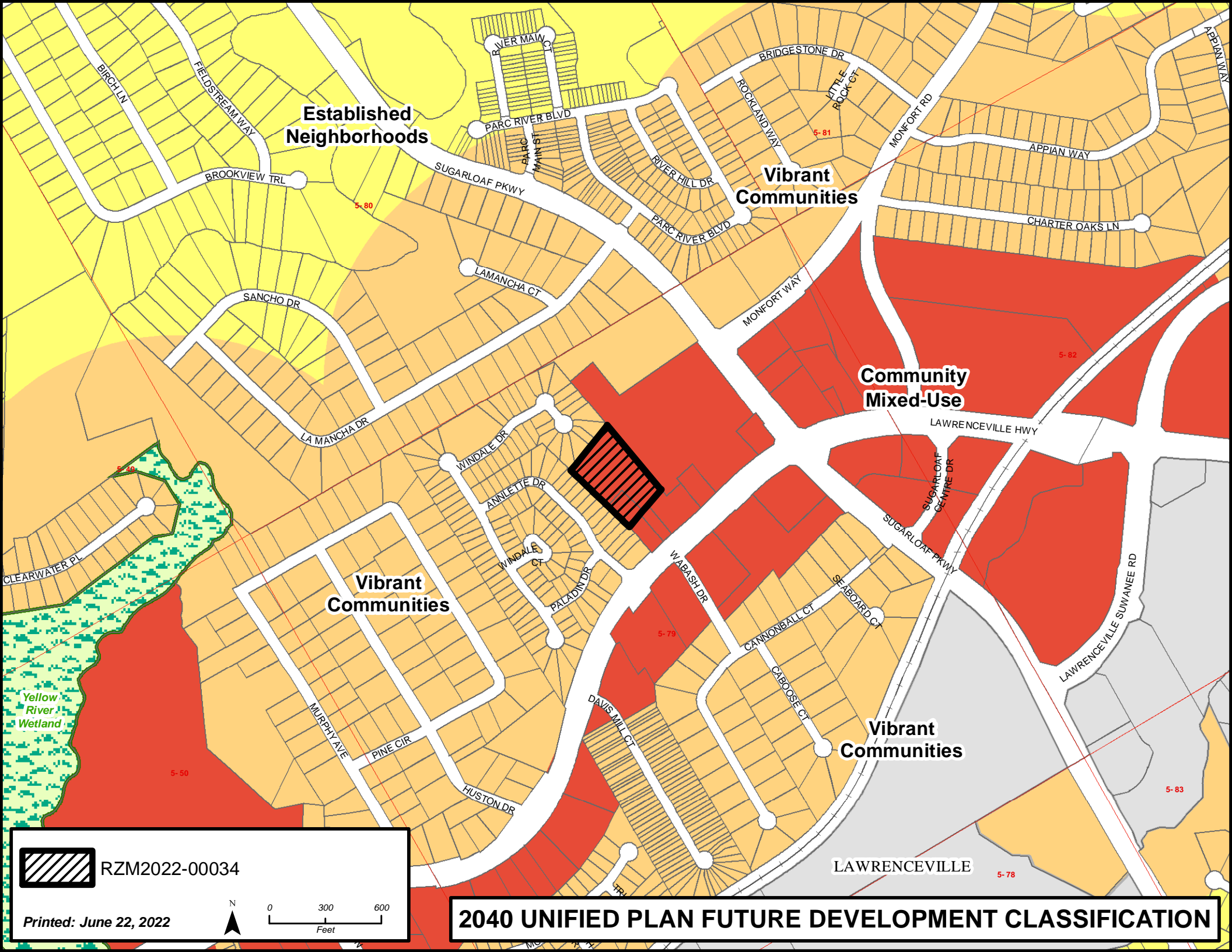


RZM2022-00034

Printed: June 22, 2022



SUBJECT SITE AND SURROUNDING ZONING




**Established
Neighborhoods**

**Vibrant
Communities**

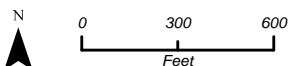
**Community
Mixed-Use**

**Vibrant
Communities**

**Vibrant
Communities**

 RZM2022-00034

Printed: June 22, 2022



2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION

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REZONING APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: APC Contractors, Inc. c/o Alliance Engineering and Planning	NAME: PELAYO EFREN PELAYO MARTHA OFELIA
ADDRESS: 299 S. Main Street	ADDRESS: 1623 Lawrenceville Hwy
CITY: Alpharetta	CITY: Lawrenceville
STATE: GA ZIP: 30009	STATE: GA ZIP: 30044
PHONE: 770-225-4730 ext. 819	PHONE: 770-225-4730 ext. 819
EMAIL: Tylerl@allianceco.com	EMAIL:
CONTACT PERSON: Tyler Lasser PHONE: 770-225-4730 ext. 819	
CONTACT'S E-MAIL: Tylerl@allianceco.com	
<p align="center">APPLICANT IS THE:</p> <p> <input type="checkbox"/> OWNER'S AGENT <input type="checkbox"/> PROPERTY OWNER <input checked="" type="checkbox"/> CONTRACT PURCHASER </p>	
PRESENT ZONING DISTRICTS(S): R-75 REQUESTED ZONING DISTRICT: R-TH	
PARCEL NUMBER(S): 5079 021, 020 ACREAGE: 2.913	
ADDRESS OF PROPERTY: 1623 and 1627 Lawrenceville Highway	
PROPOSED DEVELOPMENT: Attached Townhomes	

RESIDENTIAL DEVELOPMENT	NON-RESIDENTIAL DEVELOPMENT
No. of Lots/Dwelling Units 29	No. of Buildings/Lots:
Dwelling Unit Size (Sq. Ft.): 1,700	Total Building Sq. Ft.
Gross Density: 9.9	Density:
Net Density: 9.9	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

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6/14/2022

REZONING APPLICANT'S RESPONSE

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Please see attached

RECEIVED

6/14/2022

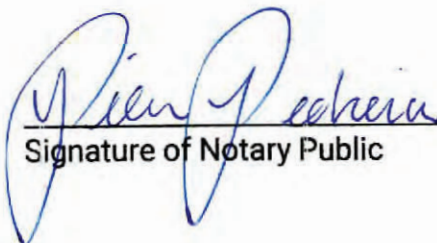
REZONING APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.


Signature of Applicant

05/31/22
Date

Atilio Pedreira - President
Type or Print Name and Title


Signature of Notary Public

05/31/22
Date

PILAR PEDREIRA
NOTARY PUBLIC
Gwinnett County
State of Georgia
My Comm. Expires July 11, 2022

Notary Seal



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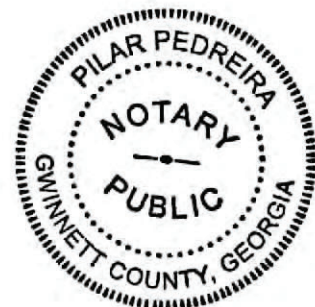
REZONING PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Pelaxo 05-31-22
Signature of Property Owner Date

EFREN PELAXO
Type or Print Name and Title

Pilar Pedreira 05/31/22 PILAR PEDREIRA
NOTARY PUBLIC
Gwinnett County
State of Georgia
My Comm. Expires July 11, 2022
Signature of Notary Public Date Notary Seal



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CONFLICT OF INTEREST CERTIFICATION FOR REZONING

The undersigned below, making application for a Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

Atilio Pedreira 05/31/22 Atilio Pedreira - President
SIGNATURE OF APPLICANT DATE TYPE OR PRINT NAME AND TITLE

Tyler Lasser 5/31/22 Tyler Lasser
SIGNATURE OF APPLICANT'S DATE TYPE OR PRINT NAME AND TITLE
ATTORNEY OR REPRESENTATIVE

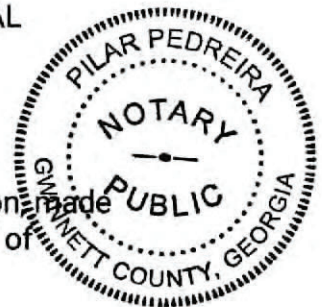
Pilar Pedreira 05/31/22
SIGNATURE OF NOTARY PUBLIC DATE

PILAR PEDREIRA
NOTARY PUBLIC
Gwinnett County
State of Georgia
My Comm. Expires July 11, 2022

NOTARY SEAL

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?



☐ YES ☒ NO Atilio Pedreira
YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

RECEIVED

6/14/2022

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

***Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: 5 - 079 - 020
(Map Reference Number) District Land Lot Parcel


Signature of Applicant

05/31/22
Date

Atilio Pedreira - President
Type or Print Name and Title

*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Jacquleen Garcia

NAME

Tax Associate I

TITLE

06/01/2022

DATE

RECEIVED

6/14/2022

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

***Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: 5 - 079 - 021
(Map Reference Number) District Land Lot Parcel

Milio Pedreira
Signature of Applicant

05/31/22
Date

Milio Pedreira - President
Type or Print Name and Title

*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Jacquleen Garcia

Tax Associate I

NAME

TITLE

6/1/2022

DATE

RECEIVED

6/14/2022

Applicant's Letter of Intent

1623 and 1627 Lawrenceville Highway (Parcel #5079 021, 5079 020)
R-75 to R-TH

The applicant, APC Contractors LLC., requests a rezoning on an approximately 2.9-acre site located on Lawrenceville Highway near its intersection with Sugarloaf Parkway, and adjacent to the Davis Mill Station Commercial center. The lots subject to the zoning request include 1623 and 1627 Lawrenceville Highway, which are both currently zoned R-75. Both lots are entirely situated behind 1621 and 1619 Lawrenceville Highway, which are both zoned C-1 and front Lawrenceville Highway. The applicant requests to rezone the rear lots from R-75 (Single-Family Residence District) to R-TH (Single-Family Residence Townhouse District) to construct an attached townhome community and maintain the two fronting lots under the C-1 zoning category (Neighborhood Business District). As illustrated on the submitted site plan, the Applicant proposes to construct a 29-unit attached townhouse community that offers extensive greenspace and sufficient walkability. As proposed, each unit will have a heated floor area of approximately 1,700 square feet, with a minimum of three bedrooms. Each of the four townhouse buildings will be two stories tall and will be constructed with a mixture of brick, fiber cement, siding, and stucco. Private door access will be provided to each unit as well as a front-entry garage. In addition to garage and driveway spaces, additional parallel parking for guests will be provided around the centralized common area, and a small parking lot will be provided at the rear of the site. To provide sufficient site access, and meet the required road frontage standard, the Applicant will dedicate a 50-foot-wide portion of the adjacent C-1 zoned parcel (5079 009A) spanning from Lawrenceville Highway to the proposed development as right-of-way. The newly created road will also provide access to the future development of the commercial property. Vehicular access into the townhomes from the road will be gate controlled for enhanced security. The sidewalks provided throughout the townhouse development will extend adjacent to the newly created road and connect to sidewalks along Lawrenceville Highway, creating a safe and convenient path the many nearby businesses. The subject site is within the Community Mixed-Use character area of the 2040 Comprehensive Plan, which encourages a mixture of commercial uses and medium to high density residential development, including Townhomes. Within proximity there are a variety of townhouse and multi-family-zoned lots with existing and pending developments. The proposed development is consistent with the surrounding uses and meets in the intent of the character area, providing high-quality residential units with a reasonable density near a major county intersection and maintains the pattern of commercial uses along Lawrenceville Highway within the node. Further, the townhomes will act as a natural transition between the Madison Landing subdivision and largely commercial intersection. On the C-1 zoned properties fronting Lawrenceville Highway, the Applicant aims to construct a high-end Mexican Restaurant with rooftop and outdoor dining, which will be accessible to the public. The added foot traffic generated from the proposed townhouse community and the many pending residential units in proximity will help maintain successful businesses and make the area a livelier and safer node.

The Applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide exceptional housing in a highly desirable section of Gwinnett County.

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Standards Governing the Exercise of the Zoning Power

To further demonstrate that the proposed rezoning and land use is consistent with the intent of the UDO and 2040 Unified Plan, the applicant submits its response to the Standards Governing Exercise of the Zoning Power as follows:

(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Rezoning the subject site to R-TH for the purpose of constructing townhomes is suitable in relation to the adjacent and nearby properties. The site is primarily surrounded by commercial uses, except for the dense subdivision to the west. Further, there are many planned or existing large-scale multifamily and townhouse developments in the area.

(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

The proposed rezoning will not adversely affect the use of the surrounding properties. The subject property will sit behind commercial property and will create a natural transition between the single-family detached and the heavily commercial intersection at Sugarloaf Parkway.

(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Due to the size and location of the property, the applicant believes that the subject property does not have a reasonable economic use as currently zoned. The applicant submits the rezoning would allow for a use more compatible with the pattern of development in the area.

(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The rezoning will not result in an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed rezoning is in conformity with the intent of the 2040 Unified Plan. The subject property is located within the Community Mixed-Use character area of the 2040 Future Development Map, which encourages townhomes as a land use.

(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

The pattern of residential infill development in the area and the proposed development's consistency with the land use of the adjacent properties are among reasons for the approval of the proposed rezoning.

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Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

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Exhibit

All that tract or parcel of land lying and being in Land Lot 79 of the 5th District of Gwinnett County, Georgia, and more particularly described; this property is also more particularly described as follows:

Beginning at the mitered intersection of the westerly right of way of Lawrenceville Highway and northerly right of way of Anlette Drive, proceed thence north, along the westerly right of way of Lawrenceville Highway a distance of 130.96 feet to a point; thence, leaving said right of way of Lawrenceville Highway, North 40°10'12" West a distance of 170.56 feet to an iron pin found (1/2" rebar) said point being the TRUE POINT OF BEGINNING;

From the TRUE POINT OF BEGINNING, as thus established, proceeds North 45°42'06" West a distance of 160.76 feet to a point; thence, North 46°01'33" West distance of 277.89 feet to an iron pin found (1/2" rebar); thence, North 38°37'27" East a distance of 311.23 feet to an iron pin found (1/2" rebar); thence, South 39°55'33" East a distance of 456.00 feet to an iron pin found (1/2" rebar); thence, South 41°03'15" West a distance of 110.83 feet to an iron pin found (1/2" rebar); thence, South 40°25'23" West a distance of 39.23 feet to a point; thence, South 42°27'24" West a distance of 21.37 feet to an iron pin found (1/2" rebar); thence, South 40°27'03" West a distance of 91.30 feet to an iron pin found (1/2" rebar) and the TRUE POINT OF BEGINNING;

Said tract or parcel contains 126,884 square feet or 2.913 acres.

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6/14/2022

THIS BLOCK RESERVED FOR COURT CLERK

ZONING: R-75 (PARCELS 3 & 4)

SETBACKS
FRONT = 30'
SIDE = 10'
REAR = 30'
MAX. BUILDING HEIGHT = 35'
MAX. LOT WIDTH = 75'
MAX. LOT DEPTH = 10,000 SQ. FT.

ADDRESS(S)
1171-1181, 1423 & 1427 LAWRENCEVILLE HIGHWAY
LAWRENCEVILLE, GEORGIA 30044

FLOOD NOTE

AS PER THE F.L.R.M. FLOOD INSURANCE RATE MAP FULTON
COUNTY COMMUNITY PANEL NO. 13134 C-08B7 DATED
SEPTEMBER 25, 2010, THIS PROPERTY IS NOT IN AN AREA
HAVING SPECIAL FLOOD HAZARDS.

BOUNDARY REFERENCES:

1. SUBJECT DEED BOOK 3389, PAGE 301
2. SUBJECT PLAT BOOK 106, PAGE 98
3. SEE ADJACENTS

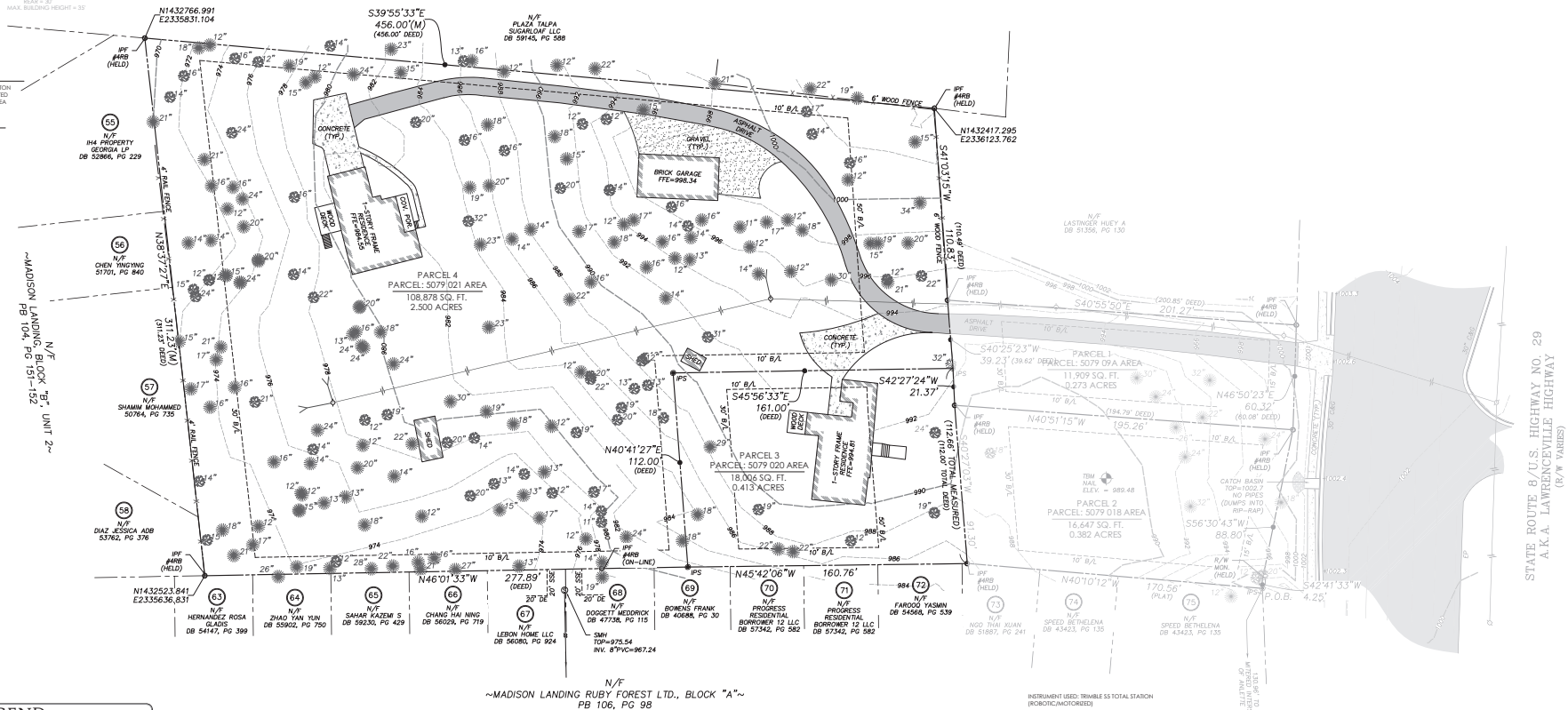
ZONING: C-1 (PARCELS 1 & 2)

SETBACKS
FRONT = 10'
SIDE = 10'
REAR = 30'
MAX. BUILDING HEIGHT = 35'

TOTAL SITE AREA	
155,440 SQ. FT.	
3.568 ACRES	
PARCEL 1	PARCEL 2
PARCEL: 5079 09A AREA	PARCEL: 5079 01B AREA
11,909 SQ. FT.	16,647 SQ. FT.
0.273 ACRES	0.382 ACRES
PARCEL 3	PARCEL 4
PARCEL: 5079 020 AREA	PARCEL: 5079 021 AREA
18,006 SQ. FT.	108,878 SQ. FT.
0.413 ACRES	2.500 ACRES

TOTAL AREA TO BE
REZONED
126,884 SQ. FT.
2.913 ACRES

ALL BEARINGS ARE CALCULATED FROM
ANGLES TURNED, AND ARE BASED ON
NAD83 GEORGIA WEST ZONE



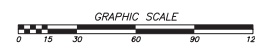
TREE LEGEND

- EX. HARDWOOD TREE
- PINE TREE

LEGEND

- | | | | |
|--------|-----------------------|---|---------------------------|
| IPF | IRON PIN FOUND | — | PROPERTY LINE |
| 1/2" | REBAR SET | — | TELEPHONE LINE |
| CMP | CORRUGATED METAL PIPE | — | GAS LINE |
| R/W | RIGHT OF WAY | — | WATER LINE |
| 6" | CENTER LINE | — | SAINTARY SINKER LINE |
| FES | FLARED END SECTION | — | POWER LINE |
| T.B.M. | TEMPORARY BENCHMARK | — | FIRE DEPT. LINE |
| LEV. | LEVEL ELEVATION | — | CRIMP TOP PIPE |
| MANH. | MANHOLE | — | REBAR FOUND |
| SMH | SEWER MANHOLE | — | SEWER FOUND |
| LEV. | LEVEL ELEVATION | — | SAINTARY SINKER MANHOLE |
| LEV. | LEVEL ELEVATION | — | POWER POLE |
| LEV. | LEVEL ELEVATION | — | FIRE HYDRANT |
| LEV. | LEVEL ELEVATION | — | LIGHT POLE |
| LEV. | LEVEL ELEVATION | — | IRRIGATION CONTROL VALVE |
| LEV. | LEVEL ELEVATION | — | GEORGIA POWER MANHOLE LID |
| LEV. | LEVEL ELEVATION | — | TELE. COMM. MANHOLE LID |
| LEV. | LEVEL ELEVATION | — | GAS VALVE |
| LEV. | LEVEL ELEVATION | — | BENCHMARK |
| LEV. | LEVEL ELEVATION | — | IRON PIN FOUND |

