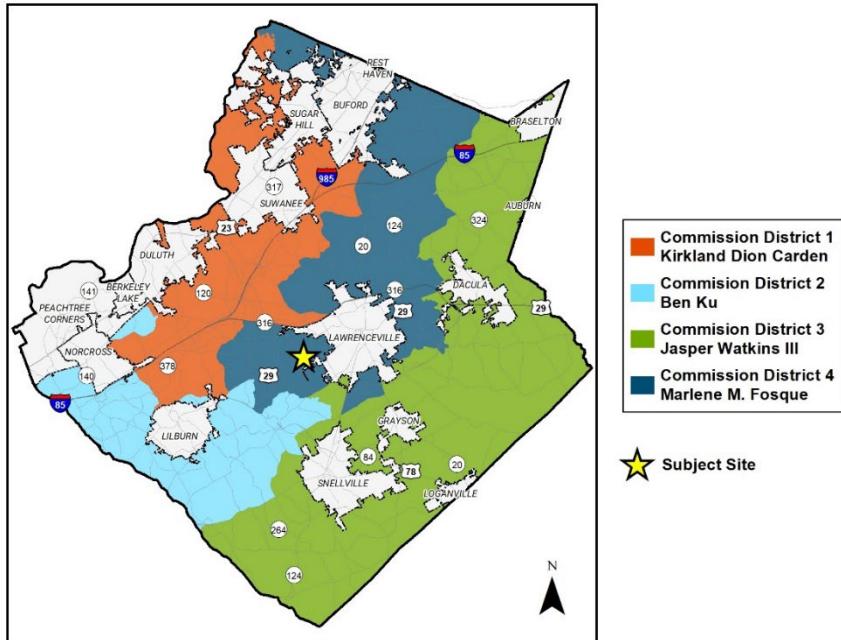




## PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

<b>Case Number:</b>	RZM2022-00034
<b>Current Zoning:</b>	<b>R-75</b> (Single Family Residence)
<b>Request:</b>	Rezoning to <b>R-TH</b> (Single-Family Residence Townhouse District)
<b>Additional Request:</b>	Variance
<b>Address:</b>	1623 and 1627 Lawrenceville Highway
<b>Map Number:</b>	R5079 020 and 021
<b>Site Area:</b>	2.91 acres
<b>Units:</b>	29
<b>Proposed Development:</b>	Townhouses
<b>Commission District:</b>	District 4 - Commissioner Fosque*
<b>Character Area:</b>	Community Mixed Use
<b>Staff Recommendation:</b>	<b>APPROVAL WITH CONDITIONS</b>
<b>Planning Commission Recommendation:</b>	<b>APPROVAL WITH CONDITIONS</b>



\* Commission District 1 effective January 1, 2022

**Applicant:** APC Contractors, Inc.  
c/o Alliance Engineering and Planning  
299 South Main Street  
Alpharetta, GA 30009

**Owner:** Efren Pelayo and  
Martha Ofelia Pelayo  
1623 Lawrenceville Highway  
Lawrenceville, GA 30044

**Contact:** Tyler Lasser

**Contact Phone:** 770.225.4730

## Zoning History

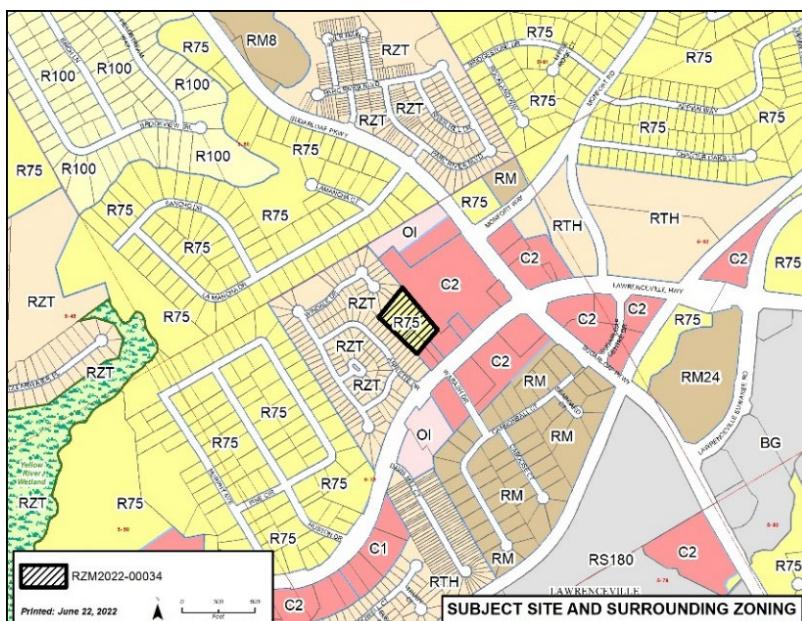
The subject property is zoned R-75 (Single-Family Residence). No prior rezoning requests are on record for the property.

## Existing Site Condition

The subject site is a 2.91-acre assemblage of two land locked parcels located along the north side of Lawrenceville Highway, west of its intersection with Sugarloaf Parkway. Both parcels contain single-family homes with mature vegetation. The larger parcel (R5079 021) has a detached garage and two sheds. Both lots are situated behind 1621 and 1619 Lawrenceville Highway, which are both zoned C-1 and front Lawrenceville Highway. The site is accessed via a shared driveway on a commercially zoned parcel fronting Lawrenceville Highway. The site slopes downward from Lawrenceville Highway towards the northwest by approximately 28 feet. There is a sidewalk along Lawrenceville Highway along the property frontage. The nearest Gwinnett County Transit stop is approximately 0.65 miles from the site.

## Surrounding Use and Zoning

The subject site is surrounded by detached single-family homes and commercial uses. Directly adjacent to the west and north is Madison Landing subdivision, a single-family detached subdivision. Adjacent to the east is the Davis Mill Station multi-tenant shopping center. To the south, are two undeveloped commercially zoned parcels and an oil change service business. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Townhouses	R-TH	10 units per acre
North	Single-Family Residential	R-ZT	5 units per acre
East	Commercial	C-2	N/A
South	Undeveloped Commercial	C-2	N/A
West	Single-Family Residential	R-ZT	5 units per acre

## Project Summary

The applicant requests rezoning of a 2.91-acre site from R-75 to R-TH to construct a townhouse development, including:

- Twenty-nine single-family attached townhouse units, yielding a net density of 10 units per acre.
- Three-bedroom, 35-foot-tall, townhouses with a minimum heated floor area of 1,700 square feet.
- Single car garages and driveways for each unit allowing parking for two vehicles.
- Guest parking located in twenty-eight on-street parallel parking spaces and in a ten-space parking lot at the rear of the site.
- One full access entrance from Lawrenceville Highway through the adjacent commercial parcel, which will include a 50-foot-wide right-of-way to meet site access and road frontage requirements.
- Gate controlled vehicular access into the subdivision.
- 4-foot-wide sidewalks located on both sides of internal one-way streets connecting to the existing sidewalk along Lawrenceville Highway.
- A stormwater management facility located on the northern end of the site.
- Front facades consisting of a mixture of brick, fiber cement, siding, and stucco.
- A common area located in the center of the site surrounded by internal streets and on-street parking.

## Zoning and Development Standards

The applicant is requesting a rezoning to R-TH, Single-Family Residence Townhouse District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	35'	YES
Front Yard Setback	Minimum 10'	10'	YES
External Side Setback	Minimum 20'	20'	YES
External Rear Setback	Minimum 20'	>20'	YES
Off-Street Parking	Minimum 87 spaces Maximum 174 spaces	58 spaces	NO*
Guest Parking	Minimum 8 spaces	10	YES
Density	Maximum 10 units per acre	10 units per acre	YES
Common Area	Minimum 15% or 0.43 acres	0.65 acres	YES
Heated Floor Area	Minimum 1,200 square feet (3-Bedroom)	1,700 square feet	YES

## **Variance Request**

In addition to the rezoning request, the applicant is seeking a variance from the following provision of Title II of the UDO:

### **Section 240-20. - Parking Space Requirements:**

#### **A. *Minimum required parking spaces for residences (townhouses): 3 per dwelling unit***

The applicant proposes to reduce the required on-street parking spaces from 3 spaces per dwelling unit to 2 spaces per dwelling unit. The total proposed parking spaces for the 29 townhouse units is 58. The applicant also proposes an additional 28 parallel parking spaces around the centralized common area and 10 guest parking spaces in the rear of the site.

## **Internal and External Agency Review**

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit E). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

## **Staff Analysis**

**Rezoning Request Analysis:** According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, the staff makes the following findings based on the standards from the UDO:

#### **A. *Whether a proposed zoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.***

The area is characterized by single-family residential, commercial uses, and townhouses. Directly adjacent to the west and north is the Madison Landing subdivision, a single-family detached home subdivision zoned RZT. Adjacent to the east is Davis Mill Station shopping center and a convenience store with fuel pumps. To the south, are two undeveloped commercially zoned parcels and an oil change service business. Townhouses would be an appropriate transition from commercial properties to single-family detached subdivisions. Therefore, with conditions of approval, the rezoning request would be suitable in view of the use and development of adjacent and nearby properties.

#### **B. *Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.***

The proposed rezoning would not adversely affect the use or usability of adjacent or nearby properties. The applicant proposes a 50-foot-wide portion of the adjacent C-1 zoned parcel (5079 009A) to be dedicated as right-of-way to meet the site access and road frontage requirements. Additionally, the townhouse subdivision would be compatible with surrounding single-family detached subdivisions and commercial development. The commercial node at the nearby Sugarloaf Parkway and Lawrenceville Highway intersection has experienced high levels

of vacancy recently. Providing additional residential units within a short walking distance would benefit the businesses in the area.

**C. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.**

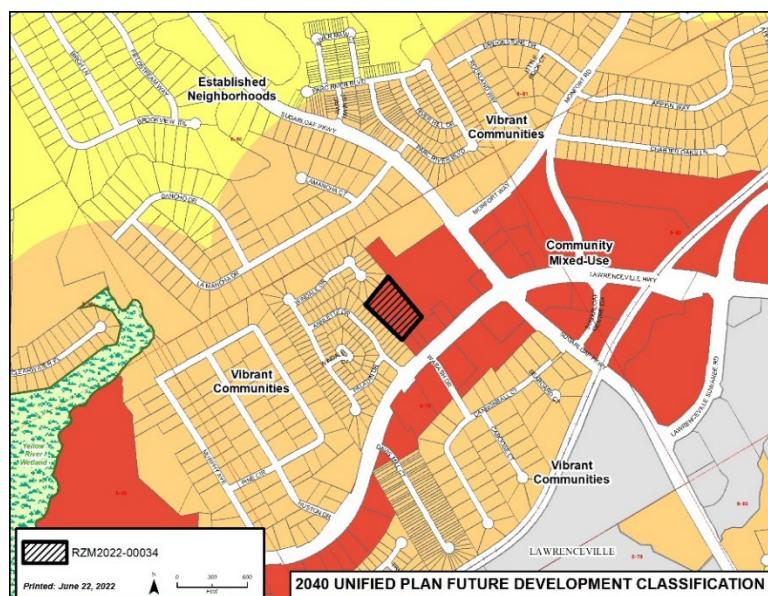
The property has a reasonable economic use as currently zoned.

**D. Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

Impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. An impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request is attached (Exhibit E).

**E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map.**

The 2040 Unified Plan and Future Development Map indicate the subject property is within the Community Mixed Use Character Area. This Character Area is intended for activity nodes and connecting areas along major corridors, such as Lawrenceville Highway. Future development and redevelopment within this area should focus on making these corridors more pedestrian-oriented with intensity focused on specific nodes. Reserving the parcel fronting Lawrenceville Highway for a future potential commercial development would create a mixed-use environment. Design recommendations include buildings set close to the street for pedestrian orientation and engagement, small-scale mix of uses, parking located behind buildings, and small-scale intense open spaces for public gathering. Townhouses are also listed as a potential development type within the Community Mixed-Use Character Area, making this use appropriate at this location. Therefore, the requested rezoning would be consistent with the policy and intent of the Unified Plan and Future Development Map.



**F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning.**

The surrounding area is characterized by a mix of single family detached homes, and commercial uses. While adjacent uses are single-family detached homes and commercial uses, townhouse developments have been approved in nearby areas in recent years. Townhouses were approved approximately 0.3 miles from the subject property in 2022. The proposed development will complement the mixed-use character of the area by adding housing diversity and density to support commercial uses gives supporting grounds for approval of the proposed rezoning.

**Variance Request Analysis:** The standards for granting variances are outlined in Section 270-100.7 of the Unified Development Ordinance. The staff makes the following findings related to the variance request:

The applicant requests a variance to reduce the required off-street parking spaces from 87 to 58. The applicant is proposing single car garages and driveways allowing space for two vehicles for each unit. To provide addition parking, the applicant proposes an additional 28 parallel parking spaces around the centralized common area and 10 off-street parking spaces, totaling 96 parking spaces. The 28 on-street parallel parking spaces will allow close and convenient parking near residences. The subject property is relatively narrow in width not created due to the property owner's action. Therefore, the requested variance is based on a hardship and does not circumvent the intent of the Unified Development Ordinance.

### **Staff Recommendation**

Based on the staff's evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

In addition, staff recommends **APPROVAL** of the following variance request:

1. To reduce the required on-street parking spaces from 3 spaces per dwelling unit to 2 parking spaces per dwelling unit.

### **Planning Commission Recommendation**

Based on the staff's evaluation of the rezoning application, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

The Planning Commission recommends **APPROVAL** of the following variance request:

1. To reduce the required on-street parking spaces from 3 spaces per dwelling unit to 2 parking spaces per dwelling unit.

### **Planning Commission Recommended Conditions (includes Staff Recommended Conditions)**

Approval as R-TH (Single Family Residence Townhouse District) for townhouses, subject to the following conditions:

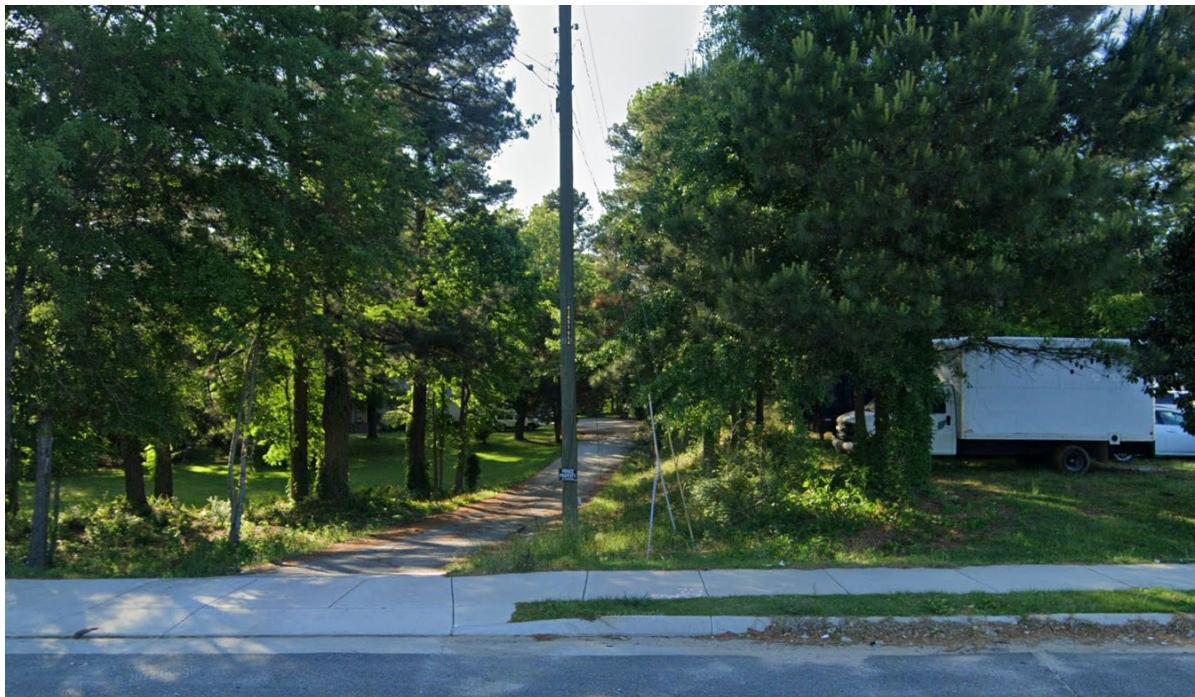
1. The proposed development shall be constructed in general conformance with the Exhibit B: Site Plan dated received June 14, 2022, and Exhibit C: Building Elevations dated received June 14, 2022, with revisions required by conditions and the Unified Development Ordinance, subject to the review and approval of the Department of Planning and Development.
2. Uses shall be limited to single-family attached townhouses and accessory uses, not to exceed 29 units.
3. The minimum heated floor area per unit shall be 1,700 square feet.
4. All dwellings shall have at least a single-car garage.
5. Natural vegetation shall remain on the property until the issuance of a development permit
6. All grassed areas shall be sodded.
7. Stormwater BMP facilities shall be screened from view of adjoining properties and rights of way by landscaping and/or decorative fencing that is in compliance with the Gwinnett County Stormwater Management Manual, subject to review and approval by the Planning and Development Department.
8. An onsite property management office shall be provided with regularly scheduled business hours for the convenience of residents, if operated as a rental community.
9. A 50-foot-wide portion of the adjacent C-1 zoned parcel (5079 009A) shall be dedicated to the proposed development as right-of-way prior to the issuance of a land disturbance permit.
10. The subdivision entrance shall be landscaped by the developer and maintained by the homeowners association, or property management company if operated as a rental community. The entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval by the Department of Planning and Development.
11. A mandatory homeowners association shall be established and shall be responsible for maintenance of all common areas/facilities, street frontage landscaping, lawn, and ornamental planting maintenance.

