

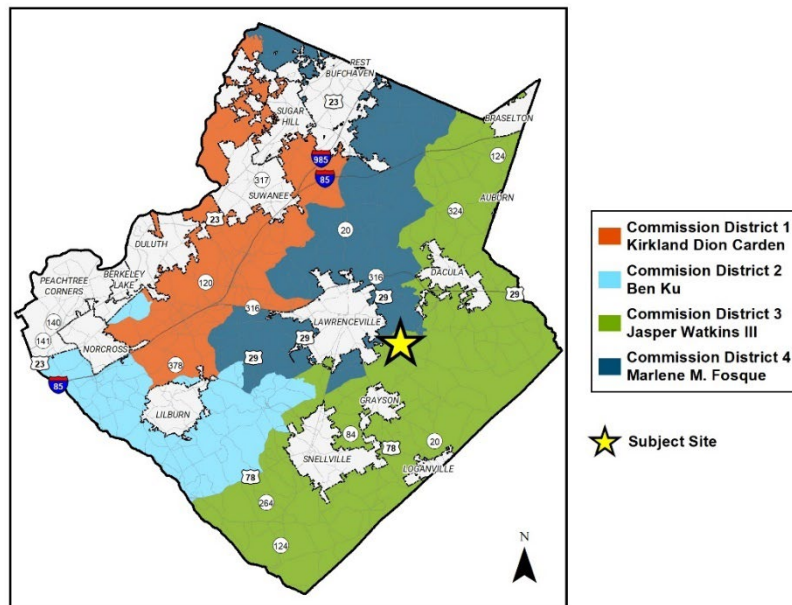


## PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

**Case Number:** RZR2022-00009  
**Current Zoning:** R-100 (Single-Family Residence District)  
**Request:** Rezoning to **OSC** (Open Space Conservation District)  
**Additional Request:** Variance  
**Address:** 1200 Block of New Hope Road  
**Map Numbers:** R5182 035, R5183 431, and R5203 221  
**Site Area:** 53.46 acres  
**Lots:** 106  
**Proposed Development:** Single-Family Detached Subdivision  
**Commission District:** District 3 – Commissioner Watkins  
**Character Area:** Neighborhood Node

**Staff Recommendation:** **APPROVAL WITH CONDITIONS**

**Planning Commission  
Recommendation:** **APPROVAL WITH CONDITIONS**



**Planning Commission Advertised Public Hearing Date: 3/2/2022 (Public Hearing Tabled to 4/11/2022)**

**Board of Commissioners Advertised Public Hearing Date: 3/22/2022 (Public Hearing Held 4/26/2022 Action Tabled to 5/24/2022) Remanded to Planning Commission**

**Planning Commission Readvertised Public Hearing Date: 7/5/2022**

**Board of Commissioners Readvertised Public Hearing Date: 7/26/2022 Remanded to Planning Commission**

**Planning Commission Readvertised Public Hearing Date: 9/6/2022**

**Board of Commissioners Readvertised Public Hearing Date: 9/27/2022**

**Applicant:** H.S. Randall c/o Alliance  
Engineering and Planning  
299 South Main Street  
Alpharetta, GA 30009

**Owner:** Vicki Bowen St Clair  
365 Thornhill Drive  
Braselton, GA 30517

DDW Real Estate Holdings, LLC  
190 Buford Drive,  
Lawrenceville, GA 30046

James Walton  
PO BOX 1285  
Lawrenceville, GA 30046

**Contact:** Tyler Lasser

**Contact Phone:** 770.225.4730

### **Zoning History**

The subject property is zoned R-100 (Single-Family Residence District). No prior zoning requests are on record for this property.

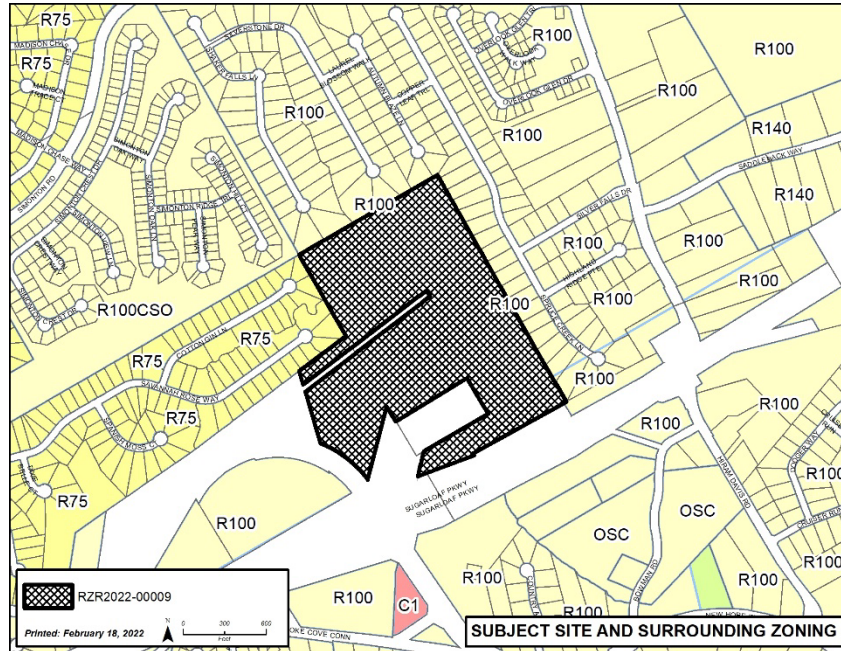
### **Existing Site Condition**

The subject site is a 53.46-acre assemblage of three parcels located at the northeast corner of Sugarloaf Parkway and New Hope Road. The property is undeveloped and wooded. A single-family residence and accessory structures are located on the parcel (R5182 035) nearest to the intersection of New Hope Road and Sugarloaf Parkway. There is roughly 7 acres of County-owned property adjacent to the site's southwest corner, which contains large ponds that appear to encroach onto the subject site near Sugarloaf Parkway. Access to the site is currently provided from a service drive off of New Hope Road. The service drive bisects two of the parcels and culminates close to the western boundary of parcel R5203 221. Additionally, streams and accompanying buffers bisect the site from its northern property line toward its southern property line. The site generally slopes down from the east and west toward the stream near the center of the site by nearly 130 feet in some locations. No sidewalk exists along the frontage of New Hope Road, Sugarloaf Parkway, or the service drive. The nearest Gwinnett County Transit stop is located 4.7 miles from the subject site.

### **Surrounding Use and Zoning**

The subject site is surrounded by single-family detached residences. Falls at North Cliff subdivision is to the north and east, Magnolia Place subdivision is to the west, and Ridge View subdivision is to the northwest of the subject property. The following is a summary of surrounding uses and zoning:





Location	Land Use	Zoning	Gross Density
Proposed	Single Family Detached Subdivision	OSC	1.98 units per acre
North	Single Family Subdivision	R-100	1.9 units per acre
	Single Family Subdivision	R-100 CSO	2.3 units per acre
East	Single Family Subdivision	R-100	1.9 units per acre
South	Single Family Residential	OSC	2.45 units per acre
West	Single Family Subdivision	R-75	1.84 units per acre

## Project Summary

The applicant requests rezoning of a 53.46-acre assemblage of three parcels from R-100 to OSC for a single-family detached subdivision, including:

- 106 single-family detached homes, yielding a density of 1.98 units per acre.
- Minimum heated floor areas of 1,800 square feet.
- Homes constructed of brick, stacked stone, cedar, and/or cementitious shake siding, and board and batten.
- An amenity area including a swimming pool, cabana, and surface parking lot with 20 spaces located near the entrance to the neighborhood.
- Access via a single entrance from the existing service drive, which will be aligned subject to Gwinnett Department of Transportation approval.
- Internal streets with 5-foot-wide sidewalks on both sides.
- Two stormwater management facilities near the northwest portion of the property.
- A portion of two existing regional stormwater facilities which store stormwater runoff from Sugarloaf Parkway.
- Three bio-retention facilities located adjacent to the stream buffer at the north end of the site.
- A 50-foot undisturbed buffer dedicated as secondary conservation area along the southeastern, northeastern, and northwestern property lines, adjacent to R-100 zoned properties.
- A 25-foot undisturbed buffer along the western property line adjacent to R-75 zoned property.
- A 50-foot landscape strip along New Hope Road.

- Common area provided throughout the site in excess of the minimum required 20 percent consisting of an amenity area, multiple pocket parks, and natural and undisturbed areas.
- 444 parking spaces including 424 spaces for the single-family detached lots and 20 spaces for the amenity area.
- A mailbox kiosk located near the entrance of the site next to the parking spaces for the amenity area.

## Zoning and Development Standards

The applicant is requesting a rezoning to OSC, Open Space Conservation District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	≤35'	YES
Front Yard Setback	Minimum 25'	25'	YES
Side Yard Setback	Minimum 7.5'	7.5'	YES
Rear Yard Setback	Minimum 30'	≥30'	YES
Off-Street Parking	Minimum: 318 spaces Maximum: 636 spaces	444 spaces	YES
Heated Floor Area	Minimum: 1,400 square feet	1,800 square feet	YES
Buffer and Transition	50' conservation strip adjacent to R-100 25' conservation strip adjacent to R-75	50' 25'	YES
Conservation area	Total: Minimum 25% or 13.36 acres Primary: 15% of Total or 2 acres	37.37% or 19.98 acres 59.4% or 11.87 acres	YES
Density	Maximum 2.5 units per acre	1.98 units per acre	YES
Streets	Maximum 600' in length	>600 feet	NO*

\*Per UDO sec 210-50.14, Approved cul-de-sac streets may be no longer than 600 feet in length.

## Variance Requests

In addition to the rezoning request, the applicant is seeking a variance from the following provision of Title II of the UDO:

1. Section 210-50.14. Public Improvements.

### ***A. Approved cul-de-sac streets may be no longer than 600 feet in length.***

The two proposed cul-de-sac streets exceed 600 feet in length. The two streets at the eastern part of the site are each more than 1,200 feet and 900 feet long respectively.

## Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and external agency review comments are attached (Exhibit E). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

## Staff Analysis

**Rezoning Request Analysis:** According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

**A. Whether a proposed zoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.**

The surrounding area is characterized by single-family detached residential uses. To the north and east, is the Falls at North Cliff subdivision with a density of 1.90 units per acre. To the west, is Magnolia Place with a density of 1.84 units per acre. To the northwest, is Ridge View with a density of 2.3 units per acre. To the south, across Sugarloaf Parkway, are undeveloped lots zoned OSC. These lots, while currently undeveloped, have been approved for a OSC neighborhood with a density of 2.45 units per acre. A 2021 rezoning request was denied for properties (R5182 004 and 012) to the west, across New Hope Road, for apartments. The proposed density is compatible with the surrounding area. Given that all of the surrounding neighborhoods are lower density single-family detached developments, the requested OSC zoning is compatible with the surrounding uses.

**B. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.**

The existing use and usability of adjacent or nearby properties would not be adversely impacted by a development that is compatible with the density of the surrounding area. The residential use of the proposed development is in character with the surrounding area, and the proposed density is also consistent with the nearby single-family detached subdivisions.

**C. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.**

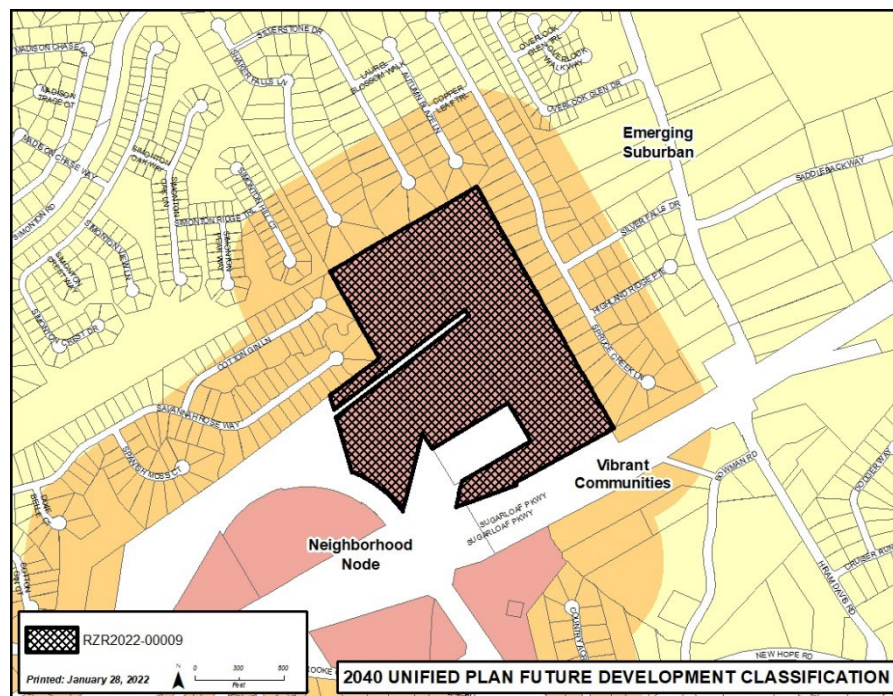
The property has a reasonable economic use as currently zoned.

**D. Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

An increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. An increased impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit E).

**E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map.**

The 2040 Unified Plan Future Development Map indicates the subject property lies within the Neighborhood Node Character Area. This designation is intended for smaller commercial/retail developments at various intersections. The plan emphasizes that future development should maintain the community-oriented feel of these areas, with a focus on creating small mixed-use areas combining retail, low intensity office, and medium density residential uses in a pedestrian friendly environment. While the proposed development does not meet the intent of the 2040 Unified Development Plan, it is compatible with the existing uses in the surrounding area low-density single family residential uses.



**F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning.**

A recent rezoning application RZR2021-00048 approved for the property to the south, for a single-family detached neighborhood, is similar to proposed development. Also, a recent rezoning case RZM2021-00001 for RM-24 zoning to the west was denied in 2021. Other developments in the surrounding area are also predominantly single-family residential. Therefore, approval of rezoning request to OSC would be appropriate, given the character of the area, development pattern, and recent zoning decisions.

**Variance Request Analysis:** The standards for granting variances are outlined in Section 270-100.7 of the Unified Development Ordinance. Staff makes the following findings related to the variance request:

***A. Approved cul-de-sac streets may be no longer than 600 feet in length.***

The requested variance is to allow cul-de-sac streets longer than 600 feet in length. The two streets on the northeastern part of the development are longer than 600 feet. Configuration of the property boundary at the south end of the site, the location of the two existing GDOT stormwater ponds, and division of the property by two streams, present site conditions that limit street connectivity. Therefore, the requested variance meets the criteria outlined in Section 270-100.7 of the Unified Development Ordinance.

**Staff Recommendation**

Based on the staff's evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

In addition, Staff recommends **APPROVAL** of the following variance:

1. To allow streets to be longer than 600 feet without an intersection with another street or an alley.

**Planning Commission Recommendation**

Based on staff's evaluation of the request, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

In addition, Planning Commission recommends **APPROVAL** of the following variance:

1. To allow streets to be longer than 600 feet without an intersection with another street or an alley.

**Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)**

Approval as **OSC (Open Space Conservation District)** for development of a single-family detached subdivision, subject to the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit B: Site Plan dated received August 3, 2022, and Exhibit C: Building Elevations dated received August 3, 2022, with revisions required by conditions of approval and the Unified Development Ordinance, as reviewed and approved by the Department of Planning and Development.
2. The proposed development shall be restricted to single family detached homes and accessory uses and structures with a maximum of 106 lots.
3. The minimum heated floor area shall be ~~1,800~~ **2,000** square feet.
4. All dwellings shall have at least a double-car garage.



5. All dwellings shall be constructed to meet Architectural Design Category 3.
6. A mandatory homeowners association shall be established and shall be responsible for maintenance of all common areas, facilities, and landscaping.
7. Direct lot access to New Hope Road and Sugarloaf Parkway shall be prohibited.
8. Natural vegetation shall remain on the property until the issuance of a development permit.
9. Stormwater BMP facilities shall be screened from view of adjoining properties and rights of way by decorative fencing and/or landscaping that is in compliance with the Gwinnett County Stormwater Management Manual.
10. The New Hope Road frontage shall be landscaped by the developer, where sparsely vegetated, and maintained by the homeowners association.
11. The project entrance along Service Road shall be landscaped by the developer and maintained by the Homeowners Association. The entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval by the Department of Planning and Development.
12. All grassed area shall be sodded.
13. Building lots shall not be located within any required stream buffers and accompanying impervious surface setbacks.
14. Amenities shall be constructed within the development and may include such items as trails, gazebos, benches, fire pits, etc. Off-street unpaved trails and pedestrian connections to the common areas and amenity areas shall be provided throughout the development. The final layout and design of these features shall be subject to the review and approval of the Department of Planning and Development and shall include a stream crossing to provide a pedestrian connection from the cul-de-sac street to road on east side of stream.
15. Prior to the issuance of a development permit, the applicant shall provide a traffic impact study per the requirements of the Gwinnett County Department of Transportation.
16. Prior to the issuance of the first certificate of occupancy, the applicant shall make any improvements recommended by the traffic impact study, subject to review and approval by the Gwinnett County Department of Transportation.
17. The existing 12-inch water main on Sugarloaf Parkway shall be extended across the frontage of the property, subject to the review and approval of the Gwinnett County Department of Water Resources.
18. The developer shall construct and dedicate to Gwinnett County Department of Water Resources approximately 120 feet of new 12-inch sewer line from manhole FID 223582 from Silverstone Drive to the 30-inch interceptor between manhole FIDs 1166401 and 1166400. The developer shall cap the 8" sewer line in a location and manner to be approved by GCDWR, between manhole FIDs 223582 and 223534. The developer shall be responsible for ensuring service connections affected by the cap are tied into an active sewer line.

19. The master amenity area shall be provided as shown on Exhibit B: Site Plan dated received August 3, 2022, and shall include at a minimum a pool and a cabana.

**20. No more than 10% can be rental at any given time.**



**Exhibits:**

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Internal and External Agency Review Comments
- F. Maps

## **Exhibit A: Site Visit Photos**

**[attached]**



View of Service Drive that bisects two of the parcels



Site View from Service Drive





Site View from the New Hope Road and Service Drive Intersection



View of the ponds at the southwest corner of the site

**Exhibit B: Site Plan**

**[attached]**



8/3/2022

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**Exhibit C: Building Elevations**

**[attached]**



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## BUILDING CODE ANALYSIS

8/3/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ 5/8" TYPE "X" GYPSUM BD. CEILING W/  
HOUSE ASSEMBLY: 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

## GENERAL NOTES:

## SITE CONSTRUCTION:

- SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

## FRAMING:

- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.
- PROVIDE 1x6 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R602, R802.7.

## THERMAL &amp; MOISTURE PROTECTION:

- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
- PROVIDE ICE-SHIELD PER CODE.
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

## DOORS &amp; WINDOW:

- WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.
- REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.
- FRONT DOOR WIDTH AS REQUIRED BY CODE.
- GARAGE DOOR AS REQUIRED BY CODE.
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

## INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATTS MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTS MINIMUM. VERIFY

ATWOOD  
ELEVATION "D"

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TAYLOR MORRISON. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TAYLOR MORRISON IS STRICTLY PROHIBITED.
- MAIN STREET DESIGNS OF GEORGIA, LLC DESIGNS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC).
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF MAIN STREET DESIGNS OF GEORGIA, LLC. IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY MAIN STREET DESIGNS OF GEORGIA, LLC PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.
- FLAME SPREAD AND SMOKE DENSITY NOTES:

## WALLS AND CEILING:

WALL AND CEILING FINISHES SHALL HAVE A FLAME - SPREAD CLASSIFICATION OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

## INSULATION:

IF BATT OR BLANKET INSULATION, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR OTHER VAPOR PERMEABLE MEMBRANES ARE LEFT EXPOSED (IN AREAS LIKE UNFINISHED BASEMENTS), THE MATERIAL SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FLAME-SPREAD AND SMOKE-DEVELOPMENT LIMITATIONS DO NOT APPLY TO FACINGS THAT IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.