~MADISON LANDING RUBY FOREST LTD., BLOCK "A"~
PB 106, PG 98



INSTRUMENT USED: TRIMBLE SS TOTAL STATION
(ROBOTIC/MOTORIZED)
WORK PERFORMED ON FEBRUARY
28, 2022.
THE DATA SHOWN ON THIS PLAT HAS
BEEN CALCULATED FOR CLOSURE
AND WAS FOUND TO BE ACCURATE
WITHIN ONE FOOT IN 1,500.00 FEET.
THE FIELD DATA UPON WHICH THIS
PLAT IS BASED HAS A CLOSURE
PRECISION OF ONE FOOT IN 15,117
FEET AND AN ANGULAR ERROR OF 15"
PER ANGLE AND WAS ADJUSTED BY
COMPOUND RULE.
THE SURVEY WAS MADE WITHOUT THE
BENEFIT OF A CURRENT TITLE
COMMITMENT. EASEMENTS AND
ENCUMBRANCES MAY EXIST WHICH
BENEFIT AND BURDEN THE PROPERTY.

SURVEYOR'S CERTIFICATION

THIS PLAT IS A RESTATEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT
RENDER OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY
BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENT, MAP, PLAT, OR OTHER
INSTRUMENT WHICH CREATED THE PARCEL OR PARCELS IS BEING RECORDED. RECORDED
OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF
PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR
ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR
CERTIFIES THAT THE PLAT COMPLES WITH THE HIGHEST TECHNICAL STANDARDS FOR
PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE
GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS
AND AS SET FORTH IN THE O.C.G.A. SECTION 15-6-67.



BOUNDARY, TOPOGRAPHIC, TREE & UTILITY SURVEY for
APC CONTRACTORS
(PERMITTING MUNICIPALITY: GWINNETT COUNTY)

REVISIONS:

PARCELS: 5079 09A, 5079 01B, 5079 020 & 5079 021
LAND LOT 79, 5th DISTRICT
GWINNETT COUNTY, GEORGIA
DATE: 03/09/2022 SCALE: 1"= 30'

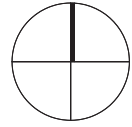
MERIDIAN GEOMATICS, LLC
Land Surveying ~ Residential, Commercial & Municipal

216 Powers Ferry Road
Marietta, Georgia 30067
phone: (770) 675-6197
surveyingatlanta@gmail.com

DRWN BY
J.M.C.
JOB NO.
2022-041

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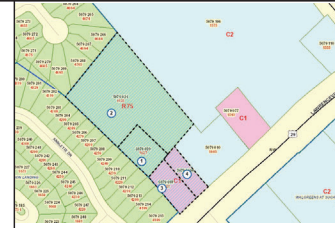
6/14/2022



EXISTING TREES
PROPOSE TREES

50' R/W

① Scheme - Architectural Site Plan
1" = 30'-0"



EXISTING ZONING

SITE DATA:

ADDRESS
1623, 1627, 1619, 1621 Lawrenceville Hwy, Lawrenceville, GA 30044

EXISTING ZONING:

- Lot 1623 & 1627 - R-75
- Lot 1621 & 1619 - C-1

PROPOSED ZONING:

FROM R-75 to R-TH zoning

City Req. Max Density for townhouses - 10 UNITS/ACRE

SETBACK REQUIREMENTS

Front: Min 10 Feet
Side: Min 20 Feet
Rear: Min 20 Feet

PROPOSED SETBACKS

Front: 50 Feet
Side: 30 Feet
Rear: 50 Feet

PROPERTY AREA:

Lot 1623 - 2.4936 Acres
Lot 1627 - 0.4133 Acres
Lot 1621 - 0.3797 Acres
Lot 1619 - 0.2753 Acres

Total = 3.5619 Acres

OPEN GREEN SPACE

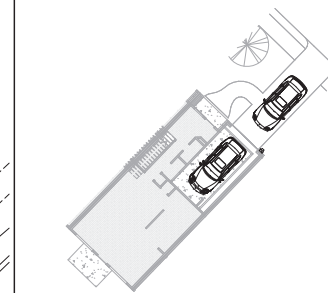
Property Area= 126,625 Sq. Ft.
Open space required= 20% = 126,625 Sq Ft x 0.20 = 25,325 Sq. Ft.

Open Space Central Area = 6,402 Sq. Ft.
Open Space Between Bldg = 4,050 Sq. Ft.
Open Green area at end of bldg = 17,924 Sq. Ft.
TOTAL = 28,376 Sq. Ft.

INTERIOR STREETS DATA:

INTERIOR STREETS AREA= 24,328 sq ft

INTERIOR STREETS= 24'-0" WIDTH (2 WAYS)
= 12'-0" WIDTH (1 WAY)



② Typical Parking - Units
1" = 180'

SITE NOTES:

- See photometric plan by civil engineer for site lighting layouts.
- All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
- All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
- Building sign number (post address) shall be min. 10" number with color contrasting from background.
- Owner responsible for ensuring the lighting meets DCA requirements.

TREES ARE FOR REFERENCE ONLY

UNIT LOT COVERAGE

R-TH MAXIMUM LOT COVERAGE = Max. 60%

IMPERVIOUS SURFACE PROPOSED
RESIDENTIAL UNITS= 29

MAIN LEVEL FLOOR: 30,508 Sq. Ft.
FRONT PORCH: 986 Sq. Ft.
BACK PORCH: 1,740 Sq. Ft.
SIDEWALK EXTERIOR: 1,881 Sq. Ft.
SIDEWALK GREEN AREA: 20,43 Sq. Ft.
DRIVEWAYS: 9,495 Sq. Ft.
INTERIOR STREETS & PARKING: 19,571 Sq. Ft.
TOTAL PROPOSED IMPERVIOUS= 66,224 Sq. Ft.

CALCULATION LOT COVERAGE= 66,224 Sq. Ft. / 126,624 Sq. Ft. = 0.52%

UNIT SITE DEVELOPMENT

TOTAL UNITS - 29 Units - 3 Beds

RESIDENTIAL LOTS 1623 & 1627
Total Area = 2.9069 Acres

Max Density For Townhouses
Total Units = 29 Units
Calculation= 29/2.906 = 10 Unit/Ac

HEATED AND UNHEATED CALCULATION:

HEATED AREA

(1 UNIT) = 1,700 sq ft
(29 UNIT) = 49,300 sq ft

UNHEATED AREA (GARAGE)

(1 UNIT) = 263 sq ft
(29 UNIT) = 7,627 sq ft

UNHEATED AREA (PORCH AND BALCONY)

(1 UNIT) = 157 sq ft
(29 UNIT) = 4,553 sq ft

TOTAL AREA

(1 UNIT) = 2,199 sq ft
(29 UNIT) = 63,771 sq ft

FOOTPRINT PER UNIT = 1,052 sq ft

UNIT PARKING RATIO

DWELLING UNITS= 29

REQUIRED SPACE= 3 per Dwelling
REQUIRED VISITOR= 0.25 per Dwelling
TOTAL REQUIRED= 95

TOTAL PROPOSED SPACES = 96

PARALLEL PARKING= 28
PARKING LOT= 10
PARKING PER DWELLING= 2

FOOTPRINT PER BUILDING

BLDG. #100 - 8 UNITS = 8,572 sq ft
BLDG. #200 - 7 UNITS = 7,462 sq ft
BLDG. #300 - 8 UNITS = 8,560 sq ft
BLDG. #400 - 6 UNITS = 6,413 sq ft

TOTAL 29 UNITS = 31,007 sq ft

PROJECT BUILDING DATA TABLE

Building Number	Stories	3 bed per Unit	Total Units per building	Total Gross SF per Building	Total Beds per Building
100	2-Story	8	8	8,572	24
200	2-Story	7	7	7,462	21
300	2-Story	8	8	8,560	24
400	2-Story	6	6	6,413	18
TOTALS		29	29	31,007	87

Plans to be printed on sheet Arch D 24" x 36"

APC
CONTRACTORS, INC.
EXPERIENCE - QUALITY - DEDICATION

DISCLAIMER:
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GRAND LUXE TOWNHOMES
1623, 1627, 1619, 1621 Lawrenceville Hwy,
Lawrenceville, GA 30044