**Exhibits:**

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Internal and External Agency Review Comments
- F. Maps

**Exhibit A: Site Visit Photos**

**[attached]**



View of the site from Lawrenceville Highway



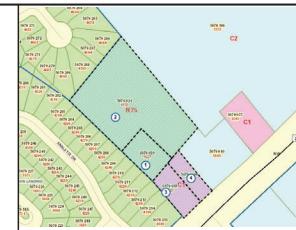
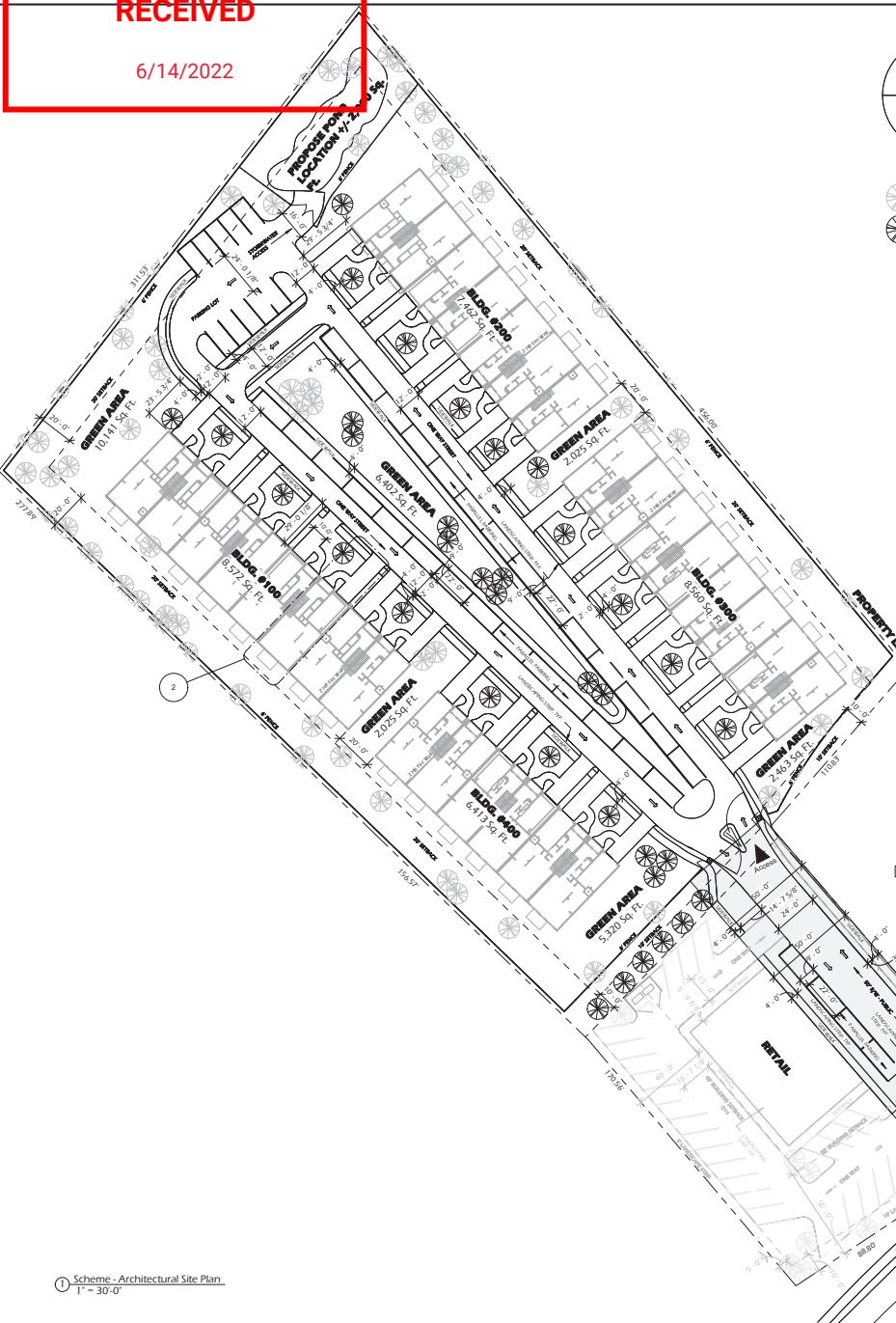
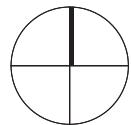
View of the site and adjacent commercial use

**Exhibit B: Site Plan**

**[attached]**

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#### EXISTING ZONING

##### SITE DATA:

ADDRESS  
1623, 1627, 1619, 1621 Lawrenceville Hwy, Lawrenceville, GA 30044

EXISTING ZONING:  

- Lot 1623 & 1627 - R-75
- Lot 1621 & 1619 - C-1

PROPOSED ZONING:  
FROM R-75 TO R-TH zoning

City Reg. Max Density for townhouses = 10 UNITS/ACRE

##### SETBACK REQUIREMENTS

Front: Min 10 Feet  
Side: Min 20 Feet  
Rear: Min 20 Feet

PROPOSED SETBACKS  
Front: 50 Feet  
Side: 30 Feet  
Rear: 50 Feet

##### PROPERTY AREA:

Lot 1623 = 2.4936 Acres  
Lot 1627 = 0.4133 Acres  
Lot 1621 = 0.3797 Acres  
Lot 1619 = 0.2753 Acres

Total = 3.5619 Acres

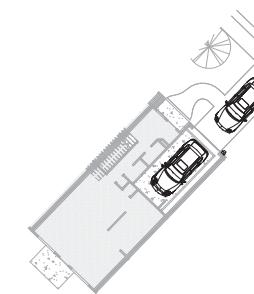
##### OPEN GREEN SPACE

Property Area = 126,625 Sq Ft  
Open space required = 20% = 126,625 Sq Ft x 0.20 = 25,325 Sq Ft

Open Space Central Area = 6,402 Sq Ft  
Open Space Between Bldg = 4,050 Sq Ft  
Open Green area at end bldg = 17,924 Sq Ft  
TOTAL = 28,376 Sq Ft

##### INTERIOR STREETS DATA:

INTERIOR STREETS AREA = 24,328 sq ft  
INTERIOR STREETS = 24'-0" WIDTH (2 WAYS)  
= 12'-0" WIDTH (1 WAY)



② Typical Parking - Units  
1:180

##### SITE NOTES:

- See photometric plan by civil engineer for site lighting layouts.
- All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
- All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
- Building sign number (post address) shall be min. 10' number with color contrasting from background.
- Owner responsible for ensuring the lighting meets DCA requirements.

##### TREES ARE FOR REFERENCE ONLY

##### UNIT LOT COVERAGE

R-TH MAXIMUM LOT COVERAGE = Max. 60%

IMPERVIOUS SURFACE PROPOSED  
RESIDENTIAL UNITS= 29

MAIN LEVEL FLOOR: 30,508 Sq Ft  
FRONT PORCH: 986 Sq Ft  
BACK PORCH: 1,740 Sq Ft  
SIDEWALK EXTERIOR: 1,881 Sq Ft  
SIDEWALK GREEN AREA: 2043 Sq Ft  
DRIVEWAYS: 9,495 Sq Ft  
INTERIOR STREETS & PARKING: 19,571 Sq Ft  
TOTAL PROPOSED IMPERVIOUS= 66,224 Sq Ft

CALCULATION LOT COVERAGE= 66,224 Sq Ft / 126,624 Sq Ft = 0.5296

##### UNIT SITE DEVELOPMENT

TOTAL UNITS - 29 Units - 3 Beds

RESIDENTIAL LOTS 1623 & 1627  
Total Area = 2.9069 Acres

Max Density For Townhouses  
Total Units = 29 Units  
Calculation= 29/2.9069= 10 Units/Acre

##### HEATED AND UNHEATED CALCULATION:

HEATED AREA  

- (1 UNIT) = 1,700 sq ft
- (29 UNIT) = 49,300 sq ft

UNHEATED AREA (GARAGE)  

- (1 UNIT) = 263 sq ft
- (29 UNIT) = 7,627 sq ft

UNHEATED AREA (PORCH AND BALCONY)  

- (1 UNIT) = 157 sq ft
- (29 UNIT) = 4,553 sq ft

TOTAL AREA  

- (1 UNIT) = 2,199 sq ft
- (29 UNIT) = 63,771 sq ft

FOOTPRINT PER UNIT = 1,052 sq ft

##### UNIT PARKING RATIO

DWELLING UNITS= 29

REQUIRED SPACE= 3 per Dwelling  
REQUIRED VISITOR= 0.25 per Dwelling  
TOTAL REQUIRED= 95

TOTAL PROPOSED SPACES = 96

PARALLEL PARKING= 28

PARKING LOT= 10

PARKING PER DWELLING= 2

##### FOOTPRINT PER BUILDING

BLDG. #100 - 8 UNITS = 8,572 sq ft  
BLDG. #200 - 7 UNITS = 7,462 sq ft  
BLDG. #300 - 8 UNITS = 8,560 sq ft  
BLDG. #400 - 6 UNITS = 6,413 sq ft

TOTAL 29 UNITS = 31,007 sf

PROJECT BUILDING DATA TABLE					
Building Number	Stories	3 bed per Unit	Total Units per Building	Total Gross SF per Building	Total Beds per Building
100	2-Story	8	8	8,572	24
200	2-Story	7	7	7,462	21
300	2-Story	8	8	8,560	24
400	2-Story	6	6	6,413	18
<b>TOTALS</b>		<b>29</b>	<b>29</b>	<b>31,007</b>	<b>87</b>

Plans to be printed on sheet Arch D 24" x 36"

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GRAND LUXE TOWNHOMES  
1623, 1627, 1619, 1621 Lawrenceville Hwy,  
Lawrenceville, GA 30044

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Not for permitting  
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No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

SITE PLAN -  
BUILDING  
INFO

SHEET No.

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① Scheme - Architectural Site Plan - Units  
1" = 30'-0"

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No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

LOT  
LAYOUT

SHEET No.

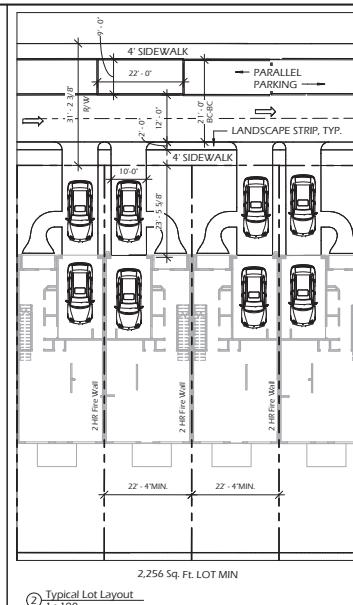
AS103

SITE NOTES:

1. See photometric plan by civil engineer for site lighting layouts.
2. All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
3. All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
4. Building sign number (post address) shall be min. 10' number with color contrasting from background.
5. Owner responsible for ensuring the lighting meets DCA requirements.

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PROJECT BUILDING DATA TABLE

Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
100	Lot 101	A	End	Per Plan	2,579 Sq. Ft.
	Lot 102	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 103	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 104	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 105	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 106	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 107	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 108	B	End	Mirrored	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE

Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
200	Lot 201	B	End	Mirrored	2,579 Sq. Ft.
	Lot 202	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 203	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 204	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 205	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 206	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 207	A	End	Per Plan	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE

Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
300	Lot 301	B	End	Mirrored	2,579 Sq. Ft.
	Lot 302	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 303	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 304	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 305	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 306	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 307	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 308	A	End	Per Plan	2,579 Sq. Ft.

PROJECT BUILDING DATA TABLE

Building Number	Lot	Unit Type	End unit / Interior Unit	Per Plan / Mirrored	SF per Lot
400	Lot 401	B	End	Per Plan	2,579 Sq. Ft.
	Lot 402	B	Interior	Mirrored	2,278 Sq. Ft.
	Lot 403	A	Interior	Per Plan	2,278 Sq. Ft.
	Lot 404	A	Interior	Mirrored	2,278 Sq. Ft.
	Lot 405	B	Interior	Per Plan	2,278 Sq. Ft.
	Lot 406	B	End	Mirrored	2,579 Sq. Ft.

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**Exhibit C: Building Elevations**

**[attached]**

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No.	Description	Date

PROJECT NUMBER 2020-03  
SHEET TITLE

COVER  
SHEET

SHEET No.

A0

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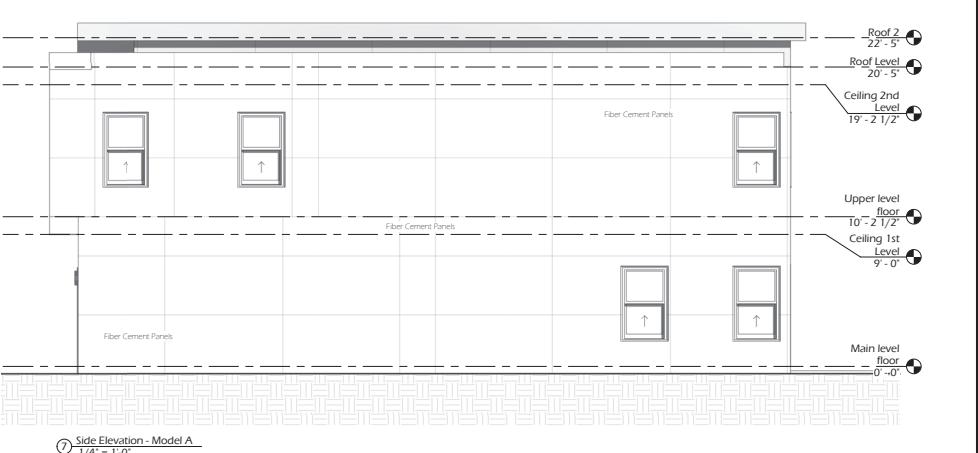
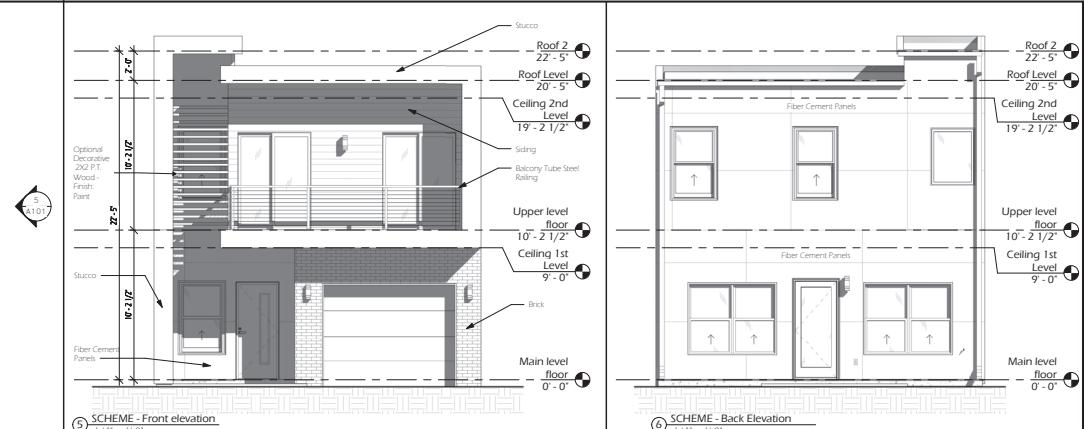
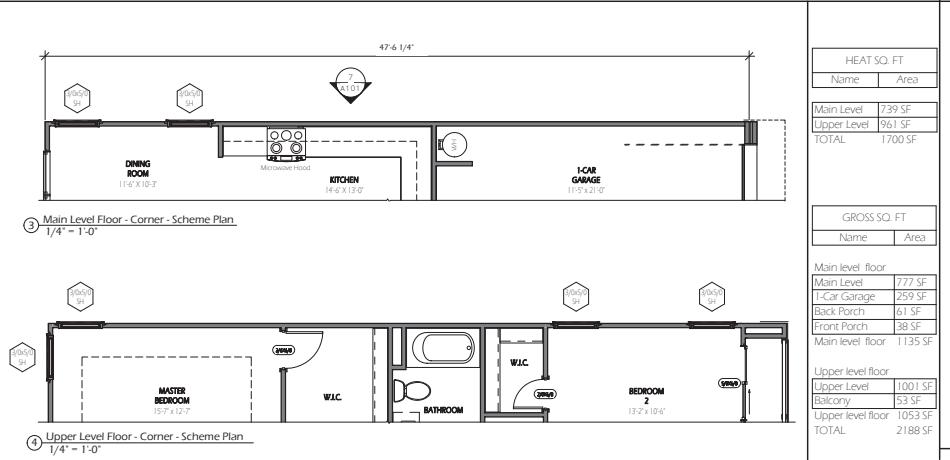
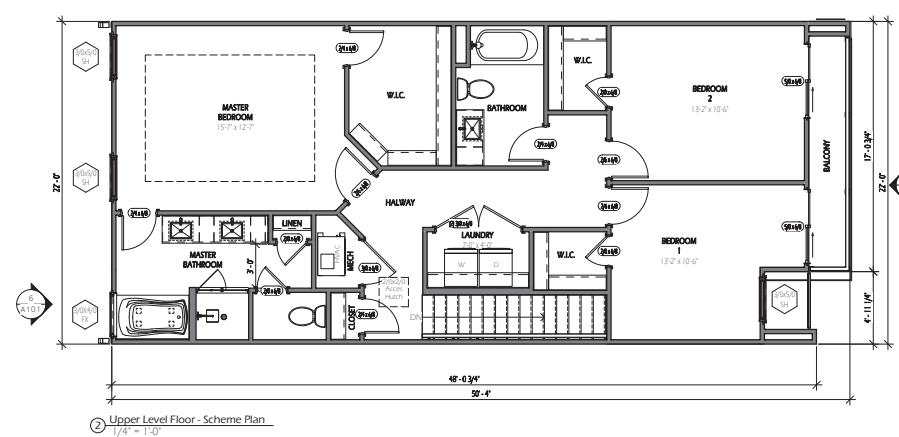
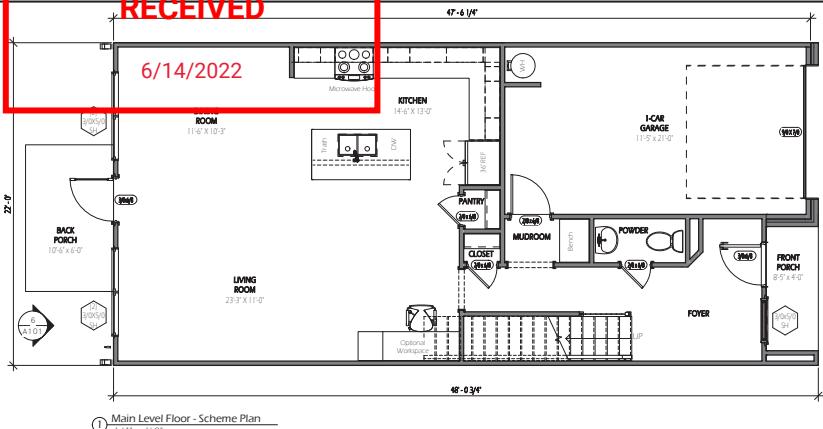


NOTE: Renderings are for illustrative purposes only and should not be used as a guide to or an interpretation of the construction documents.