EXCEPT WHERE OTHERWISE NOTED IN SECTION R314.2, ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPMENT RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.

R314.1.2 THERMAL BARRIER, FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2-INCH (12.7 MM) GYPSUM BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F (121°C) AFTER 15 MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTION R702.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE WHEN EXPOSED TO FIRE SHALL BE PROHIBITED.

## APPLICABLE CODES

THE GEORGIA STATE MINIMUM STANDARDS CODES:

- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
- NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

## Sheet List

Sheet #	Description
CS-1.0D	Cover Sheet - General Notes
F-0.0D	Slab Plan
F-0.1D	Basement Plan
A-1.0D	First Floor Plan & Options
A-2.0D	Second Floor Plan & Options
A-3.0D	Front & Left Elevation / Roof Plan
A-3.1D	Rear & Right Elevation
A-3.2D	Opt. Ext. Covered Outdoor Living
A-3.3D	Opt. Full Brick
A-4.0D	Building Sections
A-4.1D	Building Sections W/ Basement
E-0.1D	Basement Electrical Plan
E-1.0D	First Floor Electrical Plan
E-2.0D	Second Floor Electrical Plan

## AREA CALCULATIONS:

Square Footages	
Area	Elevation D
First Floor	1234 SF
Second Floor	1471 SF
Total Living	2705 SF
Garage	456 SF
Porch	116 SF
Patio	120 SF
Total Under Roof	3397 SF
Opt. Basement	1225 SF
Opt. Ext. Covered Outdoor Living	220 SF

## REVISIONS:

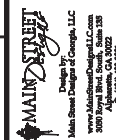
NUMBER:	DATE:	DESCRIPTION:
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## Designer:

Main Street Designs of Georgia, LLC  
www.MainStreetDesignsLLC.com  
3050 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
O. (404) 480-3881

## Builder:

Taylor Morrison  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Revised Date:  
8/18/2020

Model: Atwood  
Drawing File:  
Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:

ATWOOD

Division:

Atlanta

Municipality:

County

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

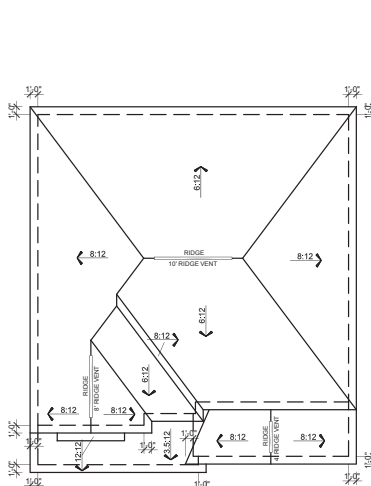
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CS-1.0D

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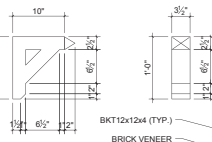
8/3/2022

ATTIC VENTILATION	
ROOF "D"	
1511 SQ FT UNDER ROOF ATTIC	
300 SQ FT / 1 SQ FT = 5.10 SQ FT VENTILATION	
ROOF VENTS 18 SQ IN = (.0025 SQ FT)	
SOFFIT VENTS 9 SQ IN = (.0025 SQ FT)	
BOX VENTS 50 SQ IN = (.347 SQ FT)	
5.10 SQ FT x 40% = 2.041 SQ FT OF RIDGE	
5.10 SQ FT x 60% = 3.062 SQ FT OF SOFFIT	
RIDGE VENT	
2.041 SQ FT = 16.3 FEET OF RIDGE VENT	
0.125 SQ FT	
SOFFIT VENT	
3.062 SQ FT = 49.0 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	18 FEET
ACTUAL SOFFIT VENT PROVIDED	144 FEET
NUMBER OF BOX VENTS NEEDED	-0.6 COUNT
(REQ - ACTUAL x .347)	(NEGATIVE = 0)
PORCH ROOF "D"	
251 SQ FT UNDER ROOF ATTIC	
300 SQ FT / 1 SQ FT = 0.84 SQ FT VENTILATION	
RIDGE VENTS 18 SQ IN = (.0025 SQ FT)	
SOFFIT VENTS 9 SQ IN = (.0025 SQ FT)	
BOX VENTS 50 SQ IN = (.347 SQ FT)	
0.84 SQ FT x 50% = 0.418 SQ FT OF RIDGE	
0.84 SQ FT x 50% = 0.418 SQ FT OF SOFFIT	
RIDGE VENT	
0.418 SQ FT = 3.3 FEET OF RIDGE VENT	
0.125 SQ FT	
SOFFIT VENT	
0.418 SQ FT = 6.7 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	4 FEET
ACTUAL SOFFIT VENT PROVIDED	27 FEET
NUMBER OF BOX VENTS NEEDED	-0.2 COUNT
(REQ - ACTUAL x .347)	(NEGATIVE = 0)
COV'D OUTDOOR LIVING ROOF	
129 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (.0025 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.800 SQ FT = 12.8 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET

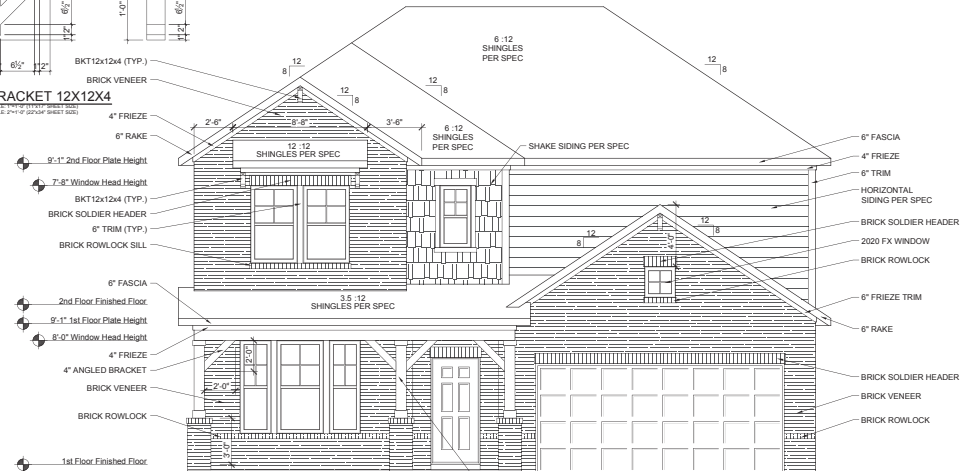


ROOF PLAN "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)

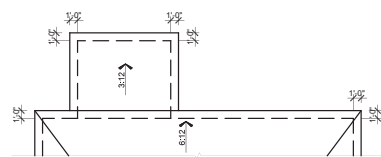
ALCOVY CREEK



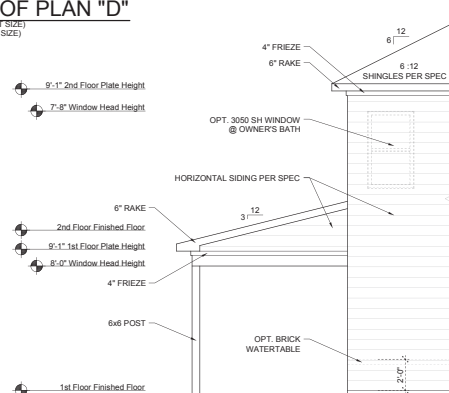
BRACKET 12X12X4  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



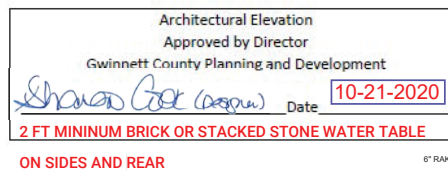
FRONT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



ON SIDES AND REAR

Architectural Elevation

Approved by Director  
Gwinnett County Planning and Development

*Sharon Goss (owner)* Date **10-21-2020**

2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE

9'-1" 2nd Floor Plate Height

7'-8" Window Head Height

8'-12" SHINGLES PER SPEC

OPT. 3050 SH WINDOW @ OWNER'S BATH

HORIZONTAL SIDING PER SPEC

2nd Floor Finished Floor

9'-1" 1st Floor Plate Height

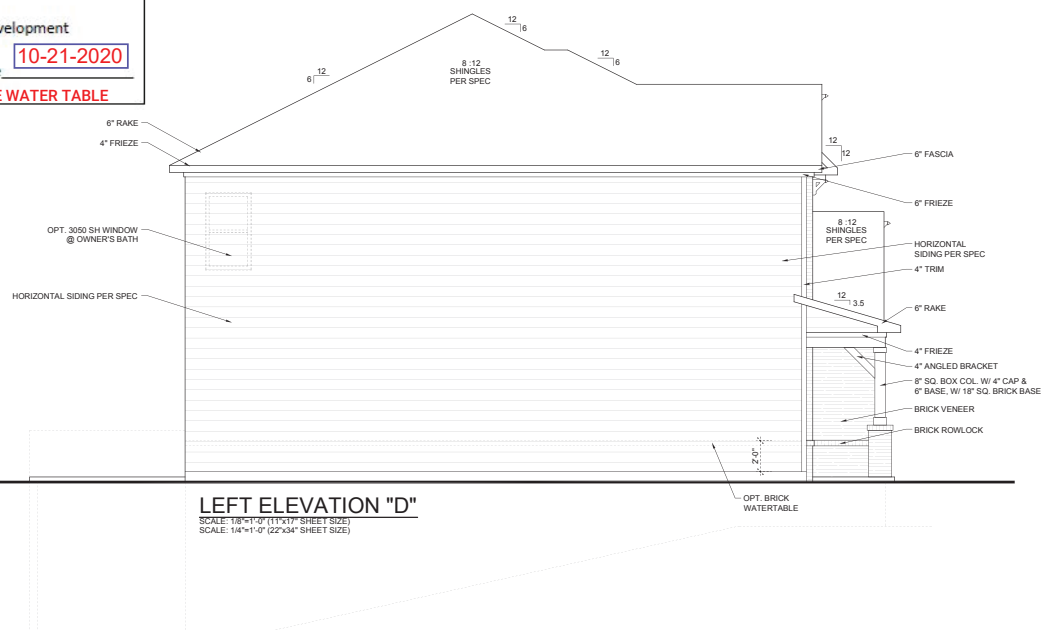
8'-0" Window Head Height

1st Floor Finished Floor

8'-9 1/2" Basement Plate Height

7'-8" Window Head Height

Basement Finished Floor



LEFT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

MAIN STREET  
Design by Concept LLC  
Main Street Design & Construction, LLC  
3000 Royal Blvd. South, Suite 135  
Atlanta, GA 30322  
(404) 525-9900