SEAL

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REVISION

No.	Description	Date

PROJECT NUMBER: 2020-03

SHEET TITLE

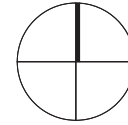
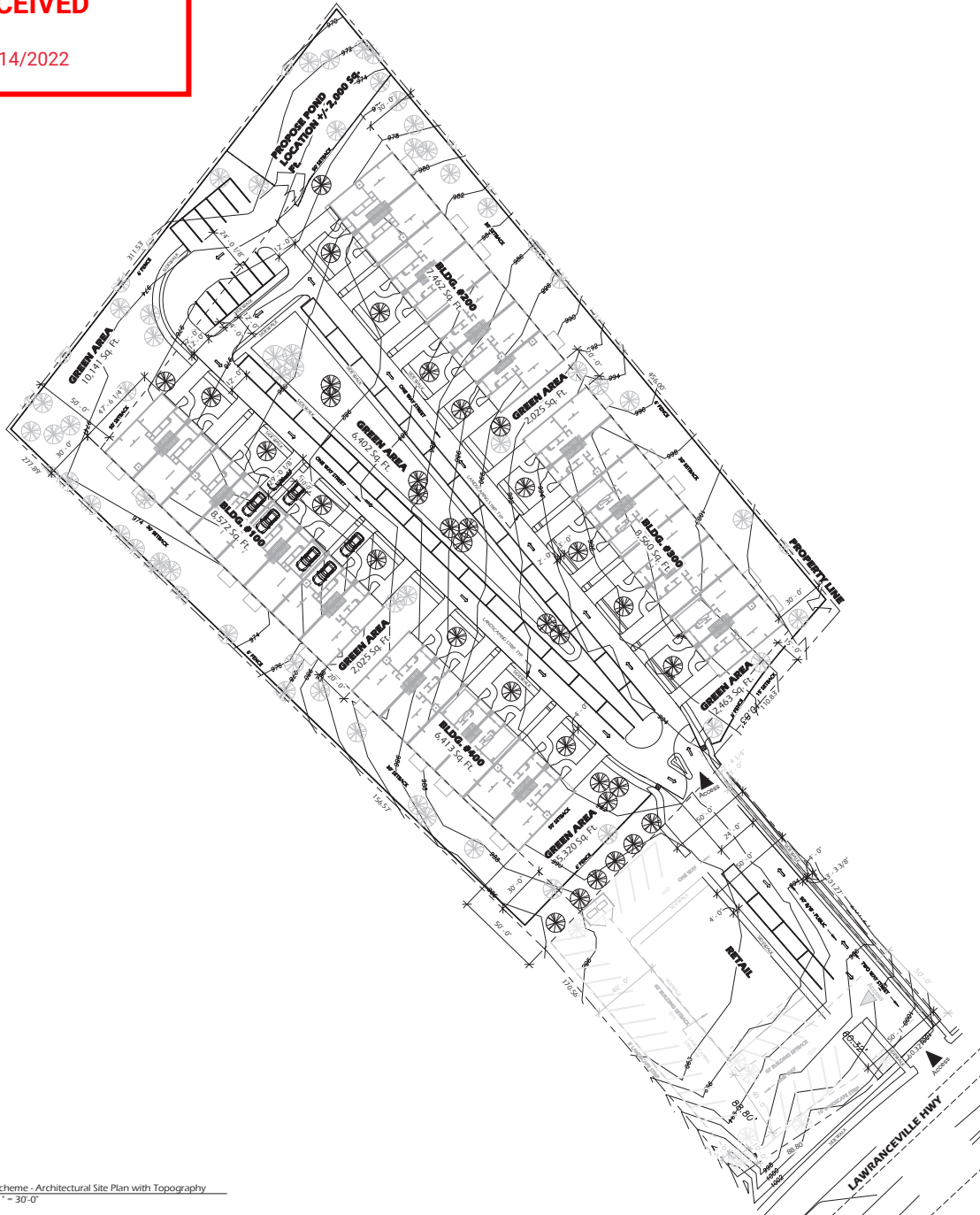
SITE PLAN -
BUILDING
INFO

SHEET No.

AS101

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SITE NOTES:

1. See photometric plan by civil engineer for site lighting layouts.
2. All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
3. All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
4. Building sign number (post address) shall be min. 10" number with color contrasting from background.
5. Owner responsible for ensuring the lighting meets DCA requirements.

TREES ARE FOR REFERENCE ONLY

SITE DATA:

ADDRESS
1623, 1627, 1619, 1621 Lawrenceville Hwy,
Lawrenceville, GA 30044

EXISTING ZONING:
• Lot 1623 & 1627 - **R-75**
• Lot 1621 & 1619 - **C-1**

PROPOSED ZONING:
FROM **R-75** to **R-TH** zoning

City Req. Max Density for townhouses -
10 UNITS/ACRE

SETBACK REQUIREMENTS

Front: Min 10 Feet
Side: Min 20 Feet
Rear: Min 20 Feet

PROPOSE SETBACKS
Front: 50 Feet
Side: 30 Feet
Rear: 50 Feet

PROPERTY AREA:

Lot 1623 - 2.4936 Acres
Lot 1627 - 0.4133 Acres
Lot 1621 - 0.3797 Acres
Lot 1619 - 0.2753 Acres

Total = 3.5619 Acres

OPEN GREEN SPACE

Property Area - 1,263,24 Sq. Ft.
Open space required - 20% - 126,321 Sq. Ft. x
0.20 = 25,264.2 Sq. Ft.

Open Space Central Area - 6,402 Sq. Ft.
Open Space Between Bldg - 4,050 Sq. Ft.
Open Green area at end bldgs - 17,924 Sq. Ft.
TOTAL = 28,376 Sq. Ft.

INTERIOR STREETS DATA:

INTERIOR STREETS AREA - 24,328 sq ft

INTERIOR STREETS - 24'-0" WIDTH (2 WAYS)
- 12'-0" WIDTH (1 WAY)

UNIT LOT COVERAGE

R-TH MAXIMUM LOT COVERAGE - Max. 60%

IMPERVIOUS SURFACE PROPOSED
RESIDENTIAL UNITS - 29

MAIN LEVEL FLOOR: 30,508 Sq. Ft.
FRONT PORCH: 986 Sq. Ft.
BACK PORCH: 1,740 Sq. Ft.
SIDEWALK EXTERIOR: 1,881 Sq. Ft.
SIDEWALK GREEN AREA: 20.43 Sq. Ft.
DRIVEWAYS: 9,495 Sq. Ft.
INTERIOR STREETS & PARKING: 19,571 Sq. Ft.
TOTAL PROPOSED IMPERVIOUS -

UNIT SITE DEVELOPMENT

TOTAL UNITS - 29 Units - 3 Beds

RESIDENTIAL LOTS 1623 & 1627
Total Area - **2.9069 Acres**

Density For Townhouses
Total Units - **29 Units**
Calculation - 29/2.906 - **10 Unit/Ac**

HEATED AND UNHEATED CALCULATION:

HEATED AREA
(1 UNIT) - 1,700 sq ft
(29 UNIT) - 49,300 sq ft

UNHEATED AREA (GARAGE)
(1 UNIT) - 263 sq ft
(29 UNIT) - 7,627 sq ft

UNHEATED AREA (PORCH AND BALCONY)
(1 UNIT) - 157 sq ft
(29 UNIT) - 4,553 sq ft

TOTAL AREA
(1 UNIT) - 2,199 sq ft
(29 UNIT) - 63,771 sq ft

FOOTPRINT PER UNIT - 1,052 sq ft

UNIT PARKING RATIO

UNITS - 29

REQUIRED SPACE - 3 per Dwelling
REQUIRED VISITOR - 0.25 per Dwelling
TOTAL REQUIRED - 95

PROVIDE SPACE - 95

FOOTPRINT PER BUILDING:

BLDG #100 - 8 UNITS - 8,572 sq ft
BLDG #200 - 7 UNITS - 7,462 sq ft
BLDG #300 - 8 UNITS - 8,560 sq ft
BLDG #400 - 6 UNITS - 6,413 sq ft

TOTAL 29 UNITS = 31,007 sq ft

RETAIL SITE DEVELOPMENT

LOTS 1621 & 1619
Total Area - **0.622 Acre**

FOOTPRINT
1 RESTAURANT - **4,400 Sq. Ft.**

RETAIL LOT COVERAGE

C-1 MAXIMUM LOT COVERAGE - Max 85%
RETAIL IMPERVIOUS SURFACE PROPOSED
= 4,766 Sq. Ft.

MAIN LEVEL FLOOR: 4,400 Sq. Ft.
OUTDOOR PATIO: 366 Sq. Ft.
SIDEWALK EXTERIOR: 2,391 Sq. Ft.
INTERIOR STREETS & PARKING: 15,723 Sq. Ft.
TOTAL PROPOSED IMPERVIOUS - 22,890 Sq. Ft.

CALCULATION LOT COVERAGE - 22,890 Sq. Ft. / 27,094.32 Sq. Ft. - **84%**

RETAIL PARKING

REQUIRED SPACE - Min 1 per 150 Sq. Ft.
RESTAURANT GROSS SQ. FT - 8,036 Sq. Ft.

PROVIDE SPACE - 37



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REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

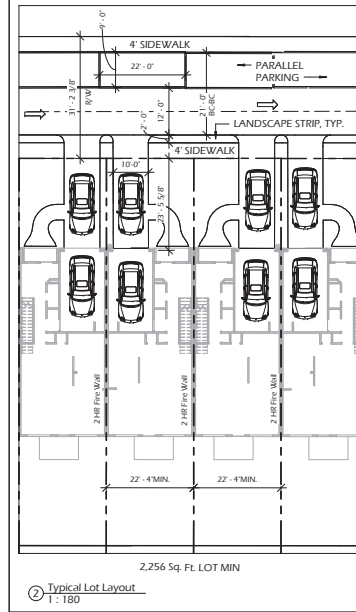
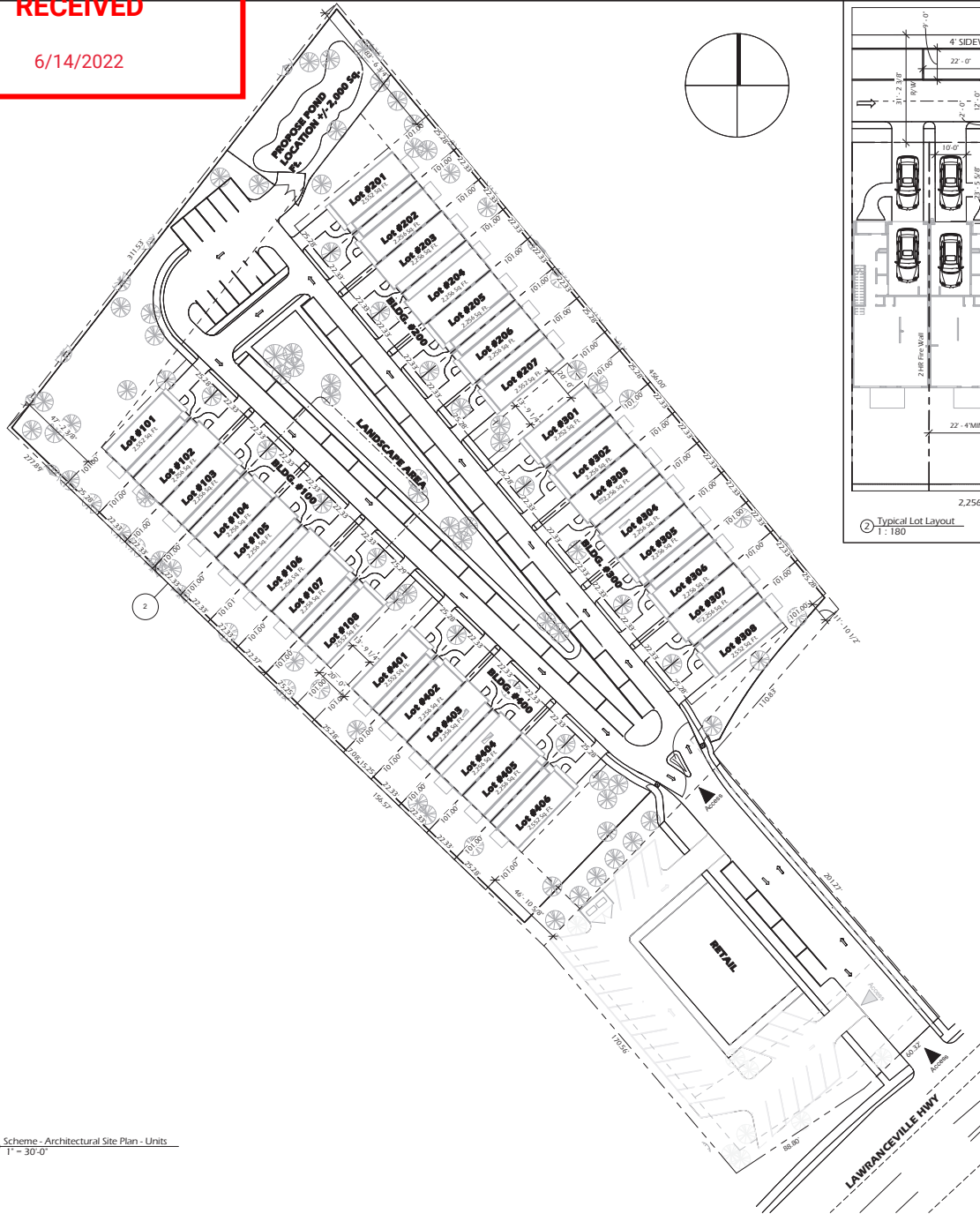
**PROPOSE
SITE PLAN -
TOPO**

SHEET No.