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The Luxxe  
Townhomes at 1623, 1627, 1619 Lawrenceville Hwy, Lawrenceville, Ga 30044

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REVISION  
No. Description Date

PROJECT NUMBER 2022-02

SHEET TITLE

Model A -  
Unit Floor  
Plans

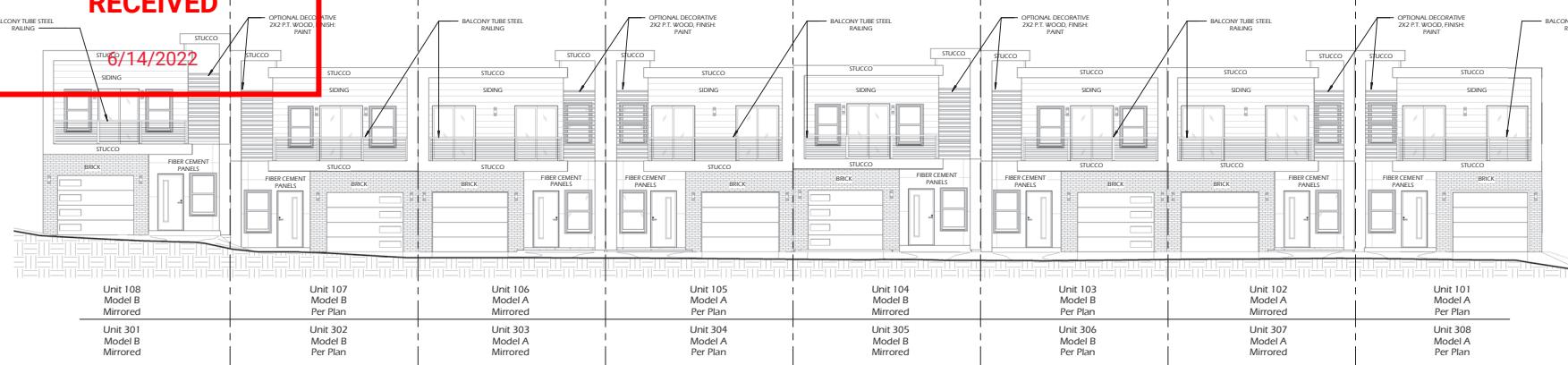
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A101

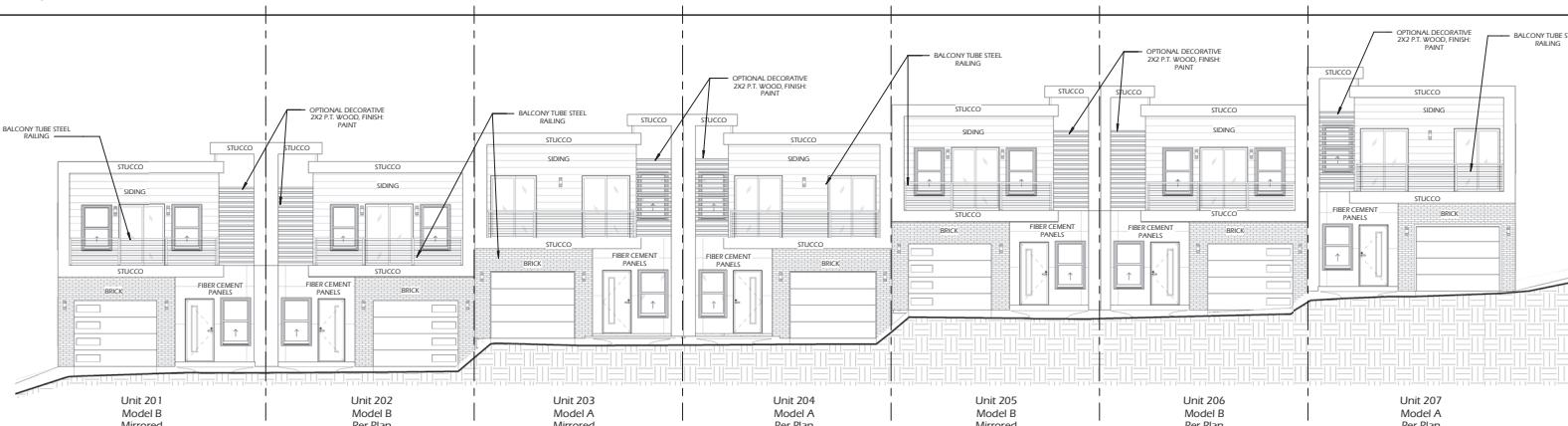


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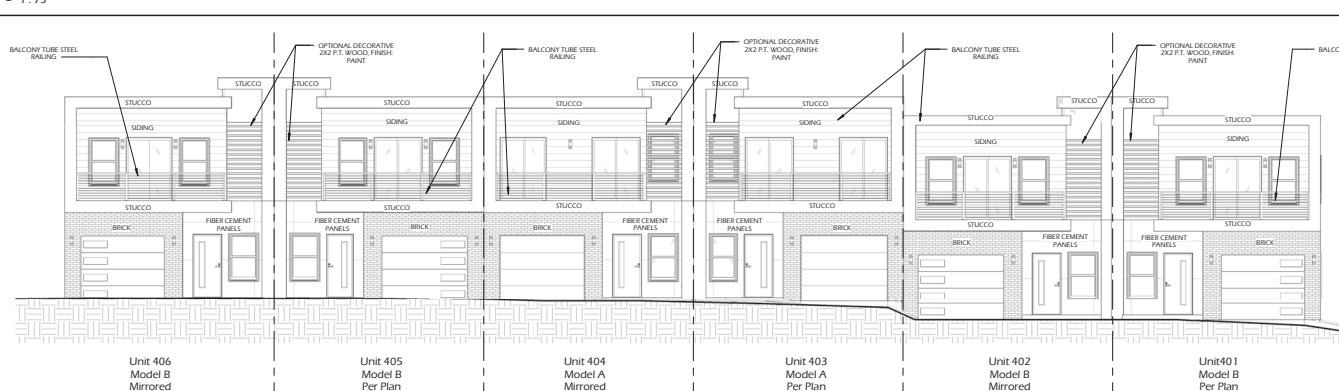
6/14/2022



① EXTERIOR FRONT ELEVATION - BLDG #100, 300  
1:75



② EXTERIOR FRONT ELEVATION - BLDG #200  
1:75



③ EXTERIOR FRONT ELEVATION - BLDG #400  
1:75

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SEAL

PRELIMINARY  
Not for construction  
Not for permitting  
For preview ONLY!

REVISION

No.	Description	Date

PROJECT NUMBER

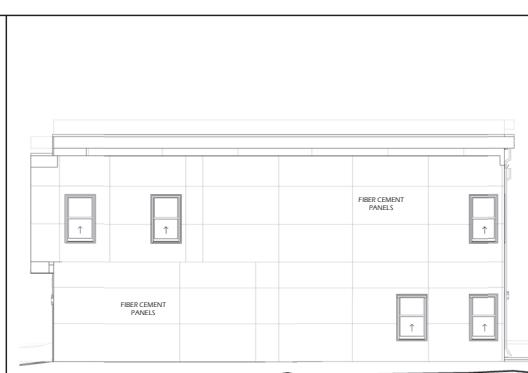
2020-03

SHEET TITLE

BUILDING  
ELEVATIONS

SHEET No.

AS104

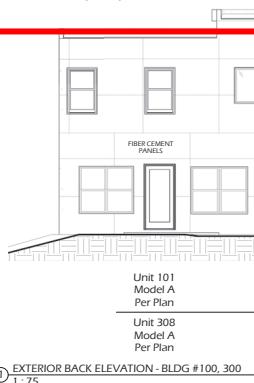


④ TYPICAL BLDG END - MODEL A UNIT  
1:75

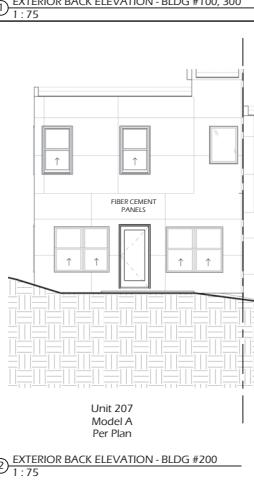
Plans to be printed on sheet Arch D 24" x 36"

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No.	Description	Date

PROJECT NUMBER

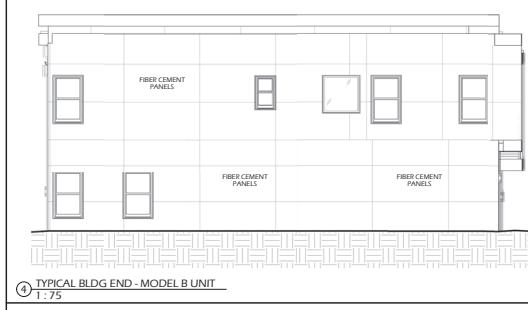
2020-03

SHEET TITLE

BUILDING  
ELEVATION

SHEET No.

AS105

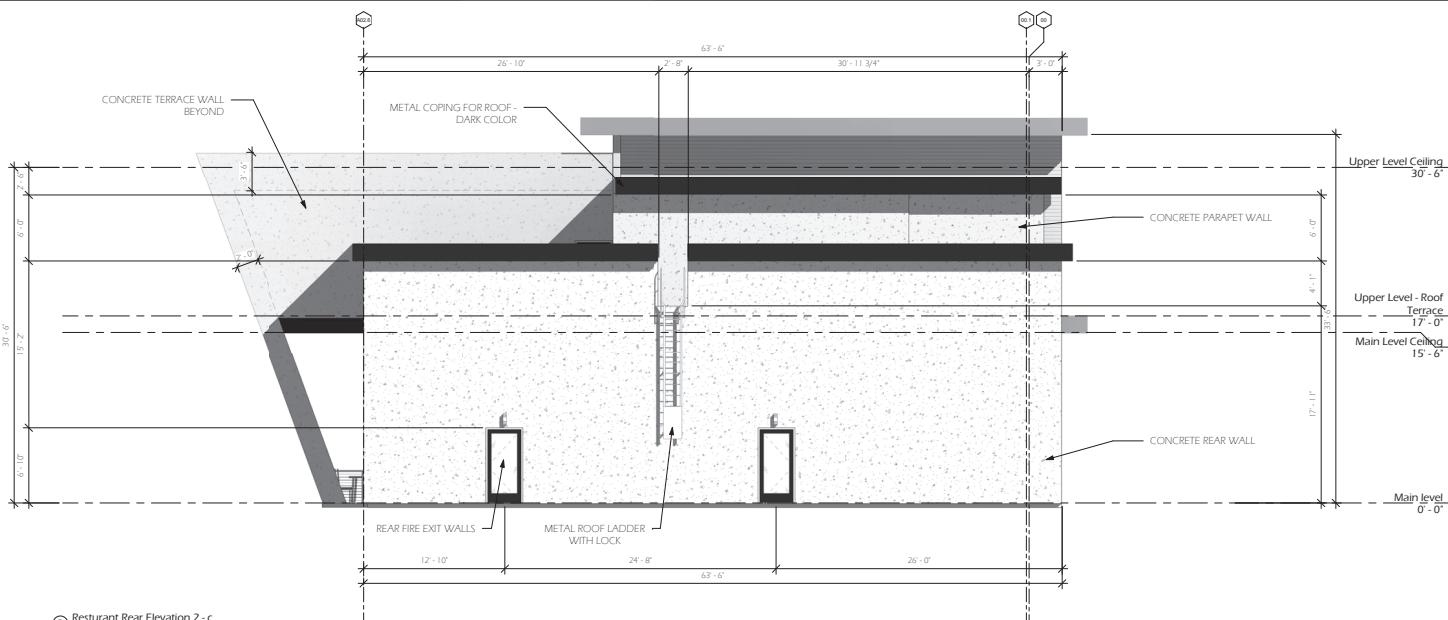
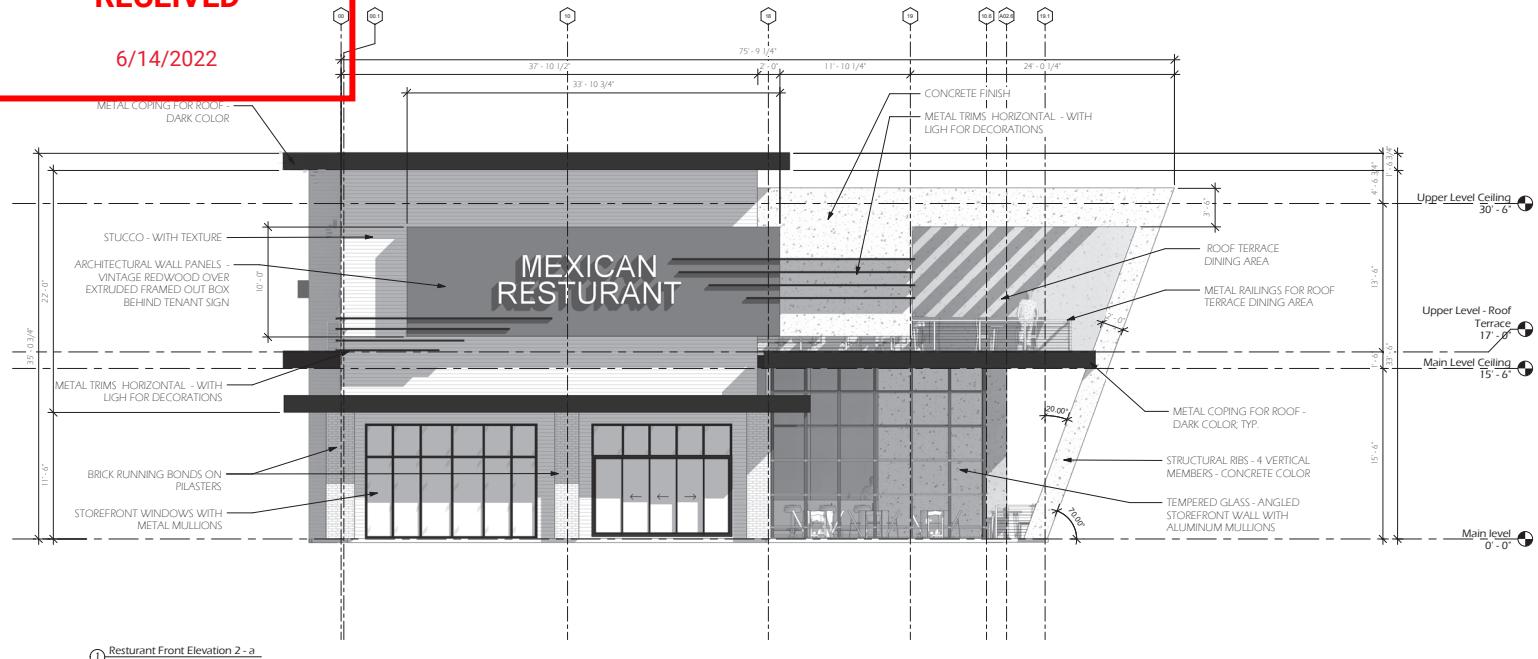


Plans to be printed on sheet Arch D 24" x 36"



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6/14/2022



GENERAL NOTES

- All dimensions are taken from the core face of the wall.
- Contractor to verify all dimensions & Existing site conditions prior to construction.
- Door & Window sizes area given in feet and inches in width and height respectively
- Contractor shall verify all interior finishes, floor coverings, and trim sizes & configurations with owner prior to construction.
- It is the sole responsibility of the contractor to verify clearances of the items mentioned above prior to construction.
- Refer to exterior elevations for exterior wall finishes.
- Refer to Door schedule for dimensions and finishes.
- Refer to Window schedule for dimension and construction.
- All beam sizes to be verified by structural engineer.
- Contractor shall make all necessary modifications during construction process to comply with I.R.C (International residential code), Latest edition, or applicable codes at site.

11. R308.4.6 Glazing adjacent stairs and ramps note: Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered a hazardous location.

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MEXICAN RESTAURANT  
1621 & 1619 Lawrenceville Hwy

SEAL

PRELIMINARY  
Not for construction  
Not for permitting  
For preview ONLY!

REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

ELEVATIONS

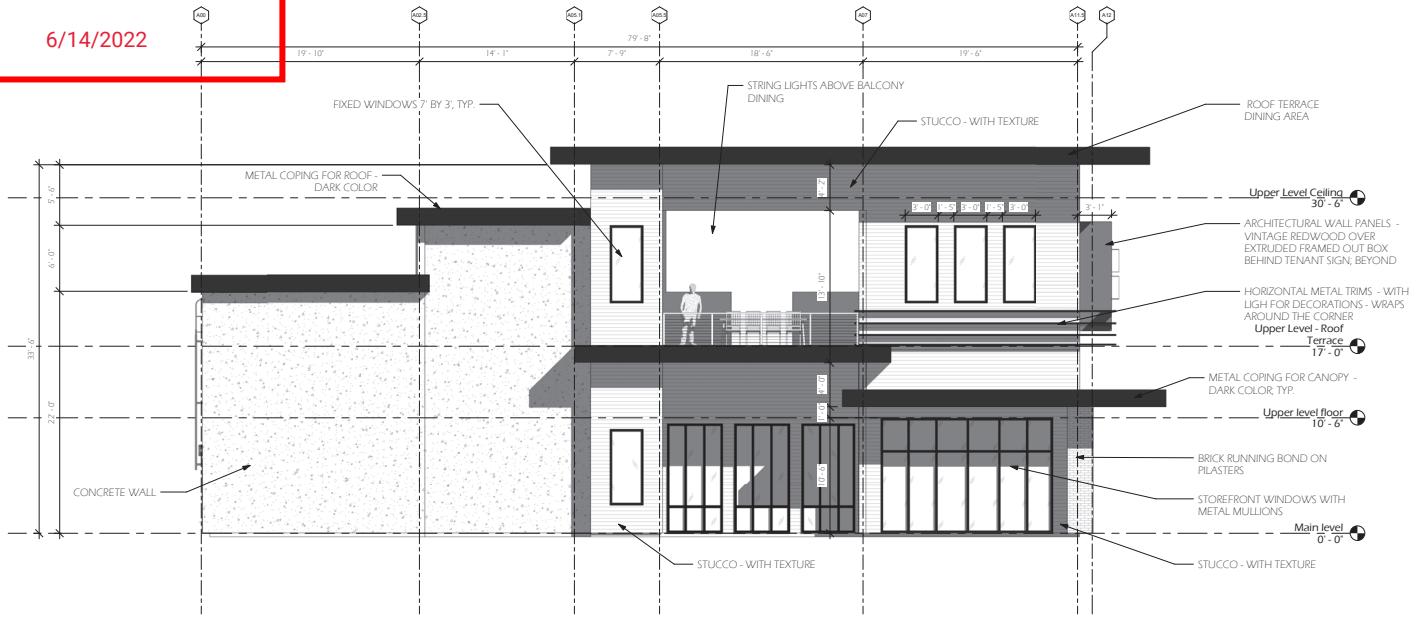
SHEET No.

A3

Plans to be printed on sheet Arch D 24" x 36"

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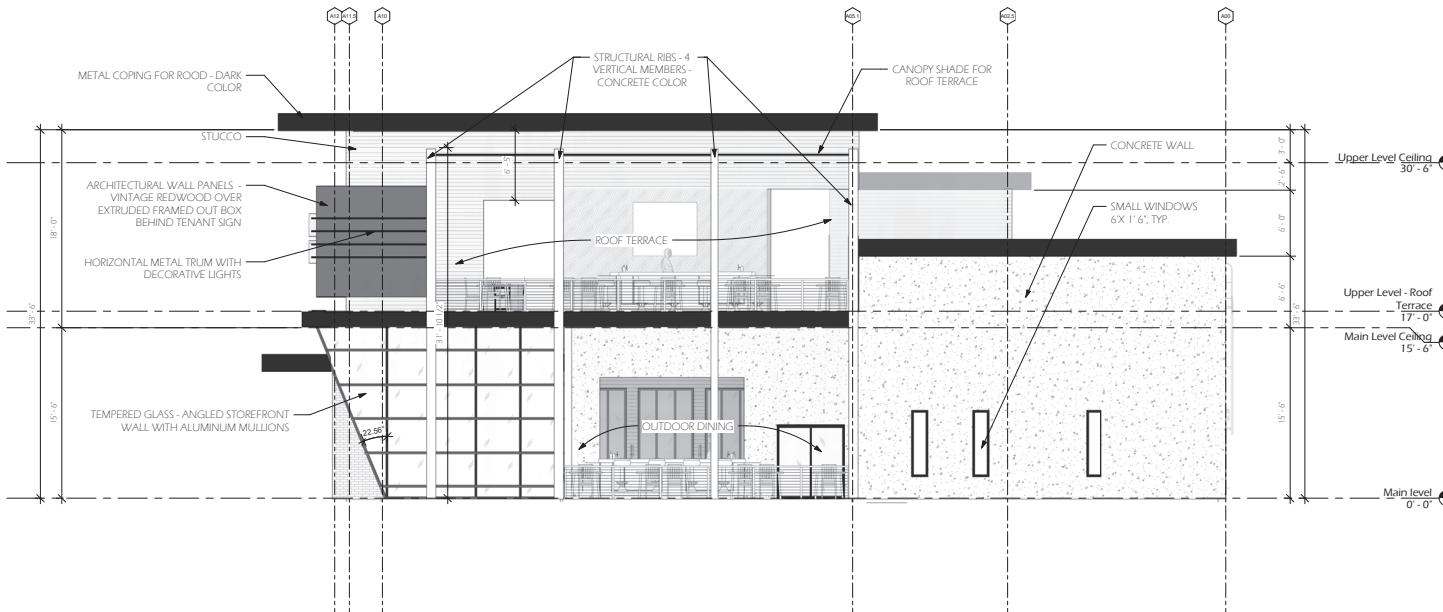
6/14/2022



GENERAL NOTES

1. All dimensions are taken from the core face of the wall.
2. Contractor to verify all dimensions & Existing site conditions prior to construction.
3. Door & Window sizes area given in feet and inches in width and height respectively
4. Contractor shall verify all interior finishes, floor coverings, and trim sizes & configurations with owner prior to construction.
5. It is the sole responsibility of the contractor to verify clearances of the items mentioned above prior to construction.
6. Refer to exterior elevations for exterior wall finishes.
7. Refer to Door schedule for dimensions and finishes.
8. Refer to Window schedule for dimension and construction.
9. All beam sizes to be verified by structural engineer.
10. Contractor shall make all necessary modifications during construction process to comply with I.R.C. (International Residential code), Latest edition, or applicable codes at site.
11. R308.4.6 Glazing adjacent stairs and ramps note: Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered a hazardous location.

① Restaurant Left Side Elevation 3-b  
3/16" - 1'-0"



② Restaurant Right Side Elevation 2-d  
3/16" - 1'-0"

Plans to be printed on sheet Arch D 24" x 36"

APC  
CONTRACTORS, INC.  
EXPERIENCE - QUALITY - INTEGRITY

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MEXICAN RESTAURANT  
1621 & 1619 Lawrenceville Hwy

SEAL

PRELIMINARY  
Not for construction  
Not for permitting  
For preview ONLY!

REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

ELEVATIONS

SHEET No.

A3.1

**Exhibit D: Letter of Intent and Applicant's Response to Standards**

**[attached]**

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## Applicant's Letter of Intent

1623 and 1627 Lawrenceville Highway (Parcel #5079 021, 5079 020)  
R-75 to R-TH

The applicant, APC Contractors LLC., requests a rezoning on an approximately 2.9-acre site located on Lawrenceville Highway near its intersection with Sugarloaf Parkway, and adjacent to the Davis Mill Station Commercial center. The lots subject to the zoning request include 1623 and 1627 Lawrenceville Highway, which are both currently zoned R-75. Both lots are entirely situated behind 1621 and 1619 Lawrenceville Highway, which are both zoned C-1 and front Lawrenceville Highway. The applicant requests to rezone the rear lots from R-75 (Single-Family Residence District) to R-TH (Single-Family Residence Townhouse District) to construct an attached townhome community and maintain the two fronting lots under the C-1 zoning category (Neighborhood Business District). As illustrated on the submitted site plan, the Applicant proposes to construct a 29-unit attached townhouse community that offers extensive greenspace and sufficient walkability. As proposed, each unit will have a heated floor area of approximately 1,700 square feet, with a minimum of three bedrooms. Each of the four townhouse buildings will be two stories tall and will be constructed with a mixture of brick, fiber cement, siding, and stucco. Private door access will be provided to each unit as well as a front-entry garage. In addition to garage and driveway spaces, additional parallel parking for guests will be provided around the centralized common area, and a small parking lot will be provided at the rear of the site. To provide sufficient site access, and meet the required road frontage standard, the Applicant will dedicate a 50-foot-wide portion of the adjacent C-1 zoned parcel (5079 009A) spanning from Lawrenceville Highway to the proposed development as right-of-way. The newly created road will also provide access to the future development of the commercial property. Vehicular access into the townhomes from the road will be gate controlled for enhanced security. The sidewalks provided throughout the townhouse development will extend adjacent to the newly created road and connect to sidewalks along Lawrenceville Highway, creating a safe and convenient path the many nearby businesses. The subject site is within the Community Mixed-Use character area of the 2040 Comprehensive Plan, which encourages a mixture of commercial uses and medium to high density residential development, including Townhomes. Within proximity there are a variety of townhouse and multi-family-zoned lots with existing and pending developments. The proposed development is consistent with the surrounding uses and meets in the intent of the character area, providing high-quality residential units with a reasonable density near a major county intersection and maintains the pattern of commercial uses along Lawrenceville Highway within the node. Further, the townhomes will act as a natural transition between the Madison Landing subdivision and largely commercial intersection. On the C-1 zoned properties fronting Lawrenceville Highway, the Applicant aims to construct a high-end Mexican Restaurant with rooftop and outdoor dining, which will be accessible to the public. The added foot traffic generated from the proposed townhouse community and the many pending residential units in proximity will help maintain successful businesses and make the area a livelier and safer node

The Applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide exceptional housing in a highly desirable section of Gwinnett County.

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## Standards Governing the Exercise of the Zoning Power

To further demonstrate that the proposed rezoning and land use is consistent with the intent of the UDO and 2040 Unified Plan, the applicant submits its response to the Standards Governing Exercise of the Zoning Power as follows:

**(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:**

Rezoning the subject site to R-TH for the purpose of constructing townhomes is suitable in relation to the adjacent and nearby properties. The site is primarily surrounded by commercial uses, except for the dense subdivision to the west. Further, there are many planned or existing large-scale multifamily and townhouse developments in the area.

**(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:**

The proposed rezoning will not adversely affect the use of the surrounding properties. The subject property will sit behind commercial property and will create a natural transition between the single-family detached and the heavily commercial intersection at Sugarloaf Parkway.

**(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:**

Due to the size and location of the property, the applicant believes that the subject property does not have a reasonable economic use as currently zoned. The applicant submits the rezoning would allow for a use more compatible with the pattern of development in the area.

**(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:**

The rezoning will not result in an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

**(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:**

The proposed rezoning is in conformity with the intent of the 2040 Unified Plan. The subject property is located within the Community Mixed-Use character area of the 2040 Future Development Map, which encourages townhomes as a land use.

**(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:**

The pattern of residential infill development in the area and the proposed development's consistency with the land use of the adjacent properties are among reasons for the approval of the proposed rezoning.

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**6/14/2022** Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

**Exhibit E: Internal and External Agency Review Comments**

**[attached]**



**Department of Planning and Development  
TECHNICAL REVIEW COMMITTEE**

<b>TRC Meeting Date:</b> 7.13.22	
Department/Agency Name: Transportation	
Reviewer Name: Brent Hodges	
Reviewer Title: Construction Manager 1	
Reviewer Email Address: <a href="mailto:Brent.Hodges@gwinnettcounty.com">Brent.Hodges@gwinnettcounty.com</a>	
Case Number: RZM2022-00034	
Case Address: 1623 and 1627 Lawrenceville Highway	
<b>Comments:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
1	Lawrenceville Highway (SR 8) is a principal arterial. ADT = 26,100.
2	0.65 miles to nearest transit facility (#2454883) Lawrenceville Highway and Wal-Mart.
3	The developer shall coordinate with the Georgia Department of Transportation (GDOT) regarding access along Lawrenceville Highway (SR 8).
4	
5	
6	
7	
<b>Recommended Zoning Conditions:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
1	
2	
3	
4	
5	
6	
7	

**Note:** Attach additional pages, if needed

*Revised 7/26/2021*



**Department of Planning and Development**  
**TECHNICAL REVIEW COMMITTEE**

<b>TRC Meeting Date:</b>		7/13/2022			
Department/Agency Name:		DWR			
Reviewer Name:		Mike Pappas			
Reviewer Title:		GIS Planning Manager			
Reviewer Email Address:		<a href="mailto:Michael.pappas@gwinnettcounty.com">Michael.pappas@gwinnettcounty.com</a>			
Case Number:		RZM2022-00034			
Case Address:		1623 & 1627 Lawrenceville Highway			
<b>Comments:</b>		<input checked="" type="checkbox"/> X	YES	<input type="checkbox"/>	NO
1	Water: The development may connect to an existing 12-inch water main located on the northwest right-of-way of Lawrenceville Highway.				
2	Sewer: A Sewer Capacity Certification is required to confirm capacity.				
3	Sewer: Pending available sewer capacity, proposed development may connect to an existing 8-inch sanitary sewer main located approximately 5 feet south on parcel 5079 208.				
4	Sewer: The easement connecting to the existing gravity sewer shall remain clear of all permanent structures, including building footings and air conditioning units, as well as deep-rooted landscaping.				
5					
6					
7					
<b>Recommended Zoning Conditions:</b>		<input type="checkbox"/>	YES	<input checked="" type="checkbox"/> X	NO
1					
2					
3					
4					
5					
6					
7					

**Note:** Attach additional pages, if needed

*Revised 7/26/2021*

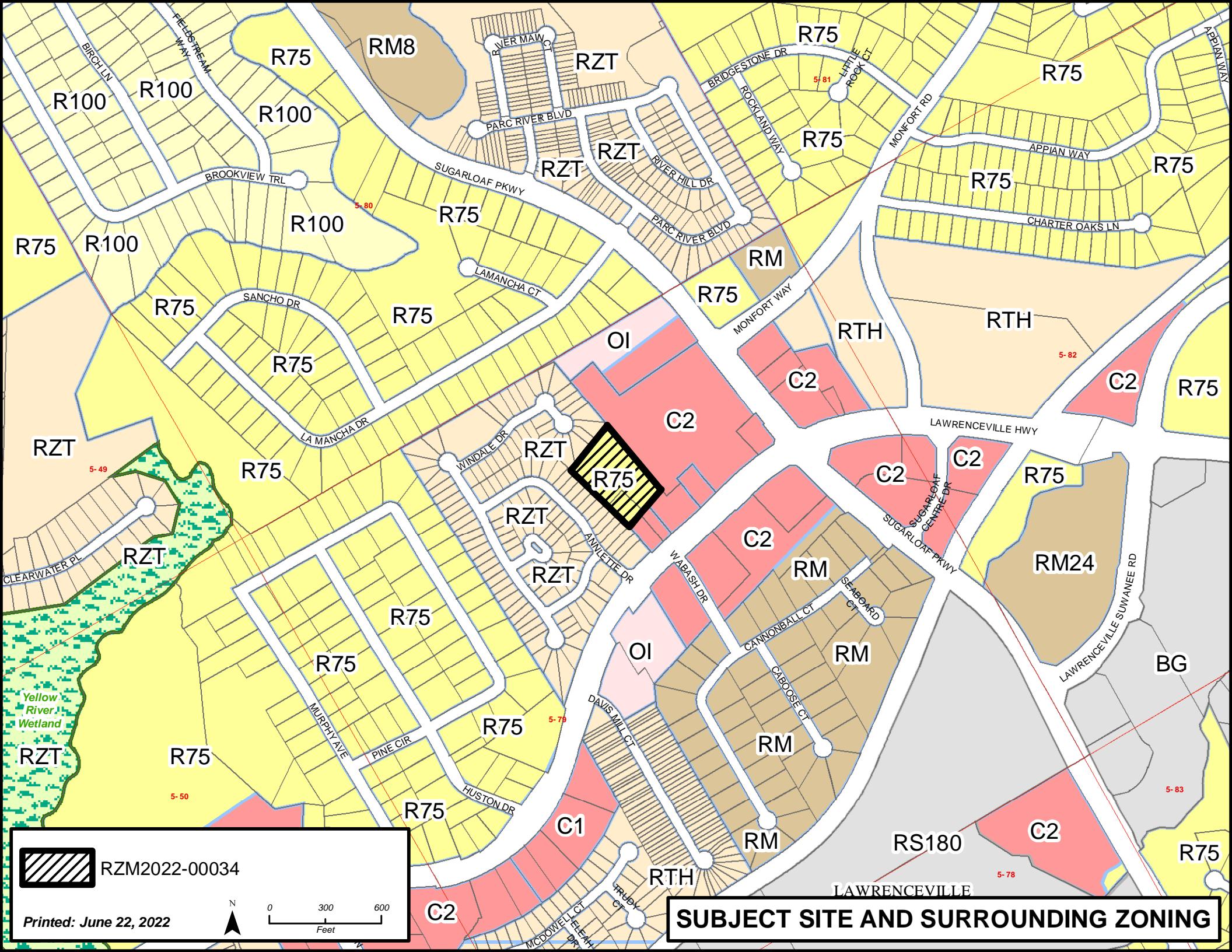
**Residential Rezoning Impact on Local Schools**  
**Prepared for Gwinnett County BOC, August, 2022**