Revised Date:  
**8/18/2020**

Model:  
**Atwood**

Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Lot Number:  
**A-3.0D**

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
**A-3.0D**

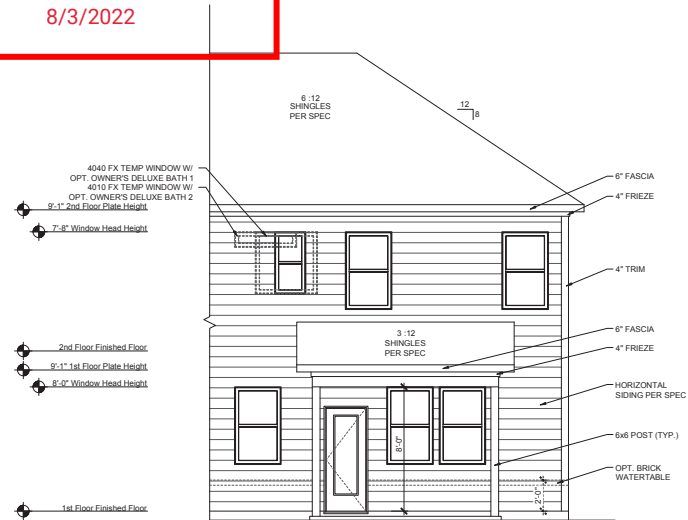
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

taylor morrison  
Homes Inspired by You

Elevations / Roof Plan  
Front & Left

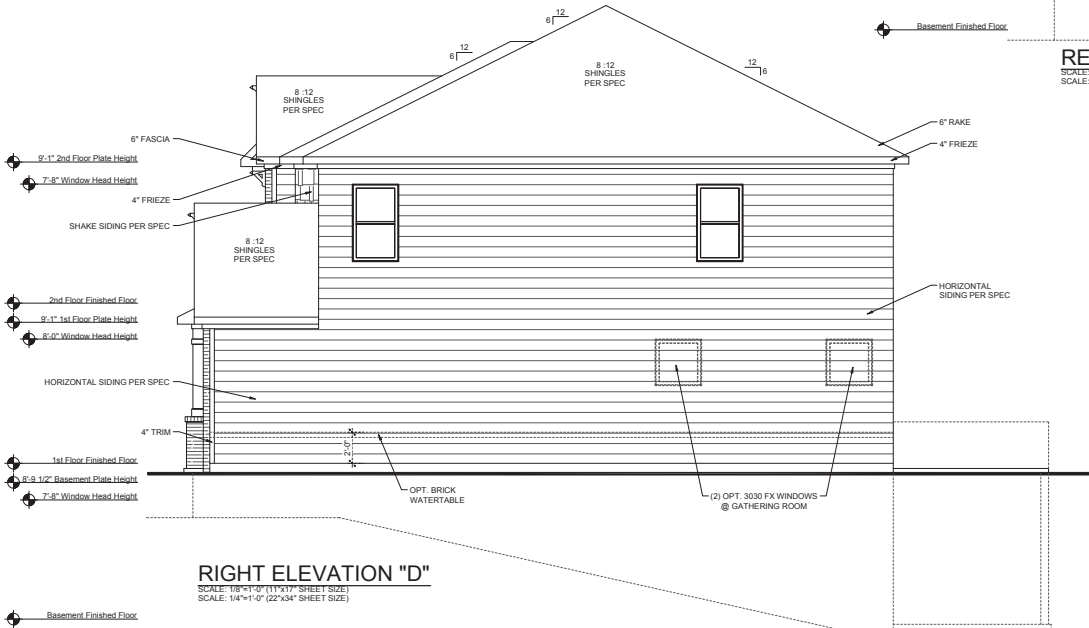
RECEIVED

8/3/2022



OPT. COVERED OUTDOOR LIVING  
PARTIAL REAR ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



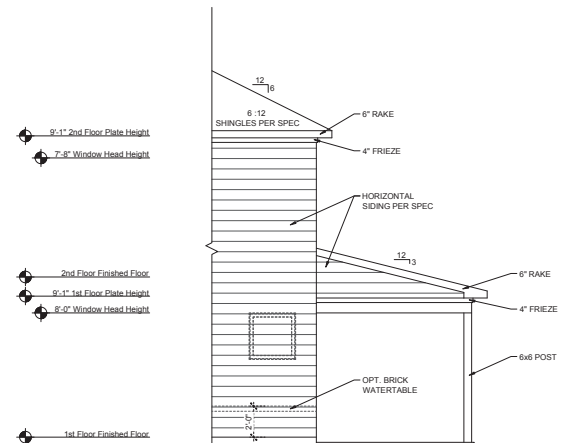
RIGHT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



REAR ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model: Atwood  
Drawing Title: Elevations  
Option Description: Rear & Right

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



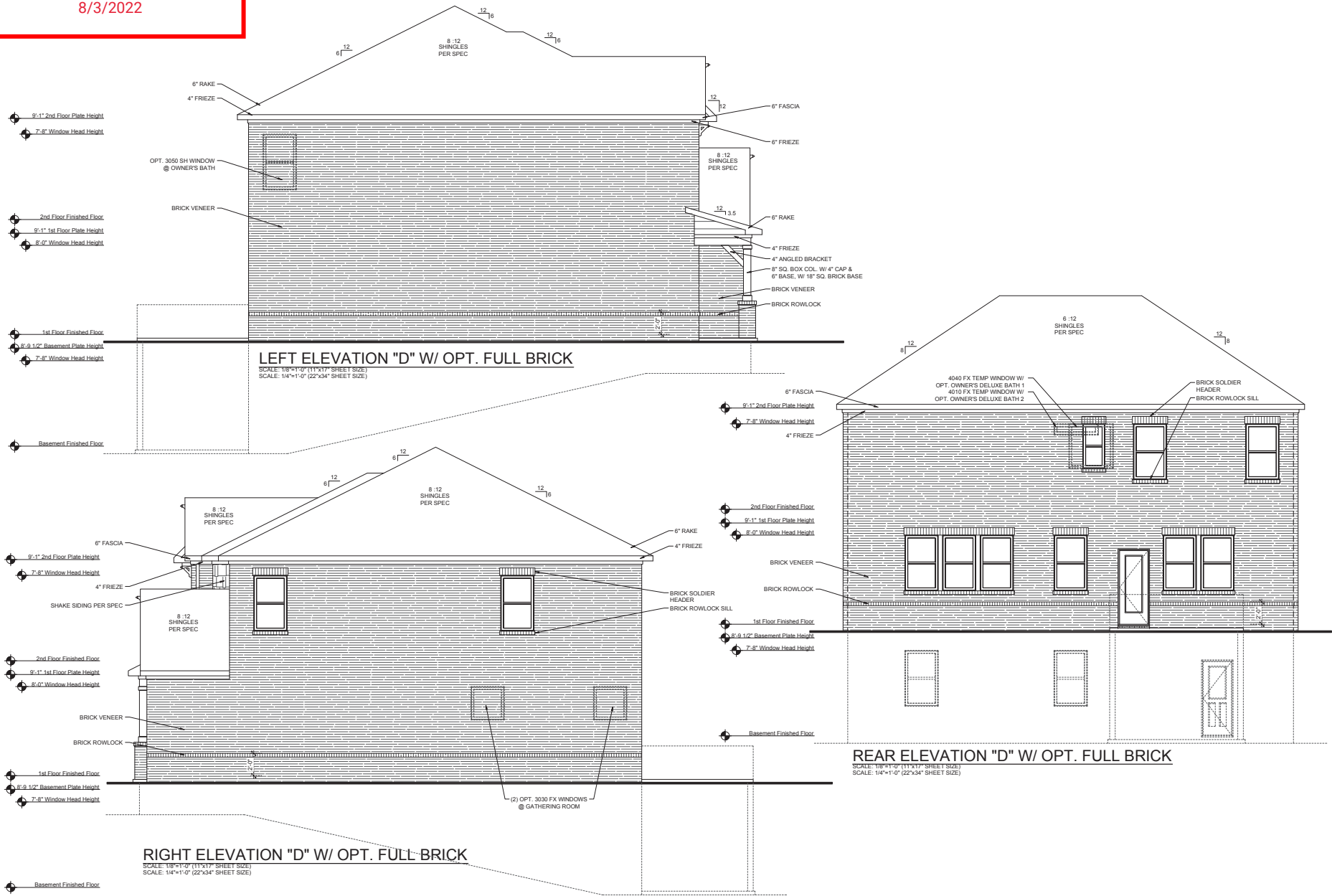
Plan Name: ATWOOD  
Division: Atlanta  
Municipality: County  
Community:

Lot Number:  
Scale: 11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
A-3.1D