AS102

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SITE NOTES:

1. See photometric plan by civil engineer for site lighting layouts.
2. All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
3. All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
4. Building sign number (post address) shall be min. 10' number with color contrasting from background.
5. Owner responsible for ensuring the lighting meets DCA requirements.

PROJECT BUILDING DATA TABLE					
Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
100	Lot 101	A	End	Per Plan	2,579 Sq. Ft.
	Lot 102	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 103	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 104	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 105	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 106	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 107	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 108	B	End	Mirrored	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE					
Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
200	Lot 201	B	End	Mirrored	2,579 Sq. Ft.
	Lot 202	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 203	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 204	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 205	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 206	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 207	A	End	Per Plan	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE					
Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
300	Lot 301	B	End	Mirrored	2,579 Sq. Ft.
	Lot 302	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 303	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 304	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 305	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 306	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 307	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 308	A	End	Per Plan	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE					
Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
400	Lot 401	B	End	Per Plan	2,579 Sq. Ft.
	Lot 402	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 403	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 404	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 405	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 406	B	End	Mirrored	2,579 Sq. Ft.



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PROJECT NUMBER: 2020-03

SHEET TITLE

LOT
LAYOUT

SHEET No.

AS103

Plans to be printed on sheet Arch D 24" x 36"

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PROJECT NUMBER 2020-03

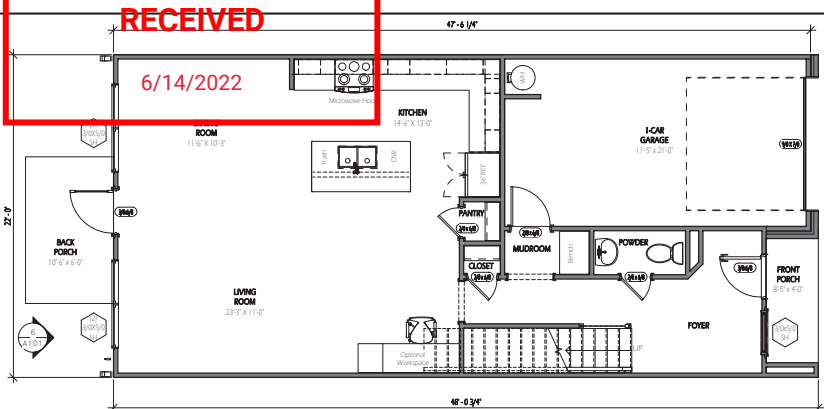
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COVER SHEET

SHEET No.

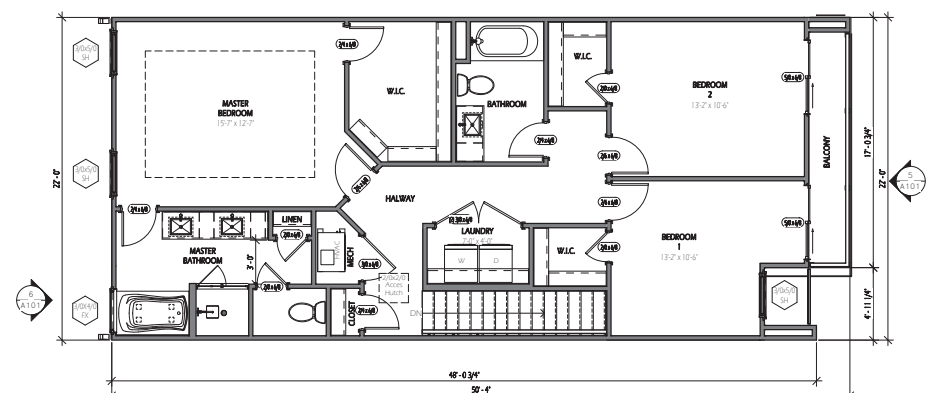
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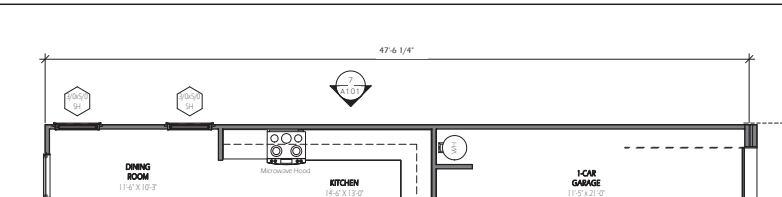
6/14/2022



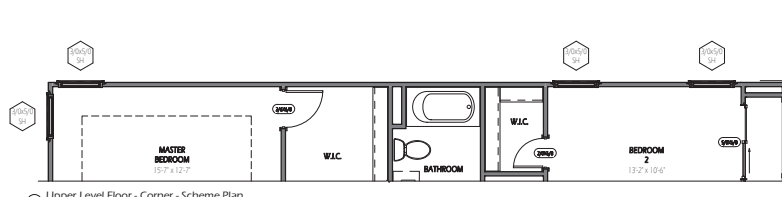
1 Main Level Floor - Scheme Plan
1/4" = 1'-0"



2 Upper Level Floor - Scheme Plan
1/4" = 1'-0"



3 Main Level Floor - Corner - Scheme Plan
1/4" = 1'-0"

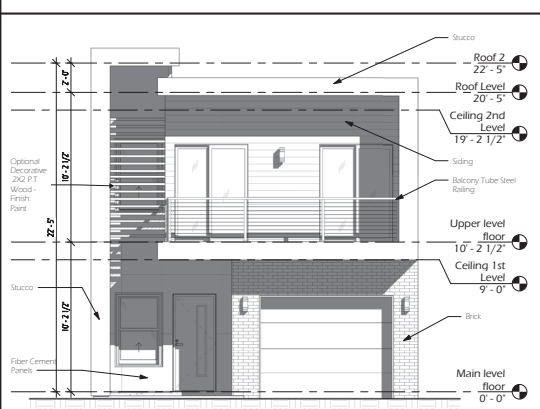


4 Upper Level Floor - Corner - Scheme Plan
1/4" = 1'-0"

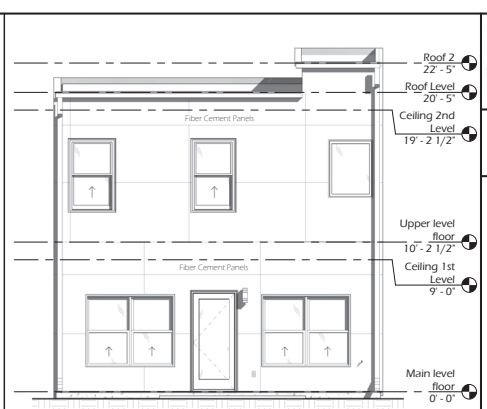
HEAT SQ. FT.	
Name	Area
Main Level	739 SF
Upper Level	961 SF
TOTAL	1700 SF

GROSS SQ. FT.	
Name	Area
Main level floor	777 SF
Main Level	259 SF
1-Car Garage	61 SF
Back Porch	38 SF
Front Porch	38 SF
Main level floor	1135 SF

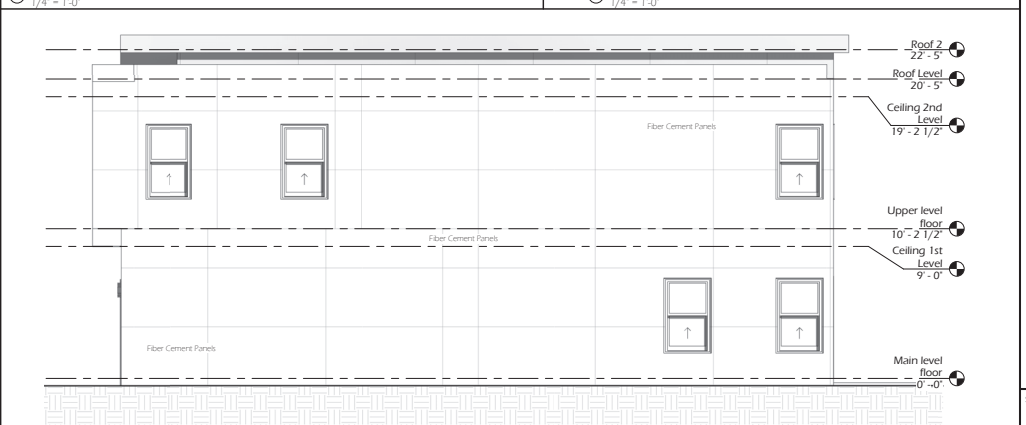
Upper level floor	
Upper Level	1001 SF
Balcony	53 SF
Upper level floor	1053 SF
TOTAL	2188 SF



5 SCHEME - Front elevation
1/4" = 1'-0"



6 SCHEME - Back Elevation
1/4" = 1'-0"



7 Side Elevation - Model A
1/4" = 1'-0"



FRONT VIEW



CORNER VIEW

Plans to be printed on sheet Arch D 24" x 36"



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The Luxe
Townhomes at 1623, 1627, 1619 Lawrenceville Hwy, Lawrenceville, Ga 30044

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REVISION		
No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

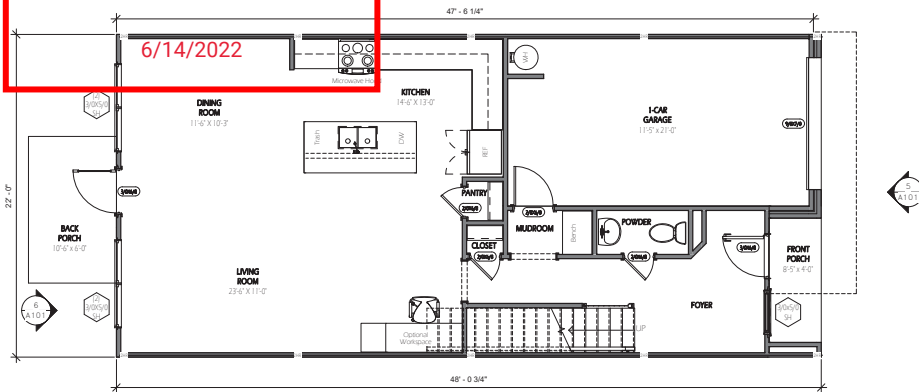
Model A -
Unit Floor
Plans

SHEET No.