												Proposed Zoning
	School	Forecast	2022-23 Capacity	+/- Cap.	Forecast	2023-24 Capacity	+/- Cap.	Forecast	2024-25 Capacity	+/- Cap.	Approximate Student Projections from Proposed Developments	
RZC2022-00001 & RZC2022-00002	<b>Duluth HS</b>	2,643	2,650	-7	2,696	2,650	46	2,736	2,650	86	25	
	<b>Duluth MS</b>	1,286	1,775	-489	1,312	1,775	-463	1,331	1,775	-444	19	
	Harris ES	680	750	-70	687	750	-63	694	750	-56	33	
RZM2022-00026 & RZM2022-00027 & RZM2022-00028	<b>Collins Hill HS</b>	2,730	2,625	105	2,773	2,625	148	2,800	2,625	175	27	
	<b>Creekland MS</b>	1,911	2,100	-189	1,892	2,100	-208	1,915	2,100	-185	20	
	Rock Springs ES	792	1,325	-533	808	1,325	-517	824	1,325	-501	35	
RZM2022-00031	<b>Collins Hill HS</b>	2,730	2,625	105	2,773	2,625	148	2,800	2,625	175	24	
	<b>Creekland MS</b>	1,911	2,100	-189	1,892	2,100	-208	1,915	2,100	-185	19	
	Taylor ES	826	1,300	-474	817	1,300	-483	809	1,300	-491	32	
RZM2022-00032	<b>Peachtree Ridge HS</b>	3,262	3,050	212	3,295	3,050	245	3,271	3,050	221	6	
	<b>Hull MS</b>	1,258	1,750	-492	1,271	1,750	-479	1,290	1,750	-460	5	
	Mason ES	937	1,150	-213	924	1,150	-226	912	1,150	-238	9	
RZM2022-00033	<b>Parkview HS</b>	3,208	2,900	308	3,240	2,900	340	3,224	2,900	324	8	
	<b>Trickum MS</b>	2,160	1,775	385	2,182	1,775	407	2,170	1,775	395	7	
	Camp Creek ES	1,323	1,325	-2	1,336	1,325	11	1,350	1,325	25	11	
RZM2022-00034	<b>Discovery HS</b>	2,862	2,525	337	2,905	2,525	380	2,949	2,525	424	5	
	<b>Richards MS</b>	2,052	2,200	-148	2,093	2,200	-107	2,124	2,200	-76	4	
	Benefield ES	1,216	1,375	-159	1,204	1,375	-171	1,192	1,375	-183	6	
RZM2022-00036	<b>Grayson HS</b>	3,277	3,000	277	3,375	3,000	375	3,477	3,000	477	14	
	<b>Bay Creek MS</b>	1,318	1,150	168	1,345	1,150	195	1,385	1,150	235	10	
	Trip ES	1,241	1,200	41	1,266	1,200	66	1,291	1,200	91	18	
RZM2022-00037	<b>Mill Creek HS</b>	2,915	2,800	115	2,633	2,800	-167	2,596	2,800	-204	30	
	<b>Osborne MS</b>	1,658	1,575	83	1,646	1,575	71	1,671	1,575	96	22	
	Fort Daniel ES	727	925	-198	749	925	-176	764	925	-161	39	
RZR2022-00020	<b>South Gwinnett HS</b>	2,735	2,750	-15	2,790	2,750	40	2,832	2,750	82	37	
	<b>Grace Snell MS</b>	1,262	1,200	62	1,281	1,200	81	1,300	1,200	100	26	
	Magill ES	1,222	1,525	-303	1,253	1,525	-272	1,284	1,525	-241	47	
RZR2022-00023	<b>Collins Hill HS</b>	2,730	2,625	105	2,773	2,625	148	2,800	2,625	175	37	
	<b>Creekland MS</b>	1,911	2,100	-189	1,892	2,100	-208	1,915	2,100	-185	26	
	Rock Springs ES	792	1,325	-533	808	1,325	-517	824	1,325	-501	47	

**Exhibit F: Maps**

**[attached]**



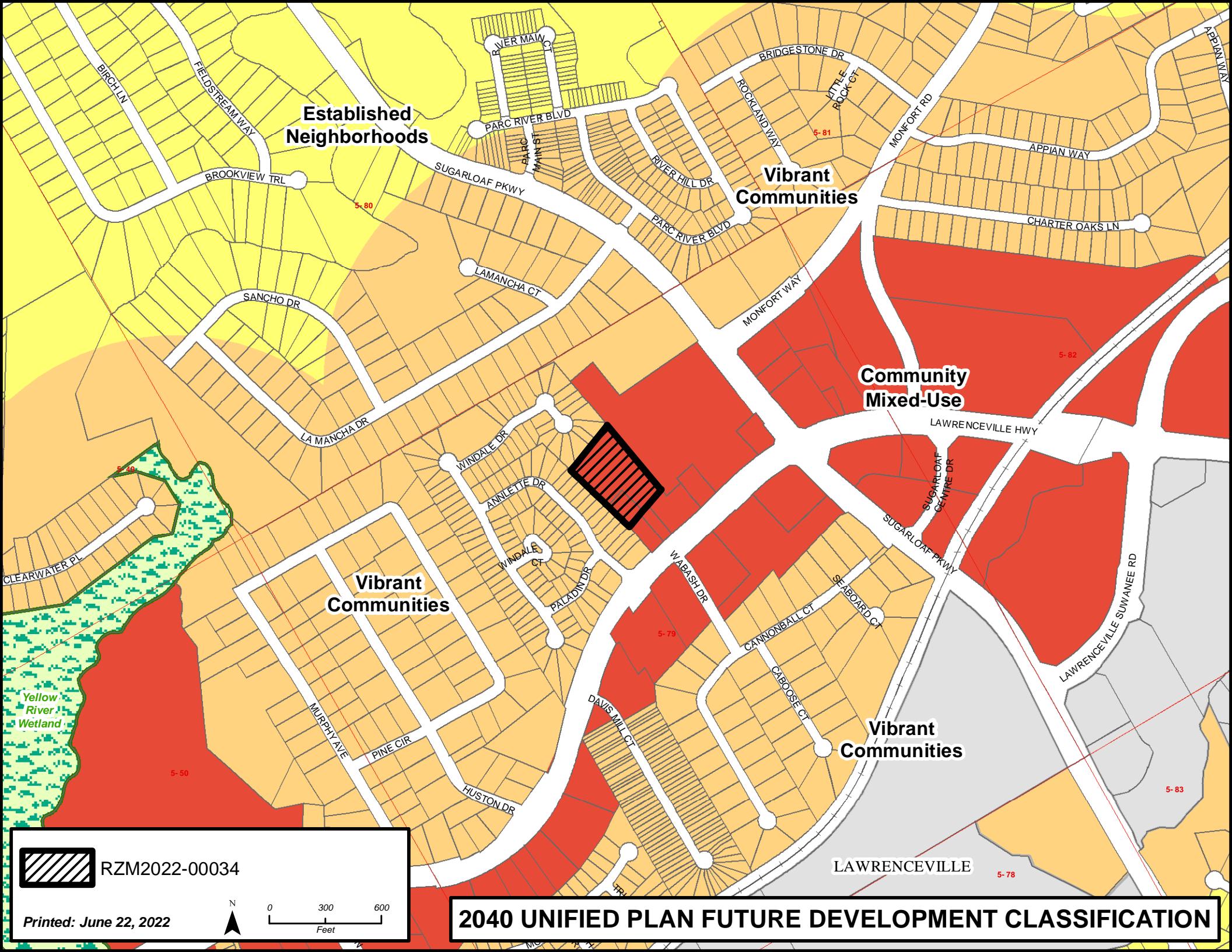


RZM2022-00034

Printed: June 22, 2022



## **SUBJECT SITE AND SURROUNDING ZONING**



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**REZONING APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: APC Contractors, Inc. c/o Alliance Engineering and Planning	NAME: PELAYO EFREN PELAYO MARTHA OFELIA
ADDRESS: 299 S. Main Street	ADDRESS: 1623 Lawrenceville Hwy
CITY: Alpharetta	CITY: Lawrenceville
STATE: GA ZIP: 30009	STATE: GA ZIP: 30044
PHONE: 770-225-4730 ext. 819	PHONE: 770-225-4730 ext. 819
EMAIL: Tylerl@allianceco.com	EMAIL: _____
CONTACT PERSON: Tyler Lasser	PHONE: 770-225-4730 ext. 819
CONTACT'S E-MAIL: Tylerl@allianceco.com	_____
<b>APPLICANT IS THE:</b>	
<input type="checkbox"/> OWNER'S AGENT	<input type="checkbox"/> PROPERTY OWNER <input checked="" type="checkbox"/> CONTRACT PURCHASER
PRESENT ZONING DISTRICT(S): R-75	REQUESTED ZONING DISTRICT: R-TH
PARCEL NUMBER(S): 5079 021, 020	ACREAGE: 2.913
ADDRESS OF PROPERTY: 1623 and 1627 Lawrenceville Highway	_____
PROPOSED DEVELOPMENT: Attached Townhomes	_____

RESIDENTIAL DEVELOPMENT	NON-RESIDENTIAL DEVELOPMENT
No. of Lots/Dwelling Units 29	No. of Buildings/Lots: _____
Dwelling Unit Size (Sq. Ft.): 1,700	Total Building Sq. Ft. _____
Gross Density: 9.9	Density: _____
Net Density: 9.9	_____

**PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED**

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**REZONING APPLICANT'S RESPONSE**  
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:  
Please see attached

---

(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:  
Please see attached

---

(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:  
Please see attached

---

(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:  
Please see attached

---

(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:  
Please see attached

---

(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:  
Please see attached

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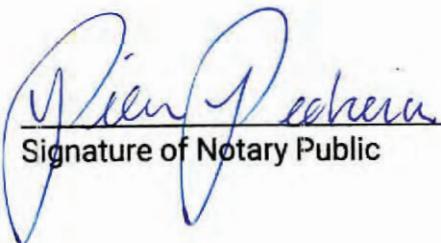
**REZONING APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

  
Signature of Applicant

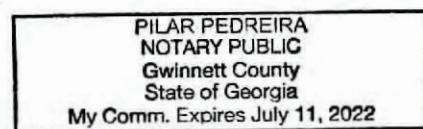
05/31/22  
Date

Atilio Pedreira - President  
Type or Print Name and Title

  
Signature of Notary Public

05/31/22  
Date

Notary Seal



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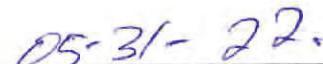
6/14/2022

**REZONING PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY  
CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION  
OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12  
MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS  
WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR  
REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST  
ACTION BY THE BOARD OF COMMISSIONERS.



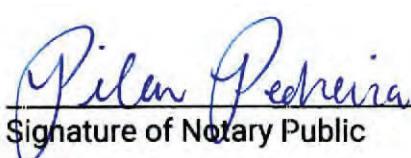
Signature of Property Owner



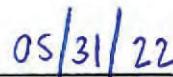
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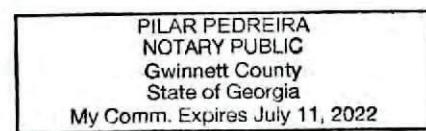
Type or Print Name and Title



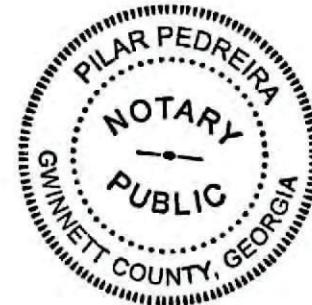
Signature of Notary Public



Date



Notary Seal

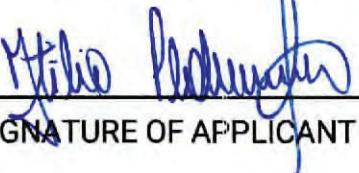


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**CONFLICT OF INTEREST CERTIFICATION FOR REZONING**

The undersigned below, making application for a Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

  
SIGNATURE OF APPLICANT

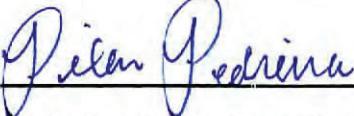
05/31/22  
DATE

Atilio Pedreira - President  
TYPE OR PRINT NAME AND TITLE

Tyler Lasser  
SIGNATURE OF APPLICANT'S  
ATTORNEY OR REPRESENTATIVE  
DATE

5/31/22

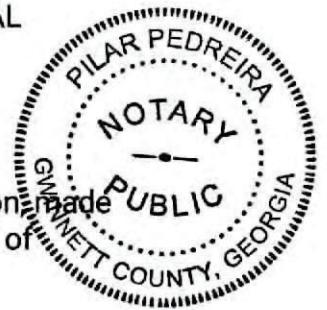
Tyler Lasser  
TYPE OR PRINT NAME AND TITLE

  
SIGNATURE OF NOTARY PUBLIC  
DATE

05/31/22

PILAR PEDREIRA  
NOTARY PUBLIC  
Gwinnett County  
State of Georgia  
My Comm. Expires July 11, 2022

NOTARY SEAL

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES    NO

Atilio Pedreira

YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

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**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:** 5 - 079 - 020  
(Map Reference Number)      District      Land Lot      Parcel

Atilio Pedreira  
Signature of Applicant

05/31/22  
Date

Atilio Pedreira - President  
Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 Langley Drive, for their approval below.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Jacqueleen Garcia

Tax Associate I

NAME

TITLE

06/01/2022

DATE

RECEIVED

6/14/2022

**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

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**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:** 5 - 079 - 021  
(Map Reference Number)      District      Land Lot      Parcel

Atilio Pedreira  
Signature of Applicant

05/31/22  
Date

Atilio Pedreira - President  
Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Jacqueleen Garcia

Tax Associate I

NAME

TITLE

6/1/2022

DATE

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## Applicant's Letter of Intent

1623 and 1627 Lawrenceville Highway (Parcel #5079 021, 5079 020)  
R-75 to R-TH

The applicant, APC Contractors LLC., requests a rezoning on an approximately 2.9-acre site located on Lawrenceville Highway near its intersection with Sugarloaf Parkway, and adjacent to the Davis Mill Station Commercial center. The lots subject to the zoning request include 1623 and 1627 Lawrenceville Highway, which are both currently zoned R-75. Both lots are entirely situated behind 1621 and 1619 Lawrenceville Highway, which are both zoned C-1 and front Lawrenceville Highway. The applicant requests to rezone the rear lots from R-75 (Single-Family Residence District) to R-TH (Single-Family Residence Townhouse District) to construct an attached townhome community and maintain the two fronting lots under the C-1 zoning category (Neighborhood Business District). As illustrated on the submitted site plan, the Applicant proposes to construct a 29-unit attached townhouse community that offers extensive greenspace and sufficient walkability. As proposed, each unit will have a heated floor area of approximately 1,700 square feet, with a minimum of three bedrooms. Each of the four townhouse buildings will be two stories tall and will be constructed with a mixture of brick, fiber cement, siding, and stucco. Private door access will be provided to each unit as well as a front-entry garage. In addition to garage and driveway spaces, additional parallel parking for guests will be provided around the centralized common area, and a small parking lot will be provided at the rear of the site. To provide sufficient site access, and meet the required road frontage standard, the Applicant will dedicate a 50-foot-wide portion of the adjacent C-1 zoned parcel (5079 009A) spanning from Lawrenceville Highway to the proposed development as right-of-way. The newly created road will also provide access to the future development of the commercial property. Vehicular access into the townhomes from the road will be gate controlled for enhanced security. The sidewalks provided throughout the townhouse development will extend adjacent to the newly created road and connect to sidewalks along Lawrenceville Highway, creating a safe and convenient path the many nearby businesses. The subject site is within the Community Mixed-Use character area of the 2040 Comprehensive Plan, which encourages a mixture of commercial uses and medium to high density residential development, including Townhomes. Within proximity there are a variety of townhouse and multi-family-zoned lots with existing and pending developments. The proposed development is consistent with the surrounding uses and meets in the intent of the character area, providing high-quality residential units with a reasonable density near a major county intersection and maintains the pattern of commercial uses along Lawrenceville Highway within the node. Further, the townhomes will act as a natural transition between the Madison Landing subdivision and largely commercial intersection. On the C-1 zoned properties fronting Lawrenceville Highway, the Applicant aims to construct a high-end Mexican Restaurant with rooftop and outdoor dining, which will be accessible to the public. The added foot traffic generated from the proposed townhouse community and the many pending residential units in proximity will help maintain successful businesses and make the area a livelier and safer node

The Applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide exceptional housing in a highly desirable section of Gwinnett County.

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## Standards Governing the Exercise of the Zoning Power

To further demonstrate that the proposed rezoning and land use is consistent with the intent of the UDO and 2040 Unified Plan, the applicant submits its response to the Standards Governing Exercise of the Zoning Power as follows:

**(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:**

Rezoning the subject site to R-TH for the purpose of constructing townhomes is suitable in relation to the adjacent and nearby properties. The site is primarily surrounded by commercial uses, except for the dense subdivision to the west. Further, there are many planned or existing large-scale multifamily and townhouse developments in the area.

**(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:**

The proposed rezoning will not adversely affect the use of the surrounding properties. The subject property will sit behind commercial property and will create a natural transition between the single-family detached and the heavily commercial intersection at Sugarloaf Parkway.

**(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:**

Due to the size and location of the property, the applicant believes that the subject property does not have a reasonable economic use as currently zoned. The applicant submits the rezoning would allow for a use more compatible with the pattern of development in the area.

**(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:**

The rezoning will not result in an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

**(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:**

The proposed rezoning is in conformity with the intent of the 2040 Unified Plan. The subject property is located within the Community Mixed-Use character area of the 2040 Future Development Map, which encourages townhomes as a land use.

**(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:**

The pattern of residential infill development in the area and the proposed development's consistency with the land use of the adjacent properties are among reasons for the approval of the proposed rezoning.