RECEIVED

8/3/2022



**MAIN STREET**  
Design by: Gwinnett, LLC  
Main Street Design & Construction, LLC  
3000 Royal Blvd., Suite 300  
Atlanta, GA 30329  
404.944.9444

Revised Date:  
8/18/2020

Model: **Atwood**  
Drawing Title: **Elevations**  
Option Description: **Opt. Full Brick**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 943-3600

**taylor morrison**  
Homes Inspired by You

Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.3D**

**Exhibit D: Letter of Intent and Applicant's Response to Standards**

**[attached]**

**Exhibit E: Internal and External Agency Review Comments**

**RECEIVED**

8/3/2022

## **Applicant's Letter of Intent**

Rezoning R-100 to OSC

Parcel # 5182-035, 5183-431, 5203-221

The Applicant, H.S. Randall, requests a rezoning for the purpose of constructing a single-family detached residential subdivision. The approximately 53.46-acre site is located at the northeast corner of Sugarloaf Parkway and New Hope Road. There is roughly 7 acres of additional right-of-way adjacent to the site's southwest corner, which contains large ponds that encroach onto the subject site near Sugarloaf Parkway. Additionally, large streams and accompanying buffers bisect the site from its northern property line toward its southern property line. To develop the site as proposed, the applicant requests a rezoning from R-100 (Single-Family Residence District) to OSC (Open Space Conservation District). The development will include up to 106 homes, amounting to a density of only 1.98 units per acre. Each unit will include a two-car garage, and will be constructed with a mixture of brick, stone, and fiber cement siding. The community will incorporate a main amenity area near the front of the site that will include a pool, cabana, and the resident's mail kiosk. The amenity area can be easily accessed by residents and guests by way of sidewalks on both sides of the internal streets. However, the amenity area will also feature a parking area for vehicular access. In addition to the main amenity area, a series of pocket parks will be provided throughout the community. All common areas will be maintained by an HOA. Adjacent to the Falls at Northcliff subdivision (R-100), the Applicant will provide a 50-foot conservation space strip, and a where adjacent to the Magnolia Place subdivision (R-75), the Applicant will provide a 25-foot conservation space strip. For further division between the subject site and the neighboring subdivisions, where applicable, a black coated chain-link fence will be provided along the exterior property lines adjacent to the R-100 and R-75 subdivisions. It should be noted that the Applicant will deliver a 10% rental cap on homes within the subdivision. In addition to being amongst other OSC or other conservation subdivisions in proximity, the subject site is located within the Neighborhood Node character area, which lists single-family residential development as a potential development type. The proposed single-family community therefore meets the intent of and is the least intense use that is encouraged within the character area. The Neighborhood Node character area also encourages apartments, townhomes, senior living facilities, shopping plazas and mixed-residential developments, which would have a greater impact on the surrounding area. Concurrently with the rezoning request, the Applicant requests a variance to allow streets, including those with cul-de-sacs, to exceed 600 feet in length.

The Applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide an exceptional residential community in a highly desirable section of the county.



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### **Standards Governing the Exercise of the Zoning Power**

To further demonstrate that the proposed rezoning and land use is consistent with the intent of the UDO and 2040 Unified Plan, the applicant submits its response to the Standards Governing Exercise of the Zoning Power as follows:

**(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:**

Rezoning the subject site to OSC permits a use that is suitable in relation to the adjacent and nearby properties. The surrounding area is primarily single-family detached subdivisions, including other OSC subdivisions, which is consistent with the proposed use.

**(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:**

The proposed rezoning will not adversely affect the use of the surrounding properties as it will maintain a residential use and will maintain a significant amount of open space.

**(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:**

Due to the site constraints, including irregular topography, streams and location of the property, the applicant believes that the subject property does not have a reasonable economic use as currently zoned. The applicant submits the requested zoning would allow for a use more compatible with the pattern of development in the area.

**(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:**

The rezoning will not result in an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

**(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:**

The proposed rezoning is in conformity with the intent of the 2040 Unified Plan. The subject property is located within the Neighborhood Node character area, which encourages single-family residential.

**(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:**

The pattern of residential infill development in the area and the proposed development's consistency with the land use of the adjacent properties are among reasons for the approval of the proposed rezoning.

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Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

**Exhibit E: Internal and External Agency Review Comments**

**[attached]**

<b>TRC Meeting Date:</b>		2.16.22	
<b>Department/Agency Name:</b>		Transportation	
<b>Reviewer Name:</b>		Brent Hodges	
<b>Reviewer Title:</b>		Construction Manager 1	
<b>Reviewer Email Address:</b>		<a href="mailto:Brent.hodges@gwinnettcounty.com">Brent.hodges@gwinnettcounty.com</a>	
<b>Case Number:</b>		RZR2022-00009	
<b>Case Address:</b>		1210 New Hope Road	
<b>Comments:</b>		<input checked="" type="checkbox"/> <b>X</b>	<input type="checkbox"/> <b>YES</b>
		<input type="checkbox"/>	<input type="checkbox"/> <b>NO</b>
1	New Hope Road is a Major Collector. ADT = 7,313. 4.7 miles to nearest Transit facility #2335042 Johnson Road & L&ing Plaza.		
2	Sidewalk required along entire frontage of New Hope Road and Service Road.		
3	Specify interior streets as private or right-of-way.		
4	Provide Traffic Calming for interior streets if they are classified as right-of-way.		
5	Developer to landscape frontage of New Hope Road at corner of Service Drive.		
6			
7			
<b>Recommended Zoning Conditions:</b>		<input checked="" type="checkbox"/> <b>X</b>	<input type="checkbox"/> <b>YES</b>
		<input type="checkbox"/>	<input type="checkbox"/> <b>NO</b>
1	Applicant must provide a traffic impact study. Coordinate with GCDOT Director of Traffic Engineering to set up the parameters of the study.		
2	Applicant will accept GCDOT recommendations based on the results of the Impact study.		
3			
4			
5			
6			

<b>TRC Meeting Date:</b>		Wednesday, February 16, 2022	
<b>Department/Agency Name:</b>		DWR	
<b>Reviewer Name:</b>		Mike Pappas	
<b>Reviewer Title:</b>		GIS Planning Manager	
<b>Reviewer Email Address:</b>		Michael.pappas@ <a href="mailto:Michael.pappas@gwinnettcounty.com">gwinnettcounty.com</a>	
<b>Case Number:</b>		RZR2022-00009	
<b>Case Address:</b>		1210 New Hope Road	
<b>Comments:</b>		<input checked="" type="checkbox"/> <b>X</b>	<input type="checkbox"/> <b>YES</b>
		<input type="checkbox"/>	<input type="checkbox"/> <b>NO</b>
<b>1</b>	WATER: The development may connect to an existing 12-inch water main located on the north right-of-way of Sugarloaf Pkwy.		
<b>2</b>	SEWER: A Sewer Capacity Certification is currently under evaluation by DWR due to limited capacity.		
<b>3</b>			
<b>4</b>			
<b>5</b>			
<b>6</b>			
<b>7</b>			
<b>Recommended Zoning Conditions:</b>		<input checked="" type="checkbox"/> <b>X</b>	<input type="checkbox"/> <b>YES</b>
		<input type="checkbox"/>	<input type="checkbox"/> <b>NO</b>
<b>1</b>	WATER: The existing 12-inch water main on Sugarloaf Pkwy must be extended across the frontage of the property.		
<b>2</b>	SEWER: Hydraulic model results indicate that approximately 2,500 feet of existing 8-inch sewer must be upsized to 12-inch from MH 224763 to MH 1166966.		
<b>3</b>			
<b>4</b>			