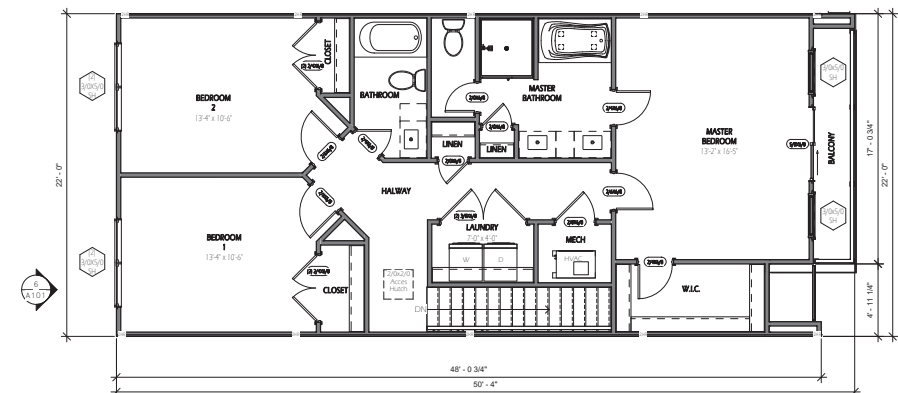
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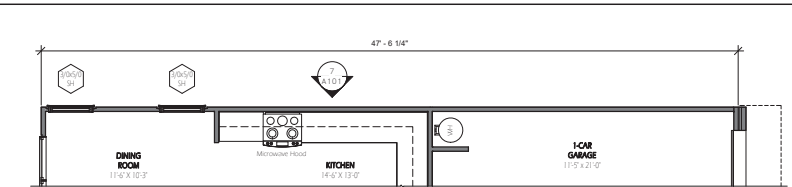
6/14/2022



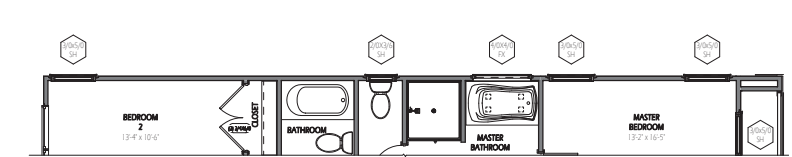
① Main Level Floor - Scheme Plan
1/4" = 1'-0"



② Upper Level Floor - Scheme Plan
1/4" = 1'-0"



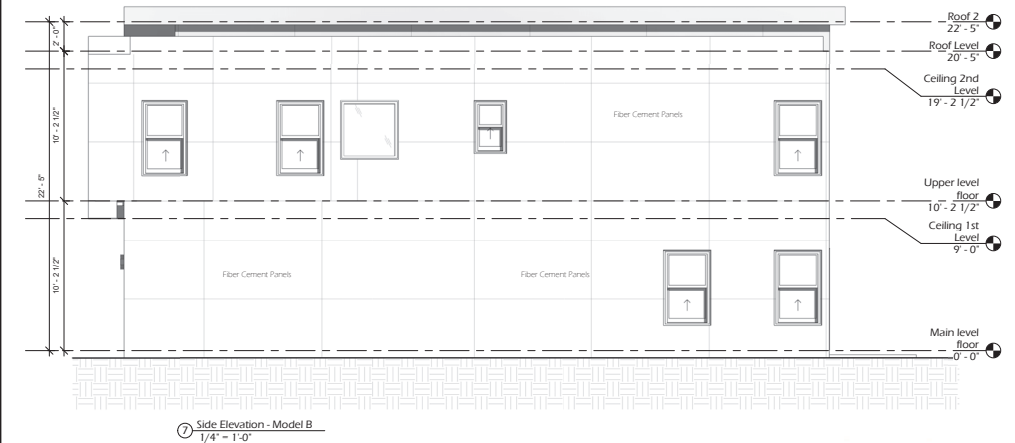
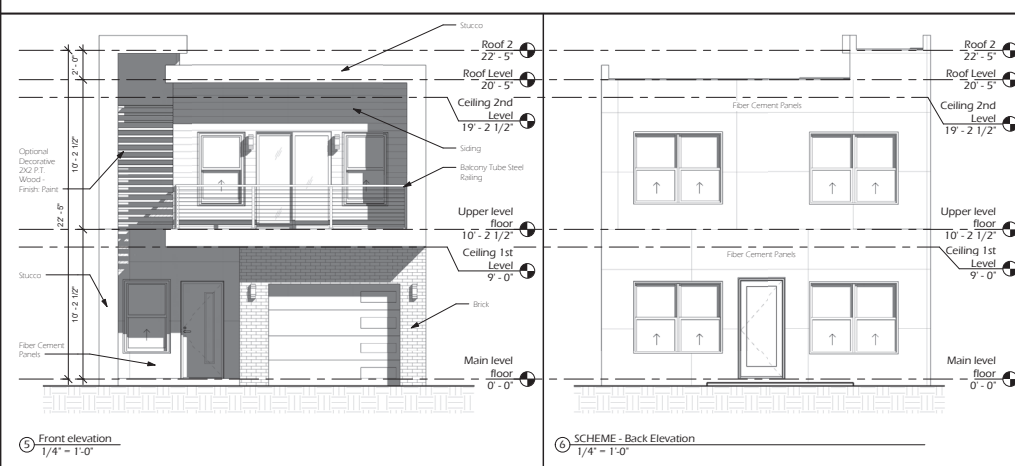
③ Main Level Floor - Corner - Scheme Plan
1/4" = 1'-0"



④ Upper Level Floor - Corner - Scheme Plan
1/4" = 1'-0"

HEAT SQ. FT.	
Name	Area
Main Level	777 SF
1-Car Garage	250 SF
Upper Level	165 SF
TOTAL	1782 SF

GROSS SQ. FT.	
Name	Area
Main level floor	777 SF
Main Level	777 SF
1-Car Garage	250 SF
Back Porch	61 SF
Front Porch	38 SF
Main level floor	1135 SF
Upper level floor	1001 SF
Upper Level	953 SF
Balcony	106.3 SF
Upper level floor	2188 SF
TOTAL	



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The Luxe
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REVISION		
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PROJECT NUMBER: 2022-02

SHEET TITLE

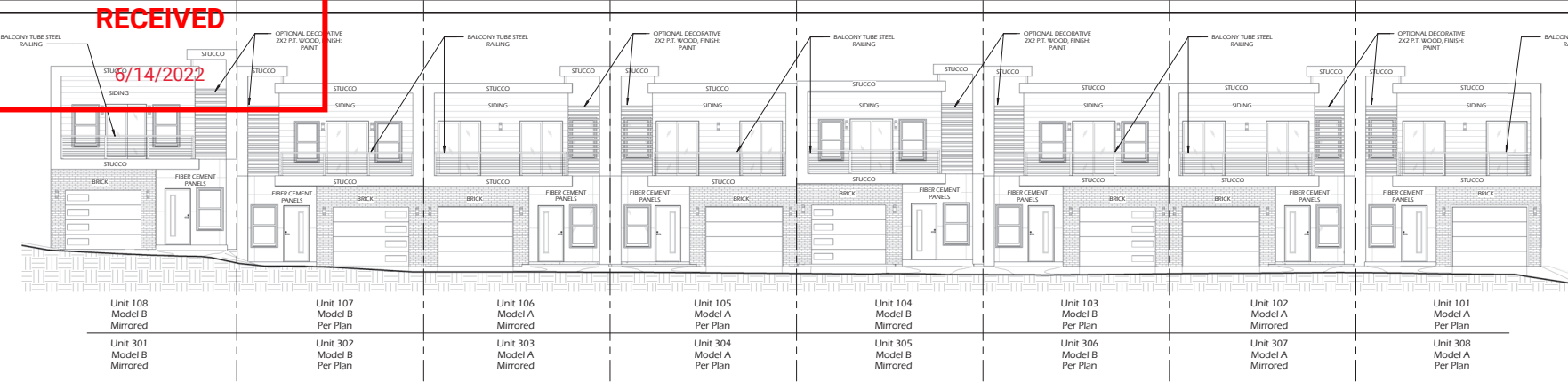
Model B - Unit
Floor Plans

SHEET No.