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**6/14/2022** Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

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Exhibit

All that tract or parcel of land lying and being in Land Lot 79 of the 5<sup>th</sup> District of Gwinnett County, Georgia, and more particularly described; this property is also more particularly described as follows:

Beginning at the mitered intersection of the westerly right of way of Lawrenceville Highway and northerly right of way of Anlette Drive, proceed thence north, along the westerly right of way of Lawrenceville Highway a distance of 130.96 feet to a point; thence, leaving said right of way of Lawrenceville Highway, North 40°10'12" West a distance of 170.56 feet to an iron pin found (1/2" rebar) said point being the TRUE POINT OF BEGINNING;

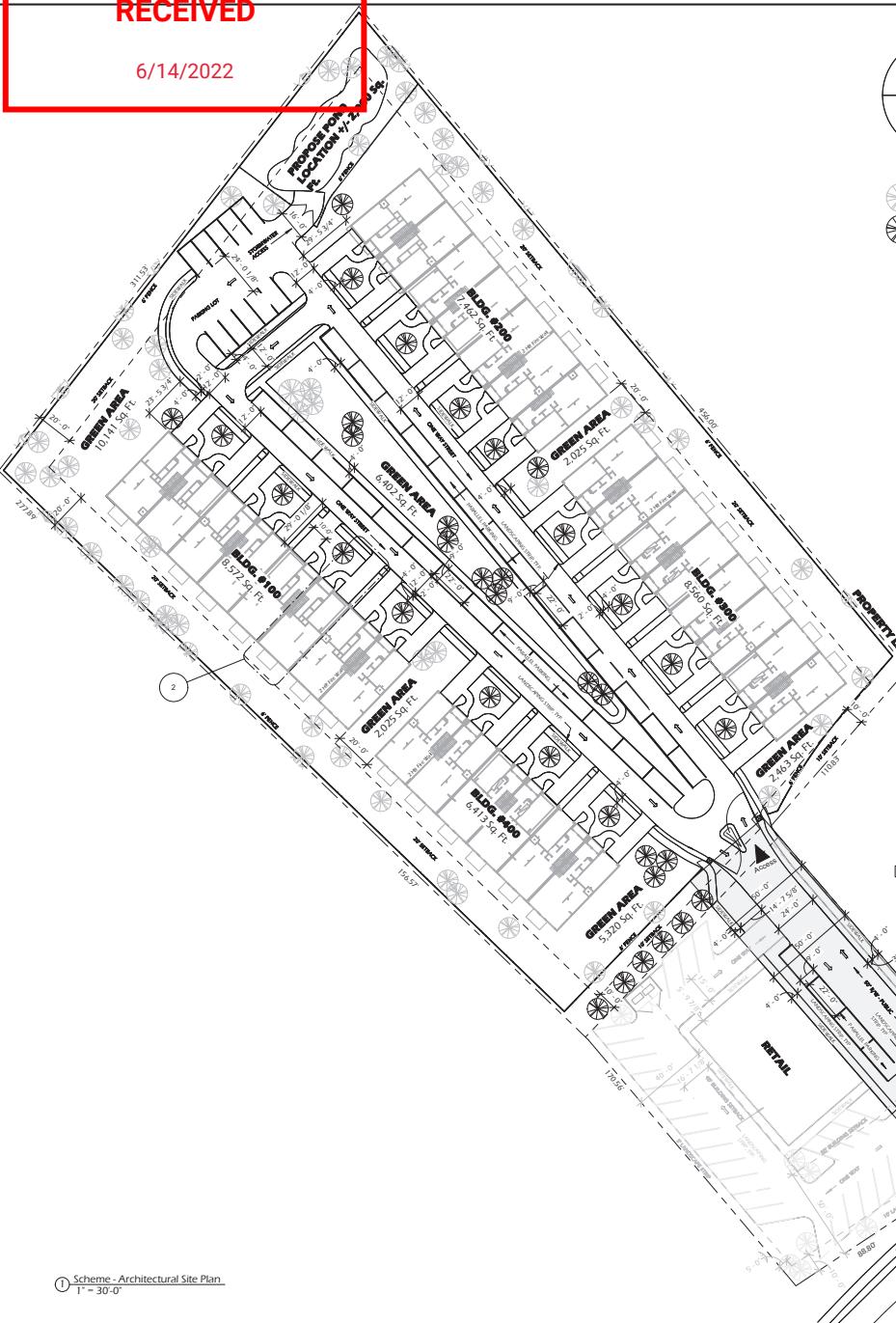
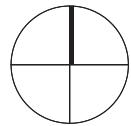
From the TRUE POINT OF BEGINNING, as thus established, proceeds North 45°42'06" West a distance of 160.76 feet to a point; thence, North 46°01'33" West distance of 277.89 feet to an iron pin found (1/2" rebar); thence, North 38°37'27" East a distance of 311.23 feet to an iron pin found (1/2" rebar); thence, South 39°55'33" East a distance of 456.00 feet to an iron pin found (1/2" rebar); thence, South 41°03'15" West a distance of 110.83 feet to an iron pin found (1/2" rebar); thence, South 40°25'23" West a distance of 39.23 feet to a point; thence, South 42°27'24" West a distance of 21.37 feet to an iron pin found (1/2" rebar); thence, South 40°27'03" West a distance of 91.30 feet to an iron pin found (1/2" rebar) and the TRUE POINT OF BEGINNING;

Said tract or parcel contains 126,884 square feet or 2.913 acres.



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#### EXISTING ZONING

##### SITE DATA:

ADDRESS  
1623, 1627, 1619, 1621 Lawrenceville Hwy, Lawrenceville, GA 30044

EXISTING ZONING:  

- Lot 1623 & 1627 - R-75
- Lot 1621 & 1619 - C-1

PROPOSED ZONING:  
FROM R-75 to R-TH zoning

City Reg. Max Density for townhouses = 10 UNITS/ACRE

##### SETBACK REQUIREMENTS

Front: Min 10 Feet  
Side: Min 20 Feet  
Rear: Min 20 Feet

PROPOSED SETBACKS  
Front: 50 Feet  
Side: 30 Feet  
Rear: 50 Feet

##### PROPERTY AREA:

Lot 1623 = 2.4936 Acres  
Lot 1627 = 0.4133 Acres  
Lot 1621 = 0.3797 Acres  
Lot 1619 = 0.2753 Acres

Total = 3.5619 Acres

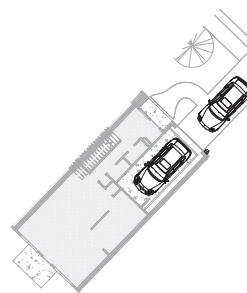
##### OPEN GREEN SPACE

Property Area = 126,625 Sq Ft  
Open space required = 20% = 126,625 Sq Ft x 0.20 = 25,325 Sq Ft

Open Space Central Area = 6,402 Sq Ft  
Open Space Between Bldg- 4,050 Sq Ft  
Open Green area at end bldg- 17,924 Sq Ft  
TOTAL = 28,376 Sq Ft

##### INTERIOR STREETS DATA:

INTERIOR STREETS AREA = 24,328 Sq Ft  
INTERIOR STREETS = 24'-0" WIDTH (2 WAYS)  
- 12'-0" WIDTH (1 WAY)



##### SITE NOTES:

- See photometric plan by civil engineer for site lighting layouts.
- All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
- All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
- Building sign number (post address) shall be min. 10" number with color contrasting from background.
- Owner responsible for ensuring the lighting meets DCA requirements.

##### TREES ARE FOR REFERENCE ONLY

##### UNIT LOT COVERAGE

R-TH MAXIMUM LOT COVERAGE = Max. 60%

IMPERVIOUS SURFACE PROPOSED  
RESIDENTIAL UNITS= 29

MAIN LEVEL FLOOR: 30,508 Sq Ft  
FRONT PORCH: 986 Sq Ft  
BACK PORCH: 1,740 Sq Ft  
SIDEWALK EXTERIOR: 1,881 Sq Ft  
SIDEWALK GREEN AREA: 20,43 Sq Ft  
DRIVEWAYS: 9,495 Sq Ft  
INTERIOR STREETS & PARKING: 19,571 Sq Ft  
TOTAL PROPOSED IMPERVIOUS= 66,224 Sq Ft

CALCULATION LOT COVERAGE= 66,224 Sq Ft / 126,624 Sq Ft = 0.5296

##### UNIT SITE DEVELOPMENT

TOTAL UNITS - 29 Units - 3 Beds

RESIDENTIAL LOTS 1623 & 1627  
Total Area = 2.9069 Acres

Max Density For Townhouses  
Total Units = 29 Units  
Calculation= 29/2.9069= 10 Units/Acre

##### HEATED AND UNHEATED CALCULATION:

HEATED AREA  
(1 UNIT) = 1,700 sq ft  
(29 UNIT) = 49,300 sq ft

UNHEATED AREA (GARAGE)  
(1 UNIT) = 263 sq ft  
(29 UNIT) = 7,627 sq ft

UNHEATED AREA (PORCH AND BALCONY)  
(1 UNIT) = 157 sq ft  
(29 UNIT) = 4,553 sq ft

TOTAL AREA  
(1 UNIT) = 2,199 sq ft  
(29 UNIT) = 63,771 sq ft

FOOTPRINT PER UNIT = 1,052 sq ft

##### UNIT PARKING RATIO

DWELLING UNITS= 29

REQUIRED SPACE= 3 per Dwelling  
REQUIRED VISITOR= 0.25 per Dwelling  
TOTAL REQUIRED= 95

TOTAL PROPOSED SPACES = 96

PARALLEL PARKING= 28

PARKING LOT= 10

PARKING PER DWELLING= 2

##### FOOTPRINT PER BUILDING

BLDG. #100 - 8 UNITS = 8,572 sq ft  
BLDG. #200 - 7 UNITS = 7,462 sq ft  
BLDG. #300 - 8 UNITS = 8,560 sq ft  
BLDG. #400 - 6 UNITS = 6,413 sq ft

TOTAL 29 UNITS = 31,007 sf

PROJECT BUILDING DATA TABLE					
Building Number	Stories	3 bed per Unit	Total Units per Building	Total Gross SF per Building	Total Beds per Building
100	2-Story	8	8	8,572	24
200	2-Story	7	7	7,462	21
300	2-Story	8	8	8,560	24
400	2-Story	6	6	6,413	18
<b>TOTALS</b>		<b>29</b>	<b>29</b>	<b>31,007</b>	<b>87</b>

Plans to be printed on sheet Arch D 24" x 36"

**APC**  
CONTRACTORS, INC.  
EXPERIENCE - QUALITY - INTEGRITY

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**GRAND LUXE TOWNHOMES**  
1623, 1627, 1619, 1621 Lawrenceville Hwy,  
Lawrenceville, GA 30044

SEAL

**PRELIMINARY**  
Not for construction  
Not for permitting  
For preview ONLY

REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

**SITE PLAN -  
BUILDING INFO**

SHEET No.

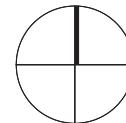
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① Scheme - Architectural Site Plan with Topography  
1" = 30'-0"



SITE NOTES:

1. See photometric plan by civil engineer for site lighting layouts.
2. All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
3. All accessible routes shall have max. running slope of 5% and max. cross slope 5%.
4. Building sign number (post address) shall be min. 10" number with color contrasting from background.
5. Owner responsible for ensuring the lighting meets DCA requirements.

TREES ARE FOR REFERENCE ONLY

SITE DATA:

ADDRESS  
1623, 1627, 1619, 1621 Lawrenceville Hwy,  
Lawrenceville, GA 30044

EXISTING ZONING:

- Lot 1623 & 1627 - **R-75**
- Lot 1621 & 1619 - **C-1**

PROPOSED ZONING:

FROM **R-75** to **R-TH** zoning

City Req. Max Density for townhouses =  
10 UNITS/ACRE

SETBACK REQUIREMENTS:

Front: Min 10 Feet  
Side: Min 20 Feet  
Rear: Min 20 Feet

PROPOSED SETBACKS:  
Front: 50 Feet  
Side: 30 Feet  
Rear: 50 Feet

PROPERTY AREA:

Lot 1623 - 2.4936 Acres  
Lot 1627 - 0.4133 Acres  
Lot 1621 - 0.3797 Acres  
Lot 1619 - 0.2753 Acres

Total - 3.5619 Acres

OPEN GREEN SPACE:

Property Area - 1,263.24 Sq. Ft  
Open space required - 20% - 126,321 Sq. Ft x  
0.20 - 25,264.2 Sq. Ft

Open Space Central Area - 6,402 Sq. Ft  
Open Space Between Bldg - 4,050 Sq. Ft  
Open Green area at end bldgs - 17,924 Sq. Ft  
TOTAL - 28,376 Sq. Ft

INTERIOR STREETS DATA:

INTERIOR STREETS AREA - 24,328 sq ft  
INTERIOR STREETS - 24'-0" WIDTH (2 WAYS)  
- 12'-0" WIDTH (1 WAY)

UNIT LOT COVERAGE:

R-TH MAXIMUM LOT COVERAGE - Max. 60%  
IMPERVIOUS SURFACE PROPOSED  
RESIDENTIAL UNITS - 29

MAIN LEVEL FLOOR: 30,508 Sq. Ft  
FRONT PORCH: 986 Sq. Ft  
BACK PORCH: 1,740 Sq. Ft  
SIDEWALK EXTERIOR: 1,881 Sq. Ft  
SIDEWALK GREEN AREA: 20,433 Sq. Ft  
DRIVEWAYS: 9,495 Sq. Ft  
INTERIOR STREETS & PARKING: 19,571 Sq. Ft  
TOTAL PROPOSED IMPERVIOUS - 22,890 Sq. Ft

CALCULATION LOT COVERAGE - 22,890 Sq. Ft / 27,094.32 Sq. Ft - 84%

RETAIL PARKING:

REQUIRED SPACE - Min 1 per 150 Sq. Ft.  
RESTAURANT GROSS SQ. FT - 8,036 Sq. Ft.

PROVIDE SPACE - 37

UNIT SITE DEVELOPMENT:

TOTAL UNITS - 29 Units - 3 Beds

RESIDENTIAL LOTS 1623 & 1627  
Total Area - 2,9069 Acres

Density For Townhouses  
Total Units - 29 Units  
Calculation - 29/2,906 - 10 Unit/Ac

HEATED AND UNHEATED CALCULATION:

HEATED AREA  
(1 UNIT) - 1,700 sq ft  
(29 UNIT) - 49,300 sq ft

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**GRAND LUXXE TOWNHOMES**  
1623, 1627, 1619, 1621 Lawrenceville Hwy,  
Lawrenceville, GA 30044

SEAL

PRELIMINARY

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REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

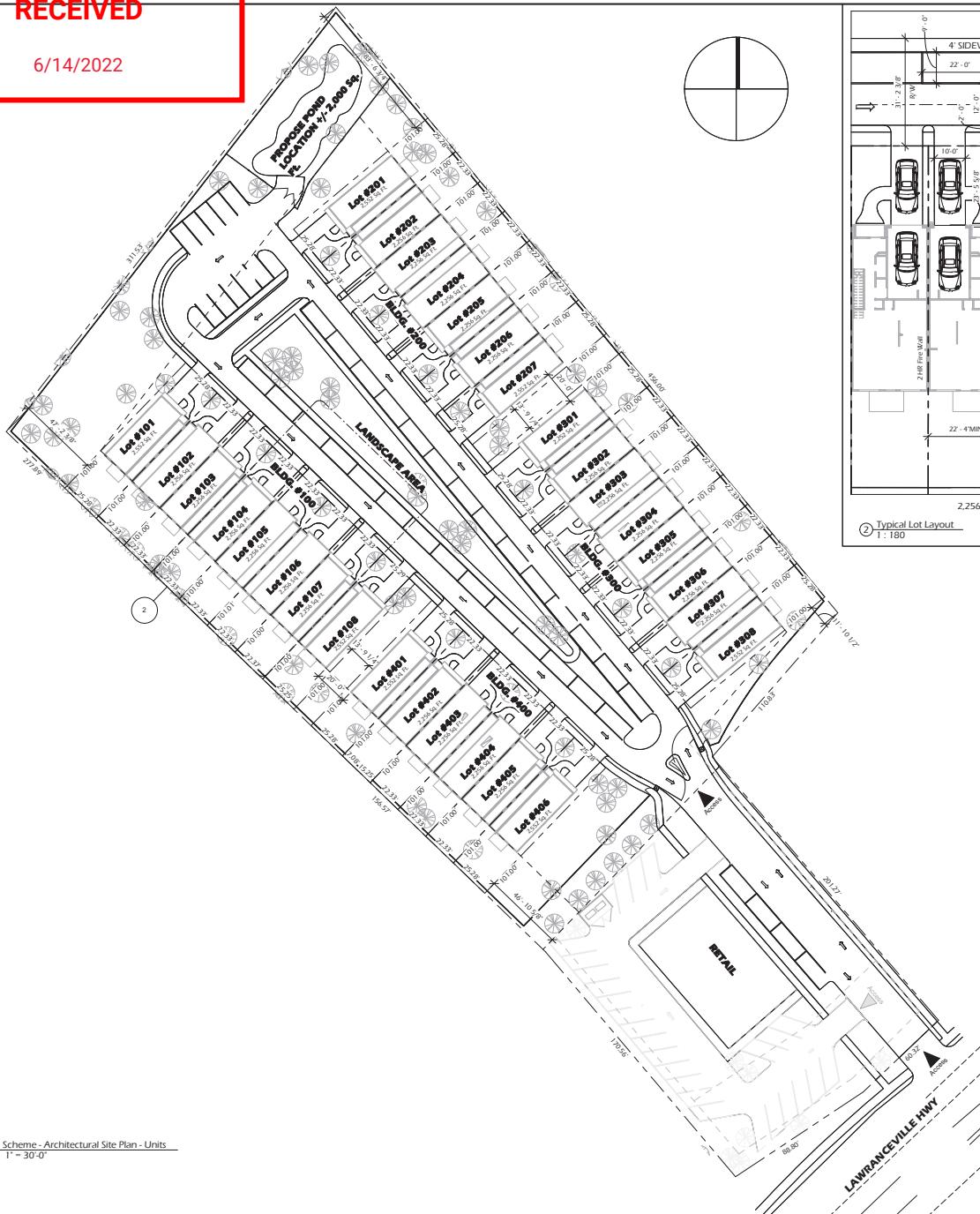
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SITE PLAN -  
TOPO

SHEET No.