**Exhibit F: Maps**

**[attached]**





SIMONTON  
RIDGE TRL

SIMONTON  
PEAK WAY

SIMONTON HILL CT

SHAKER FALLS LN

SILVERSTONE  
DR

AUTUMN  
BLAZE LN

SILVER FALLS DR

SADDLEBACK WAY

HIGHLAND RIDGE PTE

HIRAM DAVIS RD

SPRUCE CREEK LN

COTTON GIN LN

SAVANNAH ROSE WAY

NEW HOPE RD

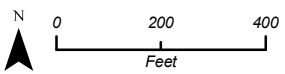
SUGARLOAF PKWY  
SUGARLOAF PKWY

BOWMAN RD

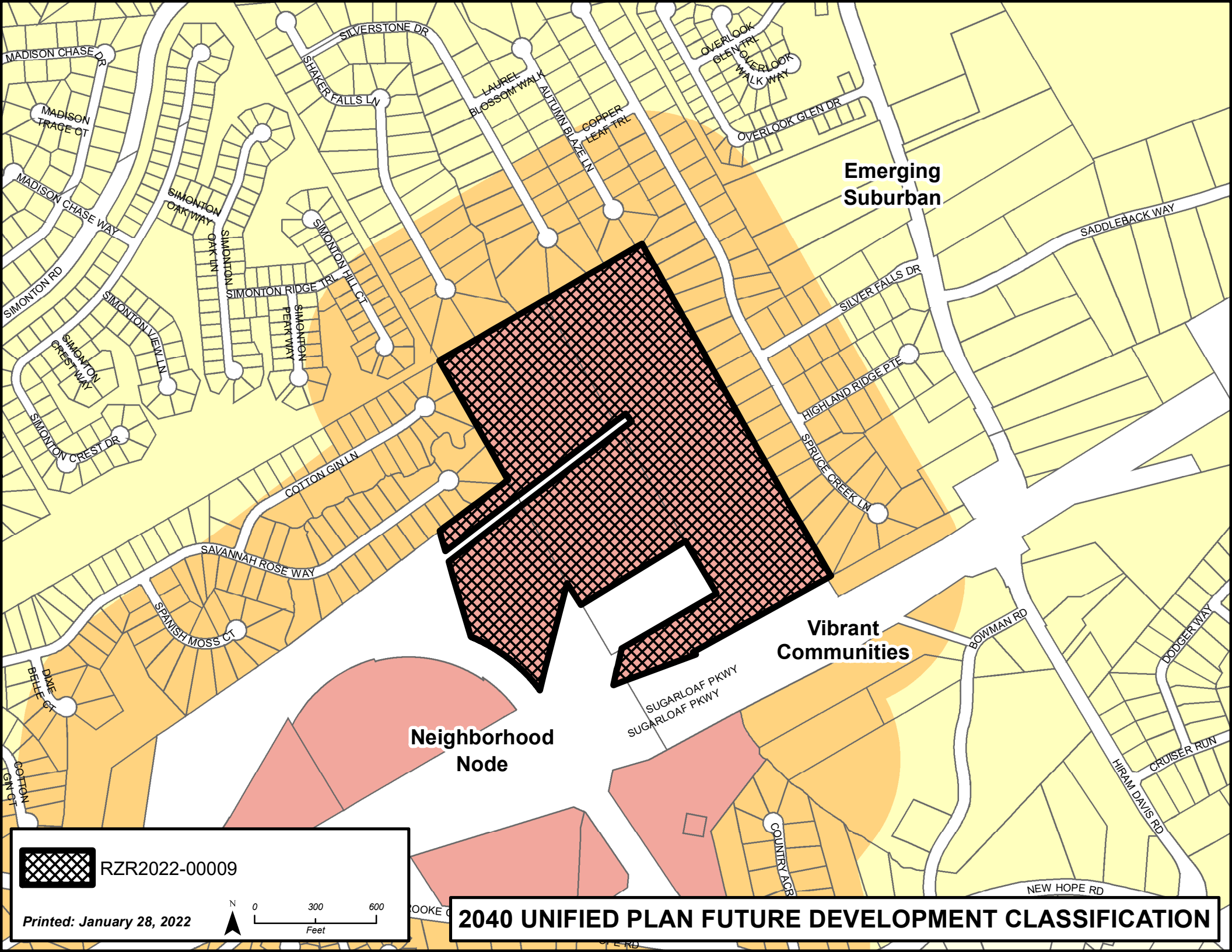


RZR2022-00009

Printed: January 28, 2022







**Emerging  
Suburban**

**Vibrant  
Communities**

**Neighborhood  
Node**



RZR2022-00009

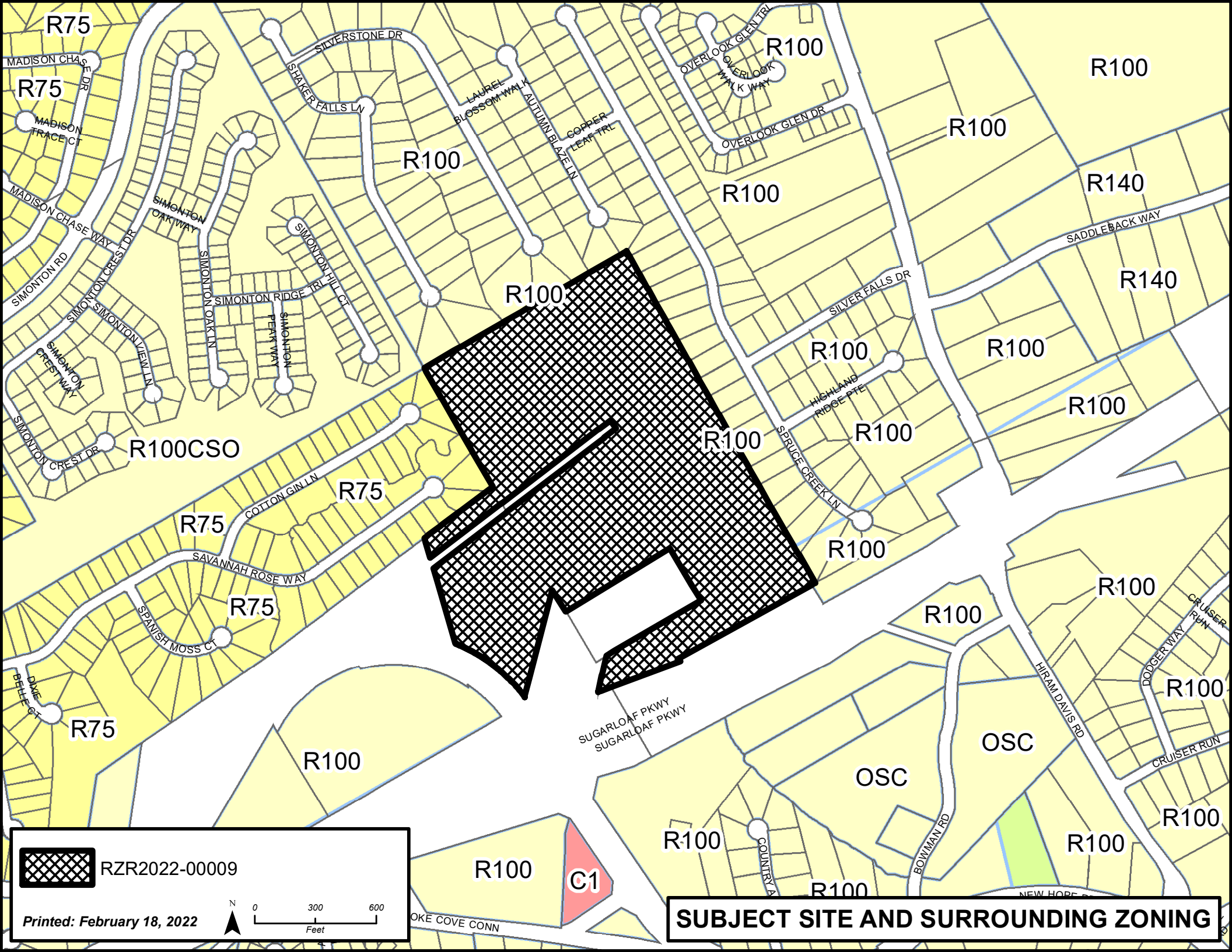
Printed: January 28, 2022

N

0 300 600

Feet

**2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION**



R75

R75

R100

R100

R100

R100

R140

R100

R140

R100

R100

R100

R100CSO

R100

R100

R75

R75

R100

R75

R100

R100

R100

R75

R100

OSC

R100

OSC

R100


R100

R100

R100

R100

C1

 RZR2022-00009

Printed: February 18, 2022

N

0 300 600

Feet

**SUBJECT SITE AND SURROUNDING ZONING**

**RECEIVED**

**REZONING APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>H.S. Randall, c/o Alliance Engineering and Planning</u>	NAME: <u>Multiple - Please see attached</u>
ADDRESS: <u>299 South Main Street</u>	ADDRESS: _____
CITY: <u>Alpharetta</u>	CITY: _____
STATE: <u>GA</u> ZIP: <u>30009</u>	STATE: _____ ZIP: _____
PHONE: <u>770-225-4730 ext. 819</u>	PHONE: <u>770-225-4730 ext. 819</u>
EMAIL: <u>Tylerl@allianceco.com</u>	EMAIL: _____
CONTACT PERSON: <u>Tyler Lasser</u> PHONE: <u>770-225-4730 ext. 819</u>	
CONTACT'S E-MAIL: <u>Tylerl@allianceco.com</u>	
<p align="center"><b>APPLICANT IS THE:</b></p> <p> <input type="checkbox"/> OWNER'S AGENT              <input type="checkbox"/> PROPERTY OWNER              <input checked="" type="checkbox"/> CONTRACT PURCHASER         </p>	
PRESENT ZONING DISTRICTS(S): <u>R-100</u> REQUESTED ZONING DISTRICT: <u>TND</u>	
PARCEL NUMBER(S): <u>5182-035, 5183-431, 5203-221</u> ACREAGE: <u>53.458</u>	
ADDRESS OF PROPERTY: <u>1210 New Hope Road, Lawrenceville, GA 30034</u>	
PROPOSED DEVELOPMENT: <u>Single-Family Detached Subdivision</u>	

RESIDENTIAL DEVELOPMENT	NON-RESIDENTIAL DEVELOPMENT
No. of Lots/Dwelling Units <u>137</u>	No. of Buildings/Lots: _____
Dwelling Unit Size (Sq. Ft.): <u>MIN. 1,800 Sq Ft</u>	Total Building Sq. Ft. _____
Gross Density: <u>2.56</u>	Density: _____
Net Density: <u>2.56</u>	

**PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED**

**RECEIVED**

6/10/2022

**PROPERTY OWNER INFORMATION**

**5203 221**

Vicki Bowen St Clair  
365 THORNHILL DR  
BRASELTON GA 30517-4312

**5183 431**

DDW Real Estate Holdings LLC  
190 BUFORD DR  
LAWRENCEVILLE GA 30046-4500

**5182 035**

James Walton  
PO BOX 1285  
LAWRENCEVILLE GA 30046-1285



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6/10/2022

**REZONING APPLICANT'S RESPONSE**

**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Please see attached

RECEIVED

6/10/2022

REZONING APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



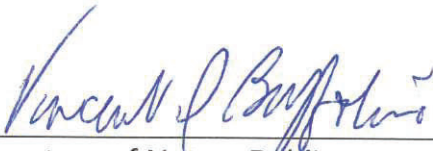
Signature of Applicant

1/5/2022

Date

H.S. Randall, III

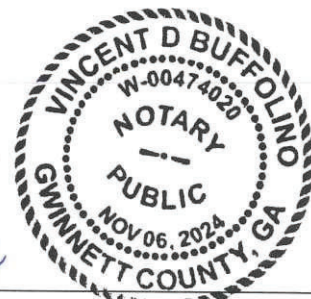
Type or Print Name and Title



Signature of Notary Public

01/05/2022

Date



Notary Seal

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

**RECEIVED**

6/10/2022

**REZONING PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

  
\_\_\_\_\_  
Signature of Property Owner

1-6-22

\_\_\_\_\_  
Date

JASON BOWEN  
\_\_\_\_\_  
Type or Print Name and Title

OWNER

  
\_\_\_\_\_  
Signature of Notary Public

1-6-22

\_\_\_\_\_  
Date





RECEIVED

6/10/2022

**REZONING PROPERTY OWNER'S CERTIFICATION**

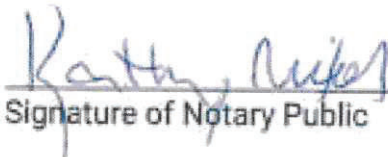
THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