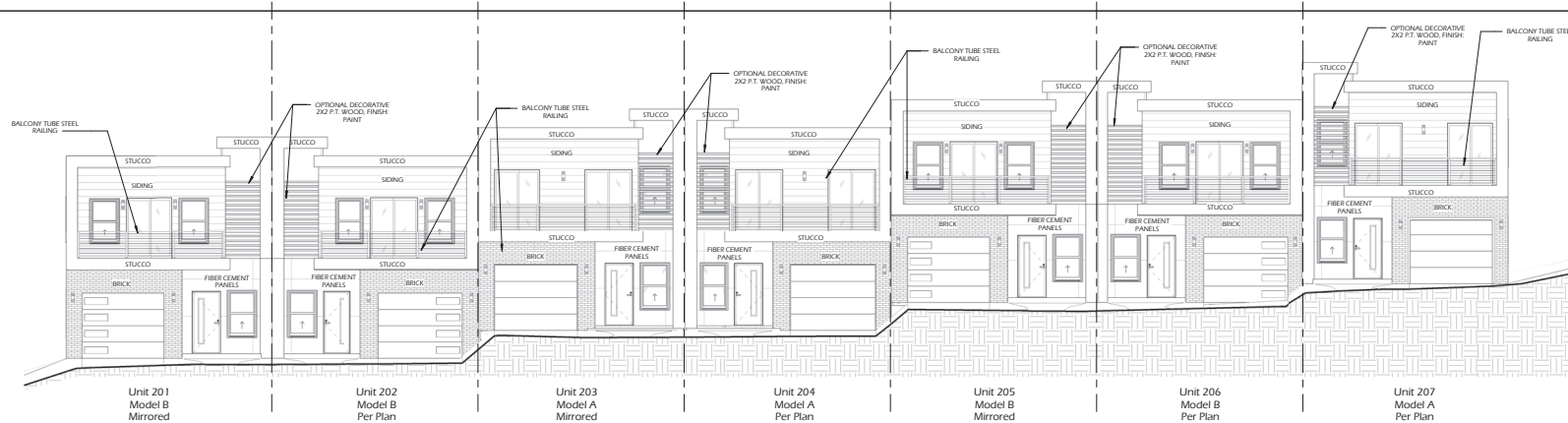
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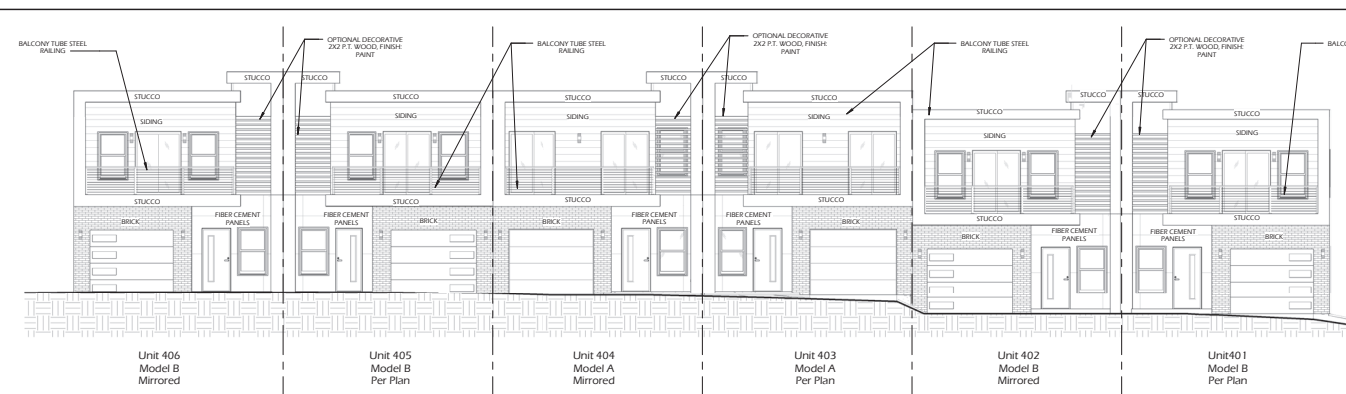
6/14/2022



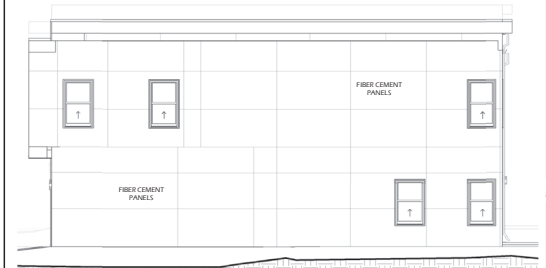
① EXTERIOR FRONT ELEVATION - BLDG #100, 300
1:75



② EXTERIOR FRONT ELEVATION - BLDG #200
1:75



③ EXTERIOR FRONT ELEVATION - BLDG #400
1:75



④ TYPICAL BLDG END - MODEL A UNIT
1:75

Plans to be printed on sheet Arch D 24" x 36"

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No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

BUILDING
ELEVATIONS

SHEET No.

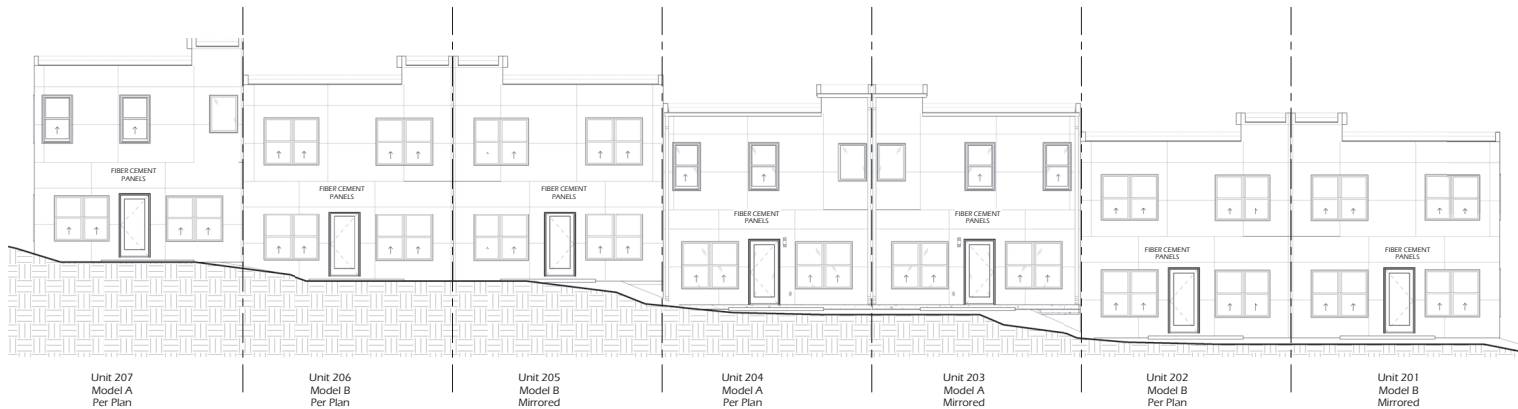
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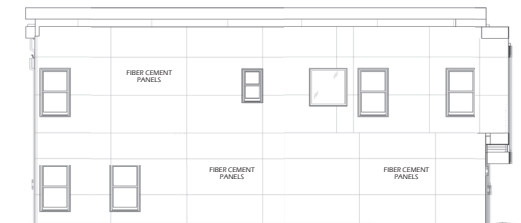
① EXTERIOR BACK ELEVATION - BLDG #100, 300
1:75



② EXTERIOR BACK ELEVATION - BLDG #200
1:75



③ EXTERIOR BACK ELEVATION - BLDG #400
1:75



④ TYPICAL BLDG END - MODEL B UNIT
1:75

Plans to be printed on sheet Arch D 24" x 36"

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REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

BUILDING
ELEVATION

SHEET No.

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MEXICAN RESTURANT

LAWRENCEVILLE HIGHWAY

APPLICABLE CODE INFORMATION

- International Building Code, 2012 Edition, with Georgia Amendments (2014) (2015) (2016)
- International Residential Code, 2012 Edition, with Georgia Amendments (2014) (2015)



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PROJECT INFORMATION

The drawings herein are provided to detail the construction to a commercial building.

The new construction will provided 4,500 heated square feet.

SITE AERIAL PLAN

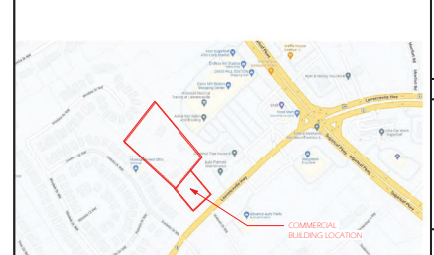


MEXICAN RESTURANT
1621 & 1619 Lawrenceville Hwy

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SITE LOCATION PLAN



Plans to be printed on sheet Arch D 24" x 36"

REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

COVER SHEET

SHEET No.

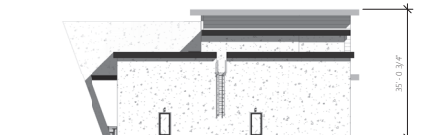
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NOTE: Renderings are for illustrative purposes only and should not be used as a guide to or an interpretation of the construction documents.

HEIGHT CALCULATIONS



① Restaurant Front Elevation 2 - a Copy 1
1/16" = 1'-0"

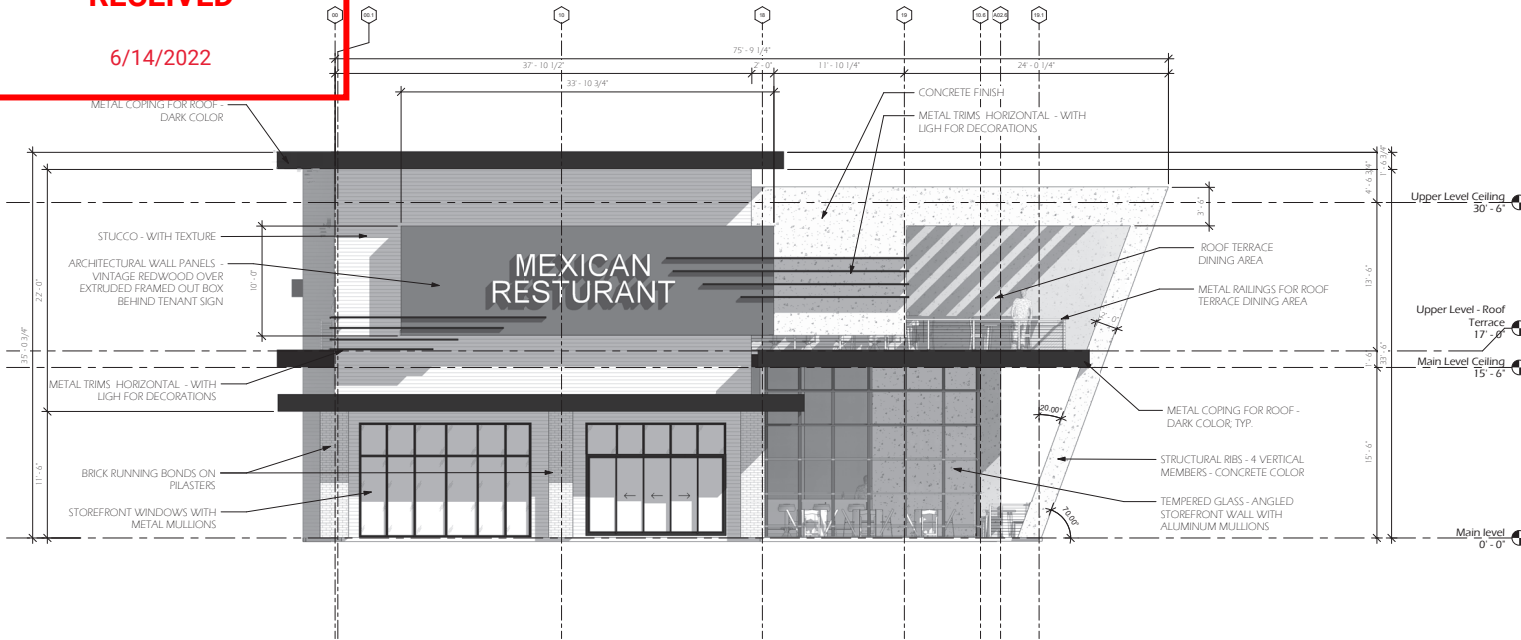


② Restaurant Rear Elevation 2 - c Copy 1
1/16" = 1'-0"