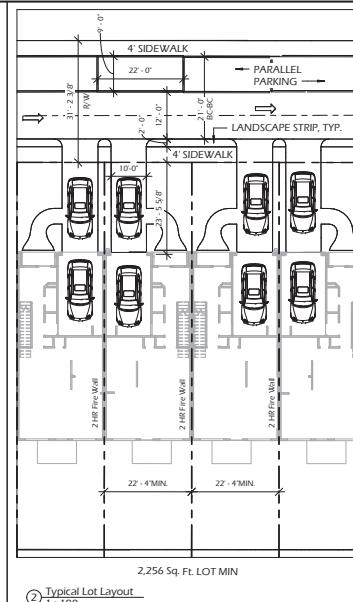
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① Scheme - Architectural Site Plan - Units  
1" = 30'-0"



SITE NOTES:

1. See photometric plan by civil engineer for site lighting layouts.
2. All curb cuts U.D. compliant accessible route does not travel behind or through parking spaces.
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Lawrenceville, GA 30044

SEAL

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REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

LOT  
LAYOUT

SHEET No.

AS103

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GRAND LUXXE TOWNHOMES  
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SEAL

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REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

COVER  
SHEET

SHEET No.

A0

Plans to be printed on sheet Arch D 24" x 36"

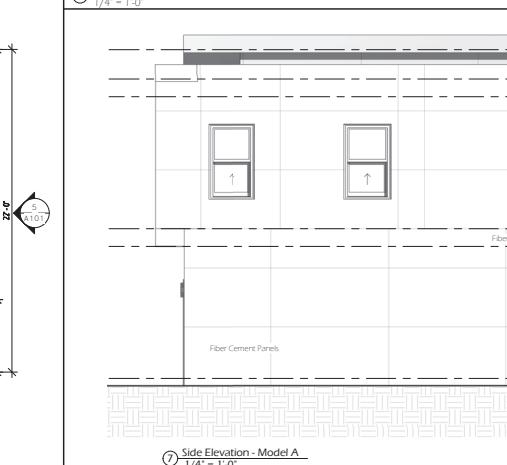
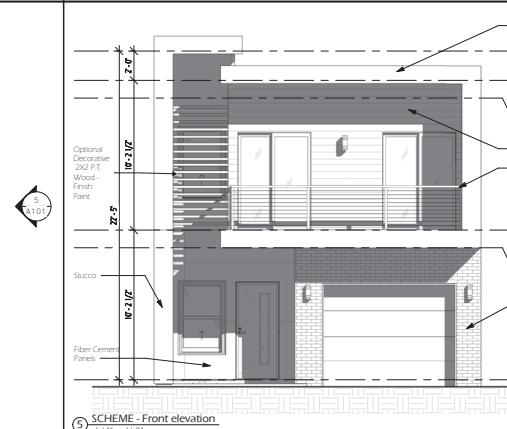
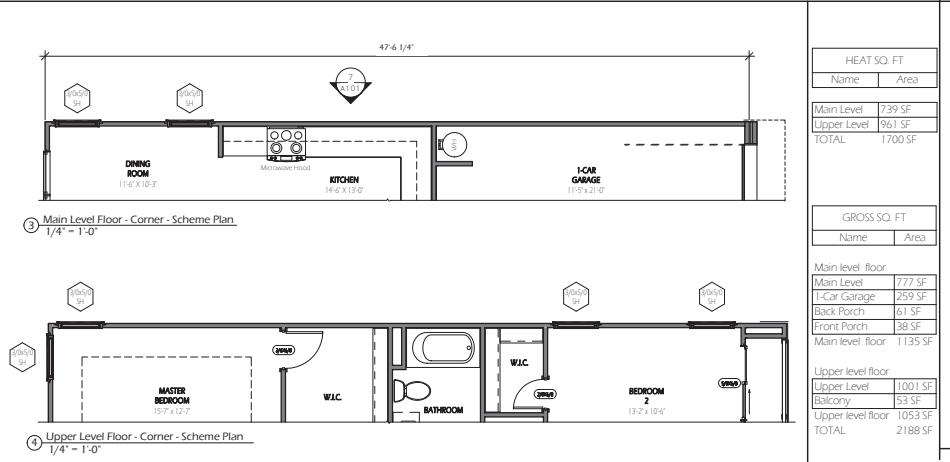
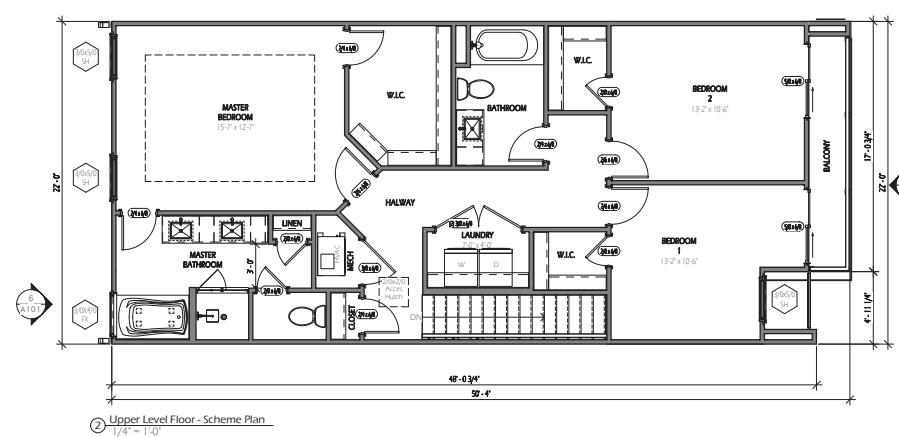
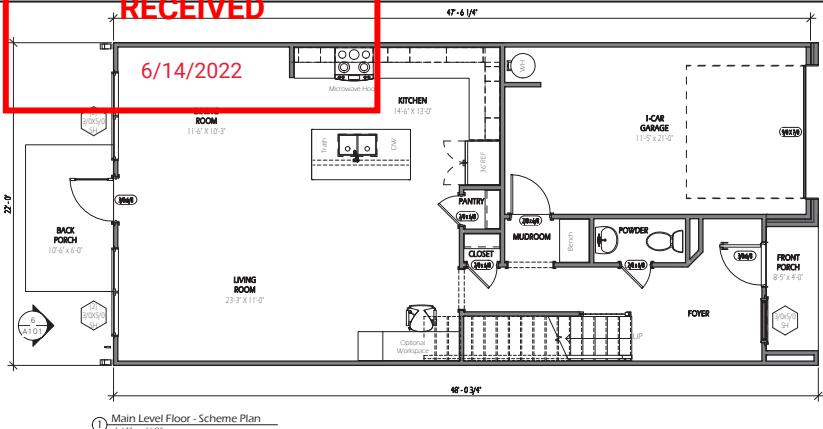


## GRAND LUXXE TOWNHOMES

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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Plans to be printed on sheet Arch D 24" x 36"

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The Luxxe  
Townhomes at 623, 627, 619 Lawrenceville Hwy, Lawrenceville, Ga 30044

SEAL

PRELIMINARY  
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For preview ONLY!

REVISION  
No. Description Date

PROJECT NUMBER 2022-02

SHEET TITLE

Model A -  
Unit Floor  
Plans

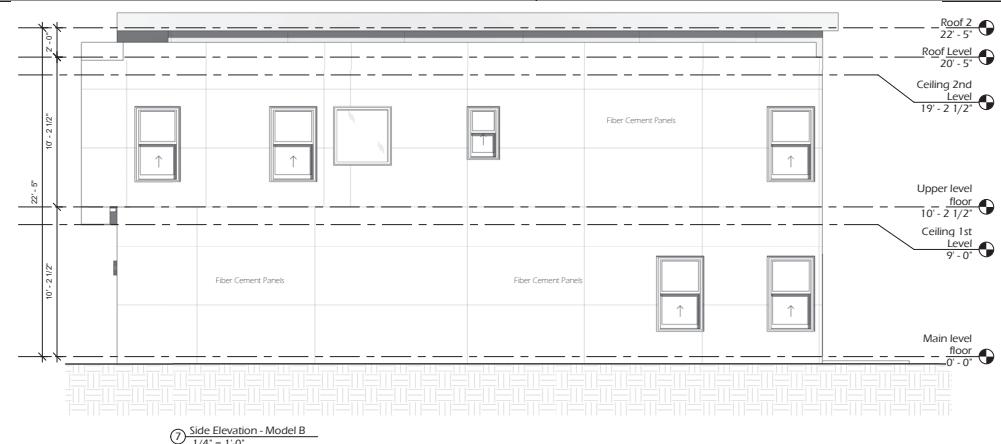
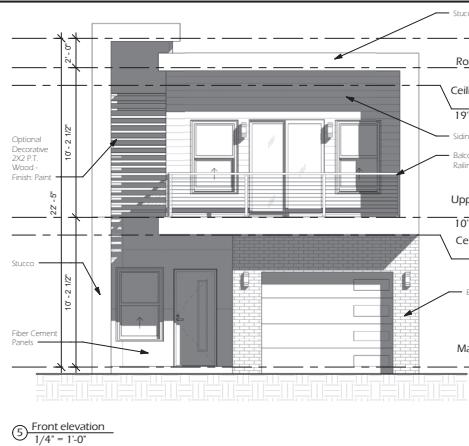
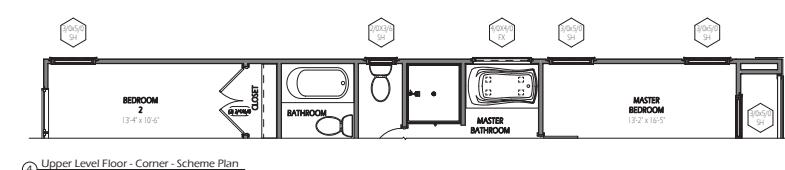
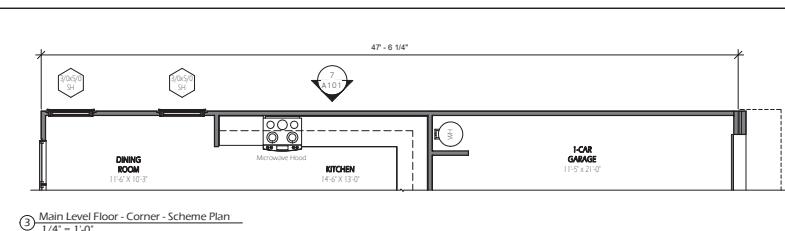
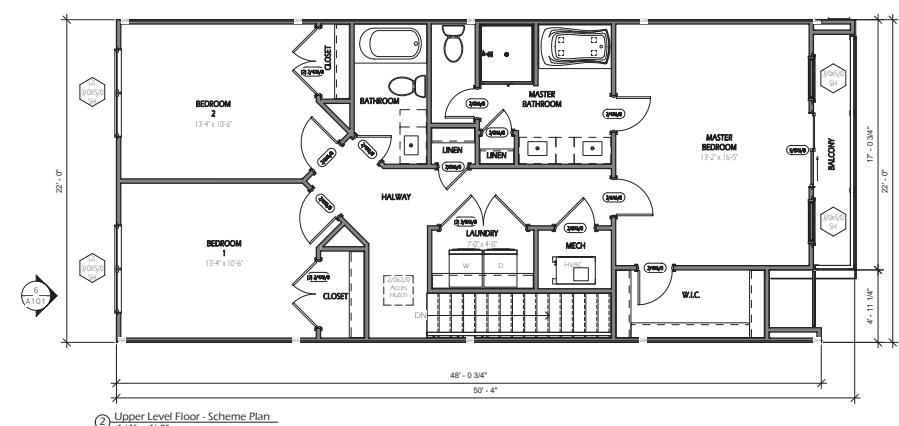
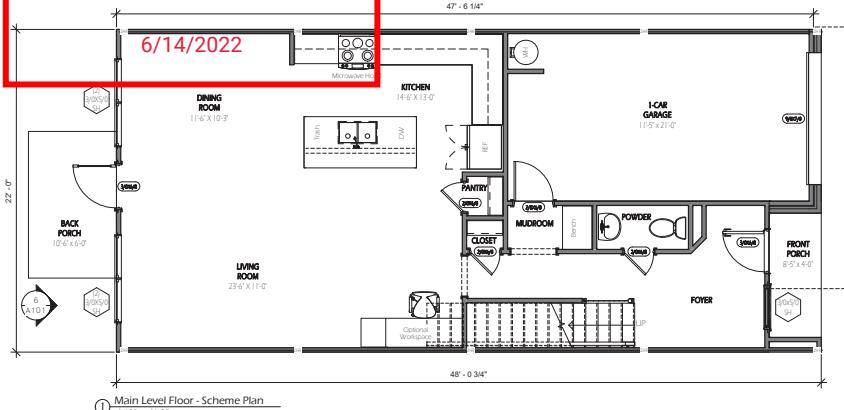
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REVISION  
No. Description Date

PROJECT NUMBER 2022-02

SHEET TITLE

Model B - Unit  
Floor Plans

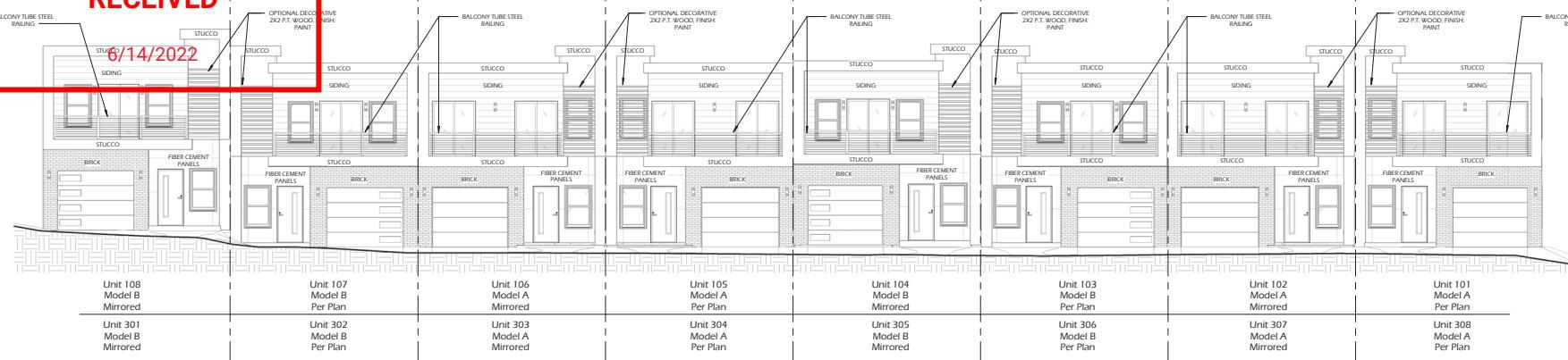
SHEET No.

A101

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

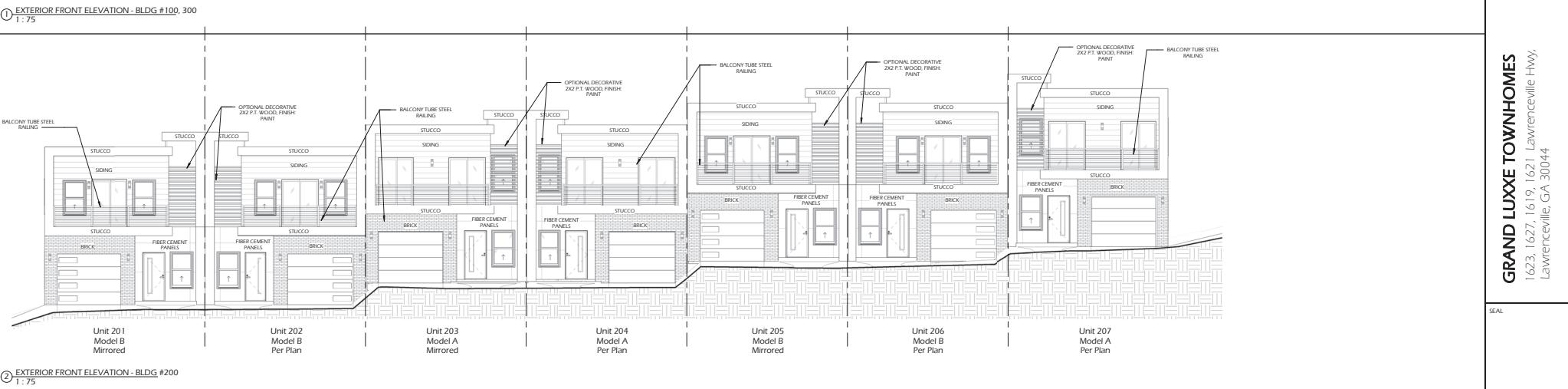
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GRAND LUXE TOWNHOMES  
1623, 1627, 1619, 1621 Lawrenceville Hwy,  
Lawrenceville, GA 30044

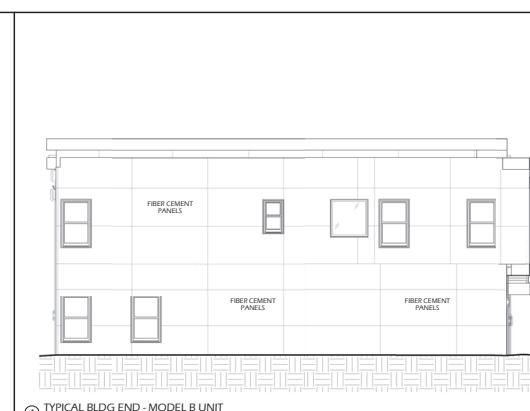
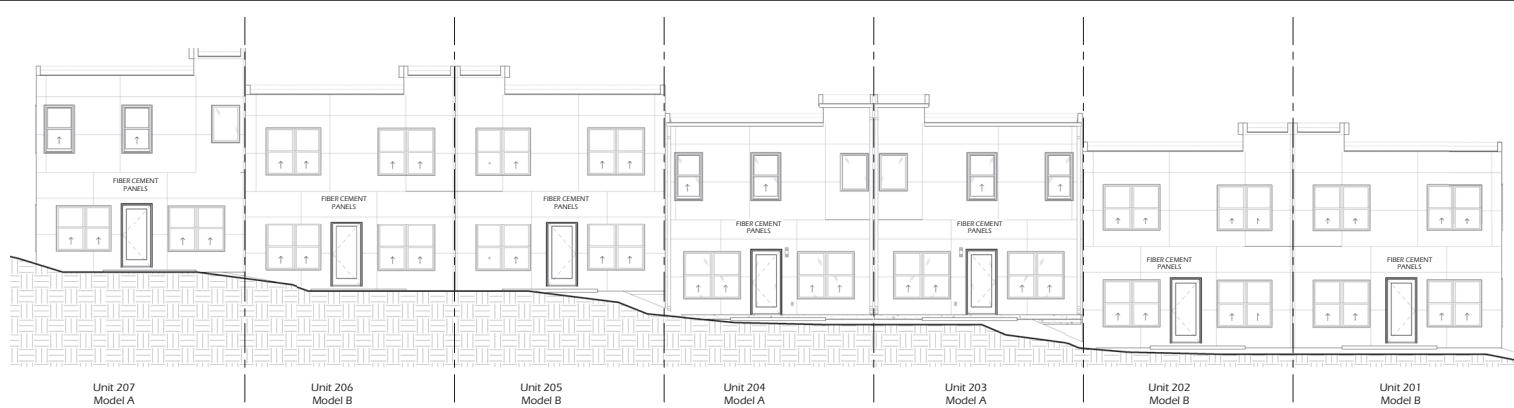
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Plans to be printed on sheet Arch D 24" x 36"

GRAND LUXE TOWNHOMES  
1623, 1627, 1619, 1621 Lawrenceville Hwy,  
Lawrenceville, GA 30044

SEAL

PRELIMINARY  
Not for construction  
Not for permitting  
For preview ONLY!

REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

SHEET TITLE

BUILDING  
ELEVATION

SHEET No.

AS105

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**MEXICAN RESTAURANT**  
6/14/2022  
LAWRENCEVILLE HIGHWAY



NOTE: Renderings are for illustrative purposes only and should not be used as a guide to or an interpretation of the construction documents.

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APPLICABLE CODE INFORMATION

- International Building Code, 2012 Edition, with Georgia Amendments (2014) (2015) (2016)
- International Residential Code, 2012 Edition, with Georgia Amendments (2014) (2015)

MEXICAN RESTAURANT  
1621 & 1619 Lawrenceville Hwy

SEAL

PROJECT INFORMATION

The drawings herein are provided to detail the construction to a commercial building.

The new construction will provide 4,500 heated square feet.

SITE AERIAL PLAN



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REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

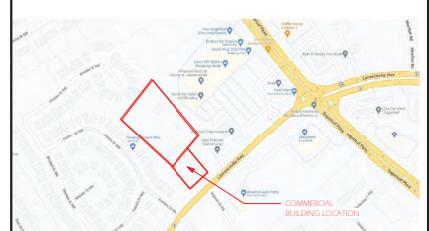
SHEET TITLE

COVER SHEET

SHEET No.

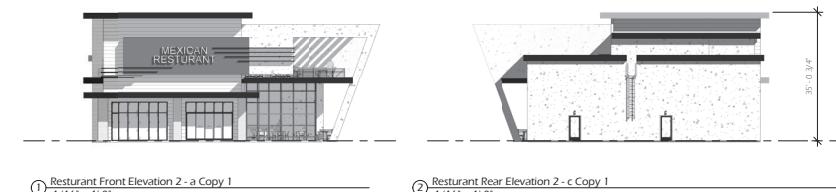
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SITE LOCATION PLAN



Plans to be printed on sheet Arch D 24" x 36"

HEIGHT CALCULATIONS



① Restaurant Front Elevation 2 - a Copy 1  
1/16" = 1'-0"

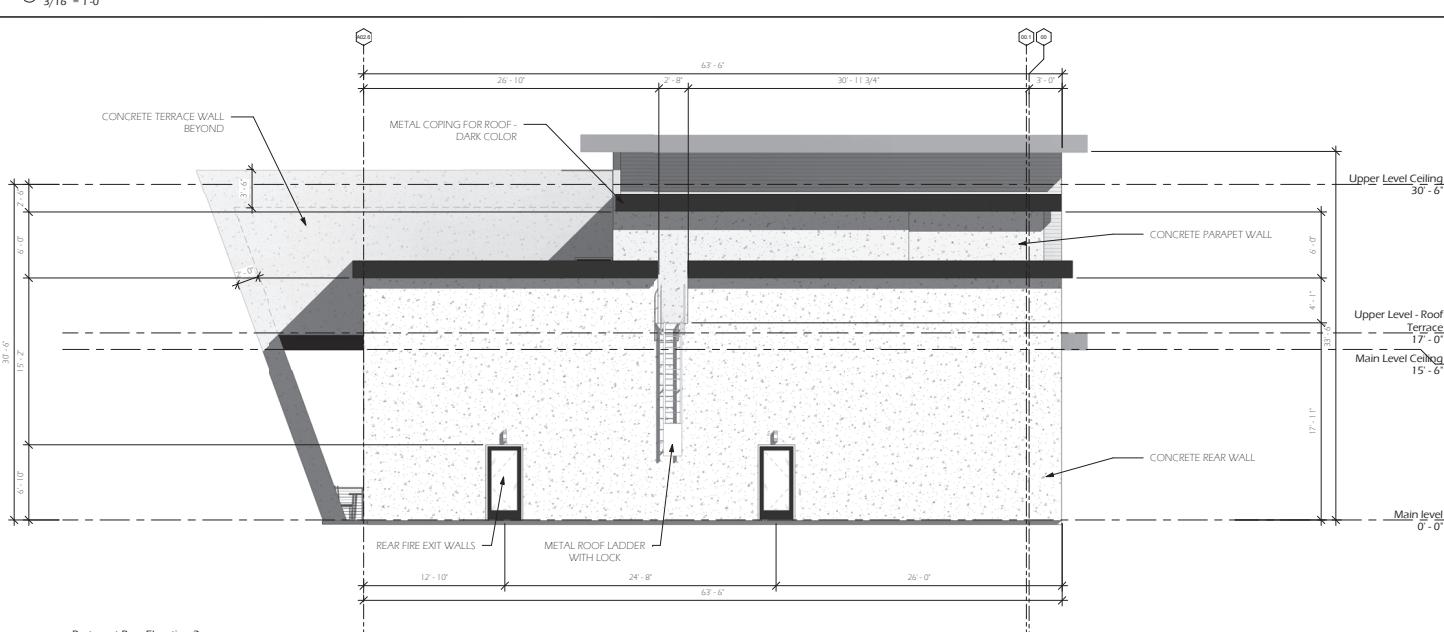
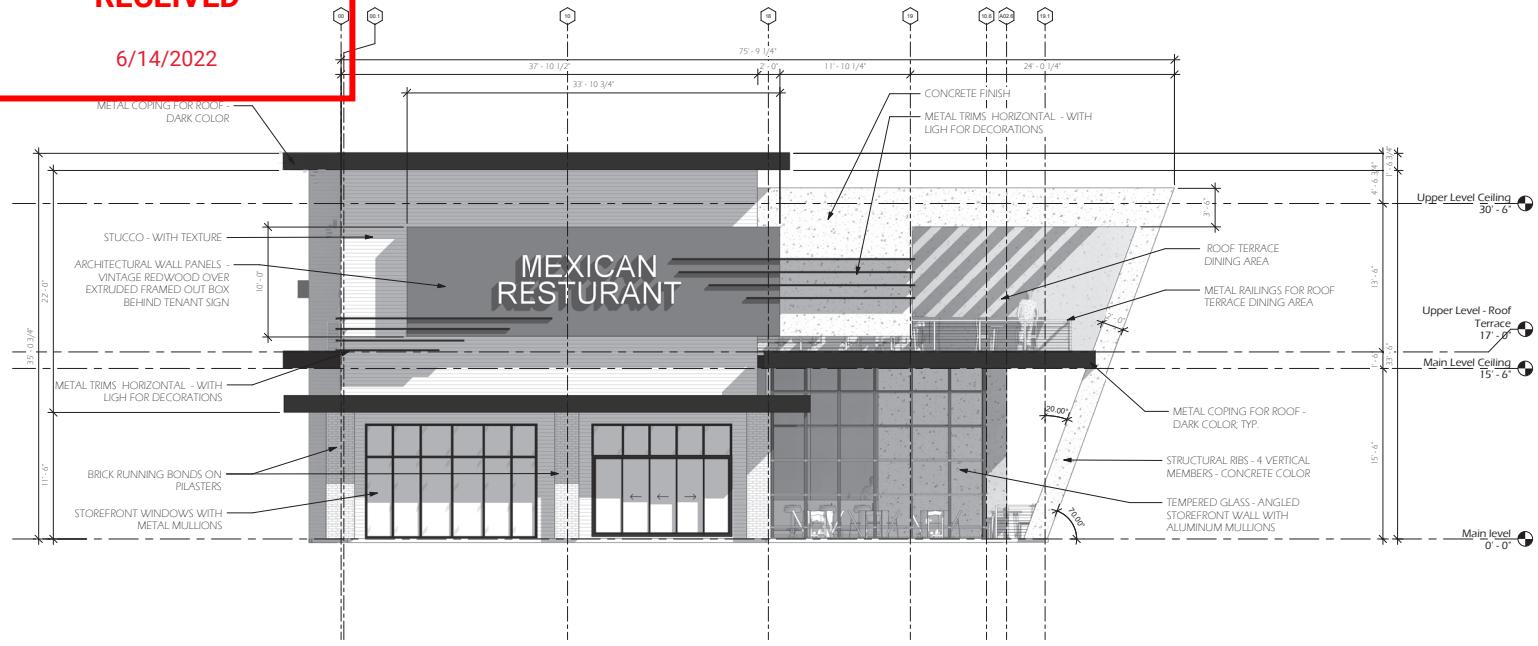
② Restaurant Rear Elevation 2 - c Copy 1  
1/16" = 1'-0"



MUNION

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GENERAL NOTES

- All dimensions are taken from the core face of the wall.
- Contractor to verify all dimensions & Existing site conditions prior to construction.
- Door & Window sizes area given in feet and inches in width and height respectively
- Contractor shall verify all interior finishes, floor coverings, and trim sizes & configurations with owner prior to construction.
- It is the sole responsibility of the contractor to verify clearances of the items mentioned above prior to construction.
- Refer to exterior elevations for exterior wall finishes.
- Refer to Door schedule for dimensions and finishes.
- Refer to Window schedule for dimension and construction.
- All beam sizes to be verified by structural engineer.
- Contractor shall make all necessary modifications during construction process to comply with I.R.C (International residential code), Latest edition, or applicable codes at site.

11. R308.4.6 Glazing adjacent stairs and ramps note: Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered a hazardous location.

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MEXICAN RESTAURANT  
1621 & 1619 Lawrenceville Hwy

SEAL

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REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

ELEVATIONS

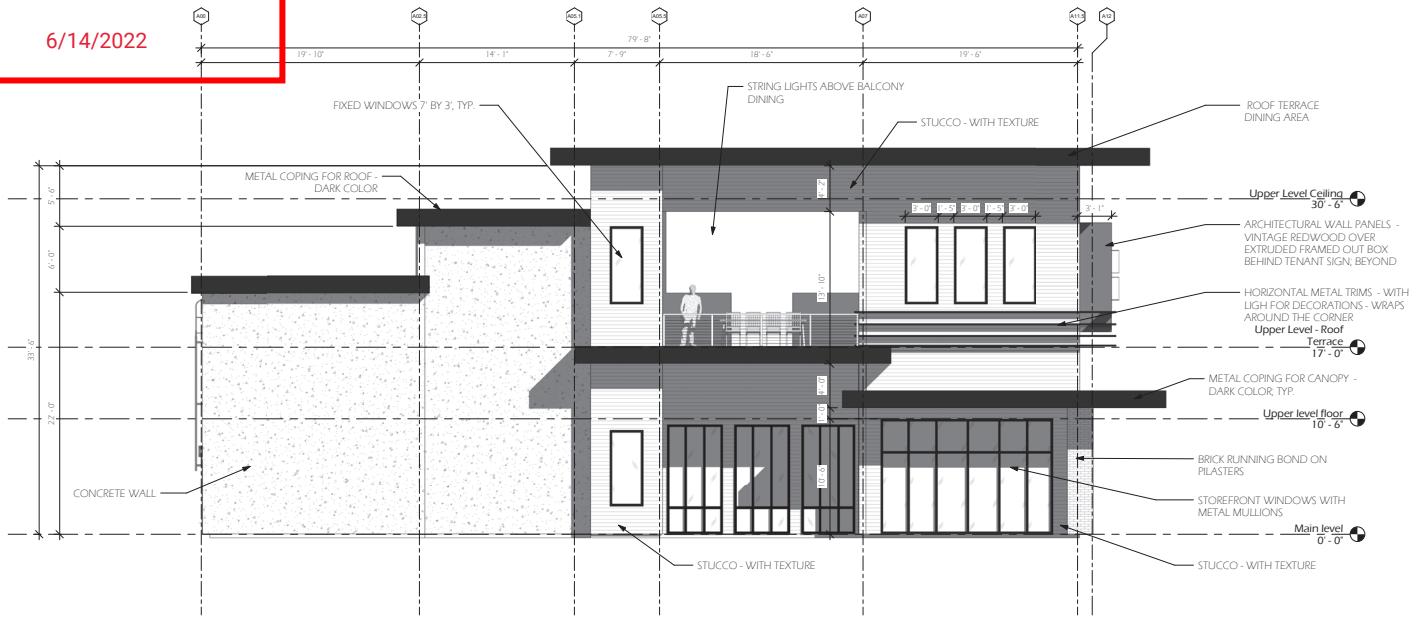
SHEET No.

A3

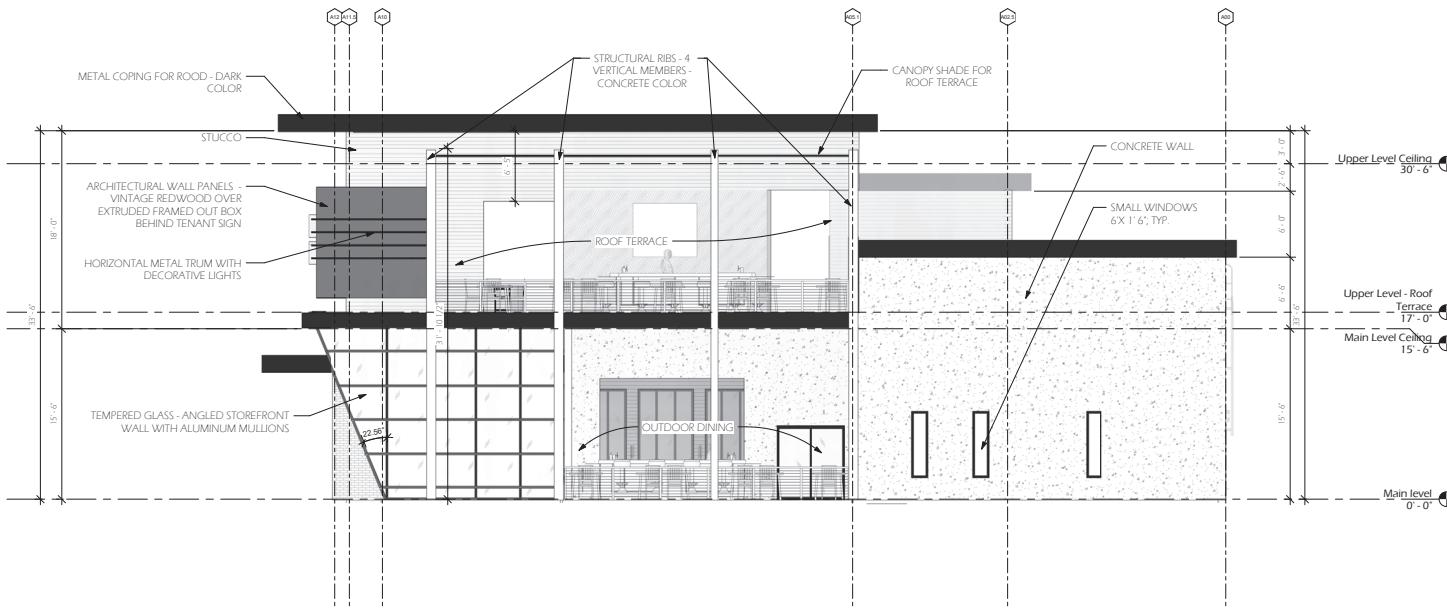
Plans to be printed on sheet Arch D 24" x 36"

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① Restaurant Left Side Elevation 3-b  
3/16" = 1'-0"



② Restaurant Right Side Elevation 2-d  
3/16" = 1'-0"

GENERAL NOTES

1. All dimensions are taken from the core face of the wall.
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4. Contractor shall verify all interior finishes, floor coverings, and trim sizes & configurations with owner prior to construction.
5. It is the sole responsibility of the contractor to verify clearances of the items mentioned above prior to construction.
6. Refer to exterior elevations for exterior wall finishes.
7. Refer to Door schedule for dimensions and finishes.
8. Refer to Window schedule for dimension and construction.
9. All beam sizes to be verified by structural engineer.
10. Contractor shall make all necessary modifications during construction process to comply with I.R.C. (International Residential code), Latest edition, or applicable codes at site.
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REVISION

No.	Description	Date

PROJECT NUMBER 2022-02

SHEET TITLE

ELEVATIONS

SHEET No.

A3.1