  
Signature of Property Owner

12-21-21

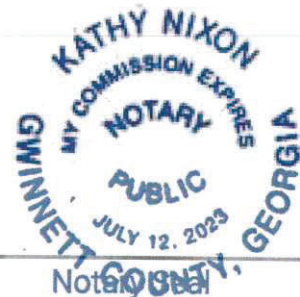
Date

John Wayne Wallis for DDW Real Estate Holdings, LLC  
Type or Print Name and Title

  
Signature of Notary Public

12-21-21

Date



RECEIVED

6/10/2022

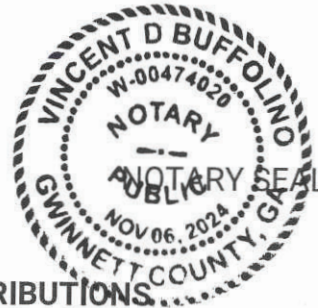
**CONFLICT OF INTEREST CERTIFICATION FOR REZONING**

The undersigned below, making application for a Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

H.S. Randall 1/5/2022 H.S. Randall, III  
SIGNATURE OF APPLICANT DATE TYPE OR PRINT NAME AND TITLE

Tyler Lasser 1/5/2021 Alliance Engineering and Planning  
SIGNATURE OF APPLICANT'S DATE TYPE OR PRINT NAME AND TITLE  
ATTORNEY OR REPRESENTATIVE

Vincent D Buffolino 01/05/2022  
SIGNATURE OF NOTARY PUBLIC DATE



**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

☐ YES ☒ NO H.S. Randall, III  
YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.



RECEIVED

6/10/2022

**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:**      5      -      203      -      221  
(Map Reference Number)      District      Land Lot      Parcel

  
Signature of Applicant

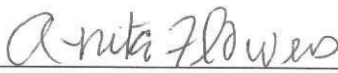
1/5/2022  
Date

H. S. Randall, III  
Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

  
NAME

Tax Services Assoc. II  
TITLE

1-5-2022  
DATE

Taxes are current

RECEIVED

6/10/2022

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**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:**      5      -      183      -      431  
(Map Reference Number)      District      Land Lot      Parcel

  
Signature of Applicant

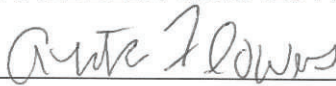
1/5/2022  
Date

H. S. Randall, III  
Type or Print Name and Title

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(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

  
NAME

Tax Services Assoc. II  
TITLE

1-5-2022  
DATE

Taxes are current



RECEIVED

6/10/2022

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**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:**      5      -      182      -      035  
(Map Reference Number)      District      Land Lot      Parcel

  
Signature of Applicant

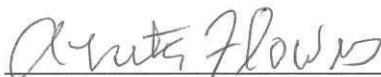
1/5/2022  
Date

H. S. Randolph, III  
Type or Print Name and Title

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NAME

Tax Services Assoc II  
TITLE

1-5-2022  
DATE

Taxes are current

**RECEIVED**

6/10/2022

## **Applicant's Letter of Intent**

Rezoning R-100 to TND

Parcel # 5182-035, 5183-431, 5203-221

The Applicant, H.S. Randall, requests a rezoning for the purpose of constructing a single-family detached residential subdivision. The approximately 53.46-acre site is located at the northeast corner of Sugarloaf Parkway and New Hope Road. There is roughly 7 acres of additional right-of-way adjacent to the site's southwest corner, which contains large ponds that encroach onto the subject site near Sugarloaf Parkway. Additionally, large streams and accompanying buffers bisect the site from its northern property line toward its southern property line. To develop the site as proposed, the applicant requests a rezoning from R-100 (Single-Family Residence District to TND (Traditional Neighborhood Development District).

The development will include up to 137 homes, amounting to a density of only 2.56 units per acre. 21 homes will be on large lots ( $\geq 9,500$  sq. ft.), 17 homes will be on mid-sized lots (9,499 - 7,500 sq. ft.), and the remaining homes will be on small lots (5,000 – 7, 499 sq. ft.). No townhomes are proposed for this development. Each unit will include a two-car garage, and will be constructed with a mixture of brick, stone, and fiber cement siding. The community will incorporate a main amenity area near the front of the site that will include a pool, cabana, and the resident's mail kiosk. The amenity area can be easily accessed by residents and guests by way of sidewalks on both sides of the internal streets. However, the amenity area will also feature a parking area for vehicular access. In addition to the main amenity area, a series of pocket parks will be provided throughout the community. All common areas will be maintained by an HOA. Adjacent to the Falls at Northcliff subdivision (R-100), the Applicant will provide a 30-foot undisturbed buffer, and a where adjacent to the Magnolia Place subdivision (R-75), the Applicant will provide a 25-foot undisturbed buffer. For further division between the subject site and the neighboring subdivisions, where applicable, a black coated chain-link fence will be provided along the exterior property lines adjacent to the R-100 and R-75 subdivisions. It should be noted that the Applicant will deliver a 10% rental cap on homes within the subdivision. The subject site is Located within the Neighborhood Node character area, which lists single-family residential development as a potential development type. The proposed single-family community therefore meets the intent of and is the least intense use that is encouraged within the character area. The Neighborhood Node character area also encourages apartments, townhomes, senior living facilities, shopping plazas and mixed-residential developments, which would have a greater impact on the surrounding area. Concurrently with the rezoning request, the Applicant requests the following variances:

- Allow streets, including those with cul-de-sacs, to exceed 600 feet in length
- Allow individual lot access from internal streets on blocks where a majority of lots are less than 60 feet wide
- Allow sidewalks to be installed on one side of the internal street (as illustrated on the submitted site plan)

The Applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide an exceptional residential community in a highly desirable section of the county.

RECEIVED

6/10/2022

### **Standards Governing the Exercise of the Zoning Power**

To further demonstrate that the proposed rezoning and land use is consistent with the intent of the UDO and 2040 Unified Plan, the applicant submits its response to the Standards Governing Exercise of the Zoning Power as follows:

**(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:**

Rezoning the subject site to TND permits a use that is suitable in relation to the adjacent and nearby properties. The surrounding area is primarily single-family detached subdivisions, which is consistent with the proposed use.

**(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:**

The proposed rezoning will not adversely affect the use of the surrounding properties as it will maintain a residential use and will maintain significantly more open space than the adjacent subdivisions.

**(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:**

Due to the site constraints, including irregular topography, streams and location of the property, the applicant believes that the subject property does not have a reasonable economic use as currently zoned. The applicant submits the requested zoning would allow for a use more compatible with the pattern of development in the area.

**(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:**

The rezoning will not result in an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

**(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:**

The proposed rezoning is in conformity with the intent of the 2040 Unified Plan. The subject property is located within the Neighborhood Node character area, which encourages single-family residential.

**(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:**

The pattern of residential infill development in the area and the proposed development's consistency with the land use of the adjacent properties are among reasons for the approval of the proposed rezoning.



**RECEIVED**

6/10/2022

Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

RECEIVED

6/10/2022

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**RECEIVED**

6/14/2022

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**RECEIVED**

6/14/2012  
A parcel of land lying inn land lots 182, 183, 202, and 203 of the 5<sup>th</sup> District, Gwinnett County, Georgia and being more particularly described as follows:

Begin at easterly corner of Lot 80 of Magnolia Place subdivision, Unit 5, as recorded in Plat Book 87, Page 124, Gwinnett County Clerk of Superior Court records; Thence run the following courses and distances along the northeasterly line of said Magnolia Place Unit 5: North 29 Degrees 52 Minutes 07 Seconds West for a distance of 307.96 feet to a point; Thence run North 29 Degrees 47 Minutes 54 Seconds West for a distance of 183.88 feet to a point; Thence run North 29 Degrees 59 Minutes 36 Seconds West for a distance of 186.04 feet to a point; Thence leaving the northeasterly line of Magnolia Place Unit 5 run North 59 Degrees 59 Minutes 45 Seconds East along the southeasterly line of The Falls at Northcliff subdivision (Phase 4, as recorded in Plat Book 82, Page 106, Phase 3, as recorded in Plat Book 84, Page 137, and Phase 2, as recorded in Plat Book 99, Page 21, aforementioned records) for a distance of 1153.23 feet to a point; Thence leaving said southeasterly line run South 29 Degrees 26 Minutes 24 Seconds East along the southwesterly line of The Falls at Northcliff subdivision (Phase 1, as recorded in Plat Book 113, Page 225, aforementioned records) for a distance of 1453.49 feet to a point; Thence run South 30 Degrees 15 Minutes 40 Seconds East along said southwesterly line for a distance of 430.15 feet to a point; Thence leaving said southwesterly line run South 60 Degrees 58 Minutes 38 Seconds West for a distance of 23.30 feet to a point on the northwesterly right of way of Sugarloaf Parkway (having a variable public right of way); Thence run the following courses and distances along the northwesterly right of way of said Sugarloaf Parkway: South 60 Degrees 58 Minutes 38 Seconds West for a distance of 754.48 feet along said right of way to a point; Thence run South 63 Degrees 26 Minutes 05 Seconds East for a distance of 5.59 feet to a point; Thence run South 58 Degrees 23 Minutes 38 Seconds East for a distance of 3.82 feet to a point; Thence run South 53 Degrees 07 Minutes 22 Seconds East for a distance of 4.37 feet to a point; Thence run South 45 Degrees 49 Minutes 33 Seconds East for a distance of 4.90 feet to a point; Thence run South 69 Degrees 45 Minutes 42 Seconds West for a distance of 419.19 feet to a point; Thence run South 67 Degrees 07 Minutes 29 Seconds West for a distance of 15.68 feet to a point; Thence run North 12 Degrees 49 Minutes 38 Seconds East for a distance of 184.63 feet to a point; Thence run North 59 Degrees 49 Minutes 51 Seconds East for a distance of 540.96 feet to a point; Thence run North 30 Degrees 42 Minutes 02 Seconds West for a distance of 300.91 feet to a point; Thence run South 58 Degrees 34 Minutes 28 Seconds West for a distance of 603.14 feet to a point; Thence run North 32 Degrees 14 Minutes 03 Seconds West for a distance of 126.34 feet to a point; Thence run South 14 Degrees 30 Minutes 22 Seconds West for a distance of 451.13 feet to a point; Thence run South 13 Degrees 28 Minutes 01 Seconds West for a distance of 93.36 feet to a point on the northeasterly right of way of New Hope Road (having a variable public right of way); Thence leaving the aforementioned northwesterly right of way of Sugarloaf Parkway and running the following courses and distances along the northeasterly right of way of said New Hope Road: North 37 Degrees 59 Minutes 57 Seconds West for a distance of 33.37 feet to a point; Thence run North 40 Degrees 23 Minutes 15 Seconds West for a distance of 33.37 feet to a point; Thence run North 42 Degrees 46 Minutes 33 Seconds West for a distance of 33.37 feet to a point; Thence run North 45 Degrees 24 Minutes 29 Seconds West for a distance of 41.82 feet to a point; Thence run North 48 Degrees 23 Minutes 11 Seconds West for a distance of 41.82 feet to a point; Thence run North 51 Degrees 21 Minutes 53 Seconds West for a distance of 41.82 feet to a point; Thence run North 54 Degrees 20 Minutes 35 Seconds West for a distance of 41.82 feet to a point; Thence run North 57 Degrees 19 Minutes 17 Seconds West for a distance of 41.82 feet to a point; Thence run North 60 Degrees 17 Minutes 59 Seconds West for a distance of 41.82 feet to a point;