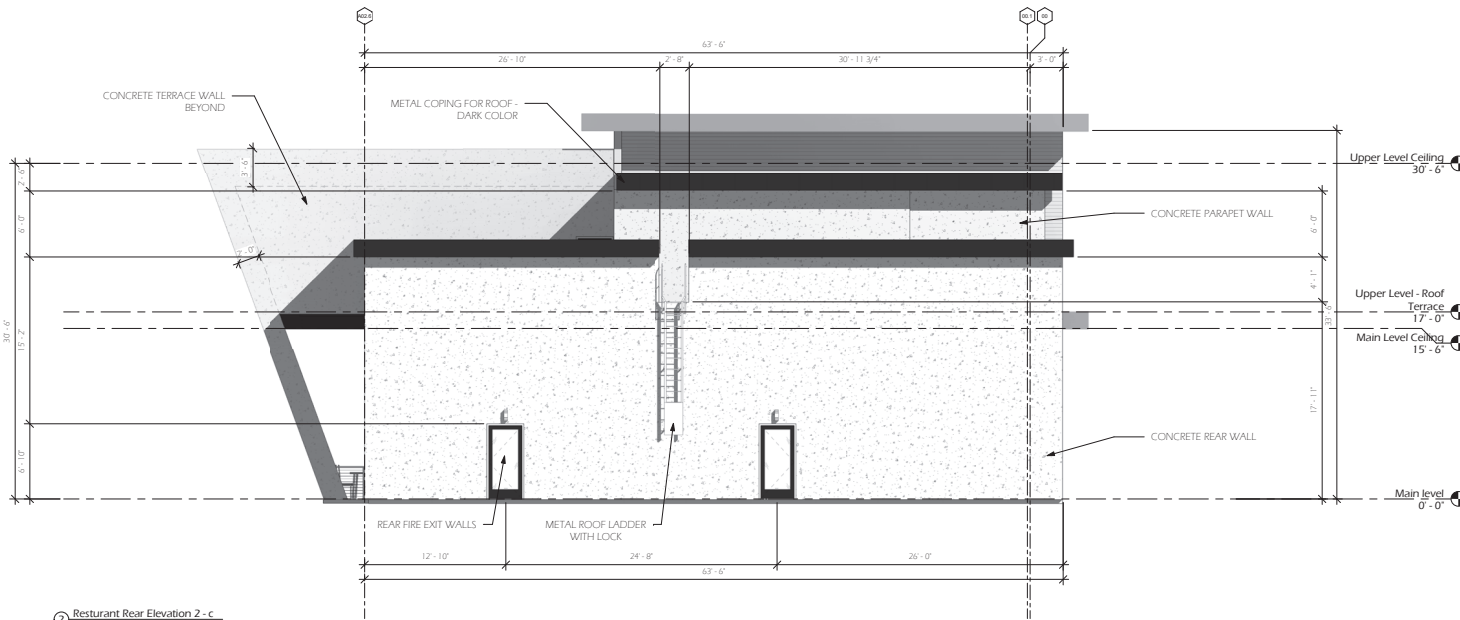


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① Restaurant Front Elevation 2 - a
3/16" = 1'-0"



② Restaurant Rear Elevation 2 - c
3/16" = 1'-0"

GENERAL NOTES

1. All dimensions are taken from the core face of the wall.
2. Contractor to verify all dimensions & Existing site conditions prior to construction.
3. Door & Window sizes area given in feet and inches in width and height respectively
4. Contractor shall verify all interior finishes, floor coverings, and trim sizes & configurations with owner prior to construction.
5. It is the sole responsibility of the contractor to verify clearances of the items mentioned above prior to construction.
6. Refer to exterior elevations for exterior wall finishes.
7. Refer to Door schedule for dimensions and finishes.
8. Refer to Window schedule for dimension and construction.
9. All beam sizes to be verified by structural engineer.
10. Contractor shall make all necessary modifications during construction process to comply with I.R.C. (International residential code), Latest edition, or applicable codes at site.
11. R308.4.6 Glazing adjacent stairs and ramps note: Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered a hazardous location.



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MEXICAN RESTAURANT
1621 & 1619 Lawrenceville Hwy

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No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

ELEVATIONS

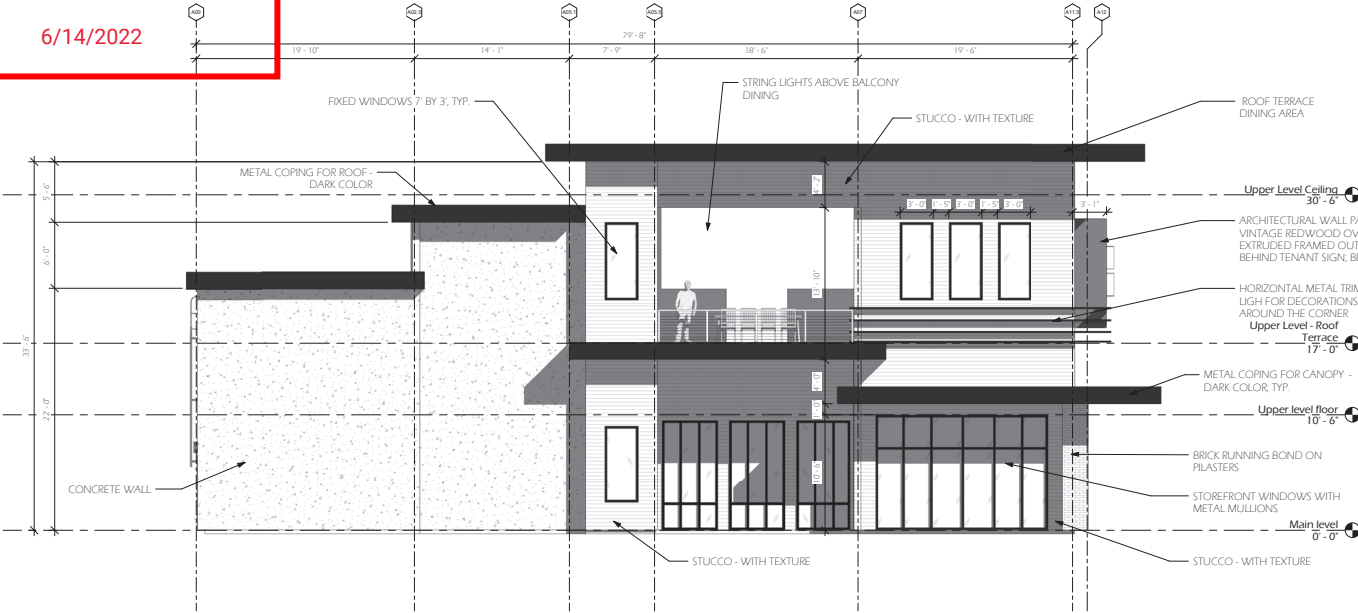
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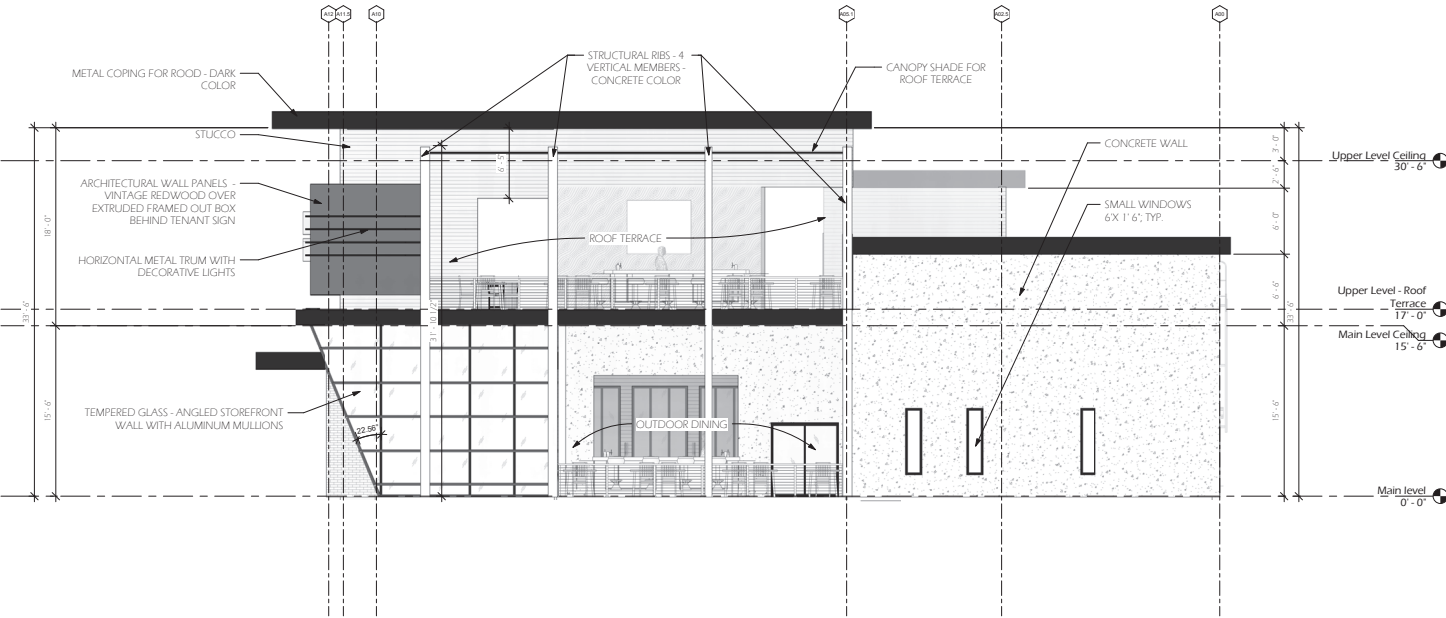
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1 Restaurant Left Side Elevation 3-b
3/16" = 1'-0"



2 Restaurant Right Side Elevation 2-d
3/16" = 1'-0"

GENERAL NOTES

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3. Door & Window sizes area given in feet and inches in width and height respectively
4. Contractor shall verify all interior finishes, floor coverings, and trim sizes & configurations with owner prior to construction.
5. It is the sole responsibility of the contractor to verify clearances of the items mentioned above prior to construction.
6. Refer to exterior elevations for exterior wall finishes.
7. Refer to Door schedule for dimensions and finishes.
8. Refer to Window schedule for dimension and construction.
9. All beam sizes to be verified by structural engineer.
10. Contractor shall make all necessary modifications during construction process to comply with I.R.C. (International residential code), Latest edition, or applicable codes at site.
11. R308.4.6 Glazing adjacent stairs and ramps note: Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered a hazardous location.



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MEXICAN RESTAURANT
1621 & 1619 Lawrenceville Hwy

SEAL

PRELIMINARY

Not for construction
Not for permitting
For preview ONLY

REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

ELEVATIONS

SHEET No.

A3.1

Plans to be printed on sheet Arch D 24" x 36"