**RECEIVED**

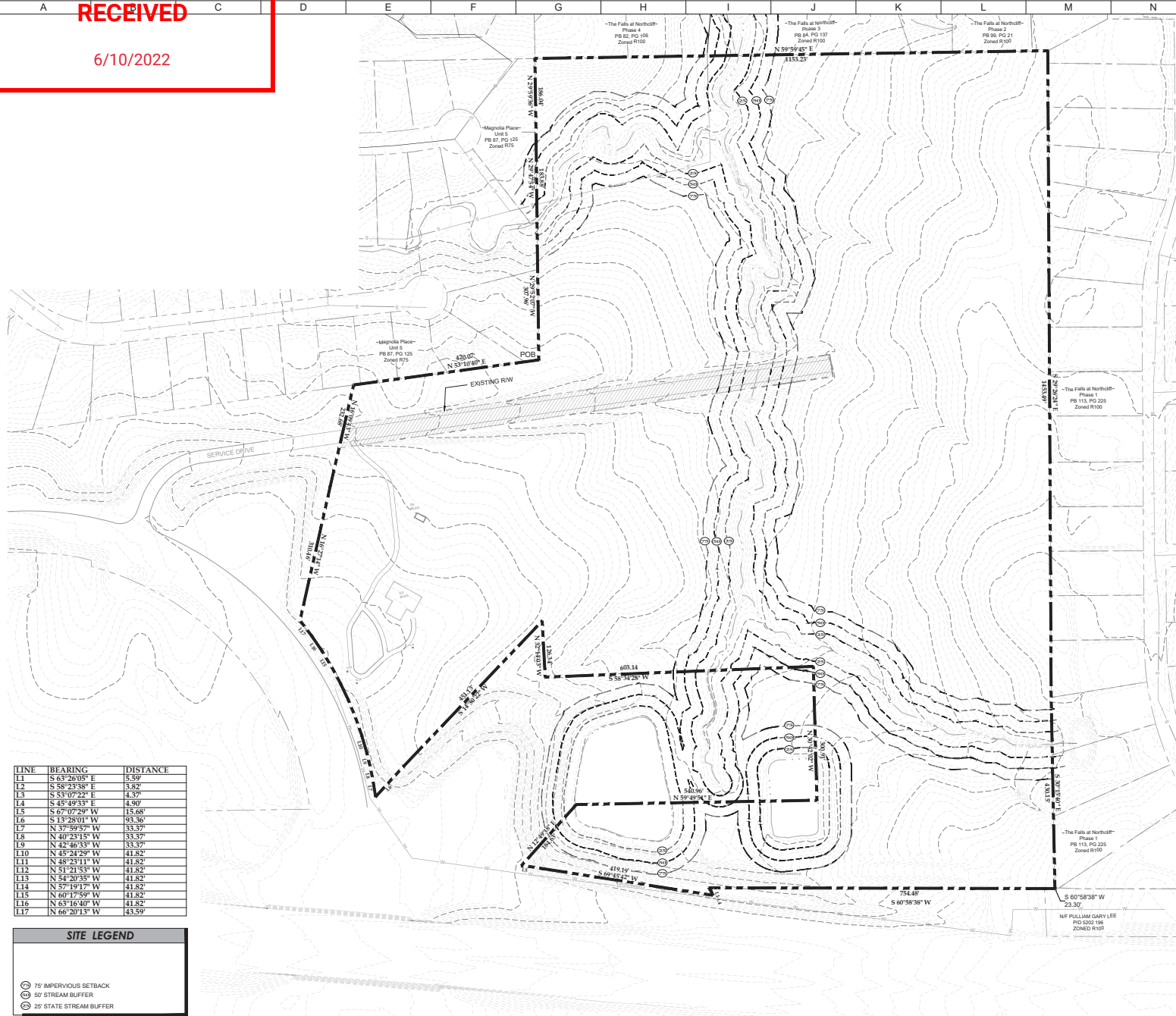
6/10/2020  
Thence run North 63 Degrees 16 Minutes 40 Seconds West for a distance of 41.82 feet to a point;  
Thence run North 66 Degrees 20 Minutes 13 Seconds West for a distance of 43.59 feet to a point;  
Thence leaving the northeasterly right of way of New Hope Road run North 16 Degrees 27 Minutes 14  
Seconds West for a distance of 310.46 feet to a point; Thence run North 16 Degrees 09 Minutes 43  
Seconds West for a distance of 232.68 feet to a point on the southeasterly line of aforementioned  
Magnolia Place Unit 5; Thence run North 53 Degrees 10 Minutes 40 Seconds East for a distance of  
420.07 feet to the Point of Beginning.

Said parcel containing 2,328,611 Square Feet, or 53.458 Acres



RECEIVED

6/10/2022



LINE	BEARING	DISTANCE
L1	S 63°28'00" E	5.59'
L2	S 58°23'38" E	3.82'
L3	S 53°07'22" E	4.37'
L4	S 45°49'53" E	4.90'
L5	S 67°07'29" W	15.68'
L6	S 13°28'01" W	93.36'
L7	N 37°59'57" W	33.37'
L8	N 40°25'15" W	33.37'
L9	N 42°46'33" W	33.37'
L10	N 45°24'29" W	41.82'
L11	N 48°23'11" W	41.82'
L12	N 51°21'53" W	41.82'
L13	N 54°20'55" W	41.82'
L14	N 57°19'17" W	41.82'
L15	N 60°17'59" W	41.82'
L16	N 63°16'40" W	41.82'
L17	N 66°20'13" W	43.59'

**SITE LEGEND**

- 75' IMPERVIOUS SETBACK
- 50' STREAM BUFFER
- 25' STATE STREAM BUFFER

"NO PORTION OF THIS PROPERTY IS LOCATED IN A FEMA FLOOD PLAIN AS PER: FEMA MAP No. 113135C0090F, DATED 09/29/2006.

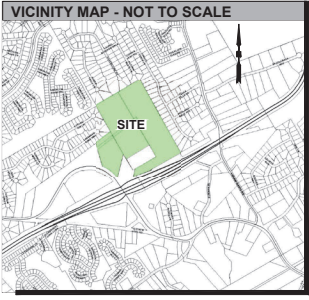
**LAND LOT & DISTRICT:**  
SITE IS LOCATED IN LAND LOT 182 & 203 OF THE 5TH DISTRICT.

**CANOPY NOTE:**  
EXISTING TREE CANOPY COVERS MOST OF THE SITE.

**GIS / STREAM NOTE:**  
BOUNDARY AND TOPOGRAPHY IS PER COUNTY GIS DATA AND SHOULD BE VERIFIED WITH A FIELD RUN SURVEY. STREAMS AND WETLANDS HAVE NOT BEEN VERIFIED WITH A FIELD RUN SURVEY.

**PLAN NOTE:**  
THIS PLAN IS CONCEPTUAL IN NATURE AND DOES NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OR DEVELOPMENT. ADDITIONAL REGULATIONS SHALL APPLY PRIOR TO PERMIT ISSUANCE.

**PROPERTY OWNERS:**  
5203 221<sup>ST</sup> ST. CLAIR WICKI BOWEN  
5183 431<sup>ST</sup> DOW REAL ESTATE HOLDINGS LLC  
5182 035<sup>ST</sup> WALTON JAMES B ETAL



**ALLIANCE**  
ENGINEERING & PLANNING, INC.  
299 South Main St., Suite A | Alpharetta, GA 30009  
770.225.4730 | www.allianceinc.com

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DEVELOPER:  
HS RANDALL  
220 ROBERTS ROAD  
24 HR CON  
CHPONE@GMAIL.COM

Site Concept Plan for:  
Sugarloaf Pkwy and  
New Hope Rd  
1210 NEW HOPE ROAD  
LL 18 - DISTRICT 5TH  
PARCEL # 5182-035, 5183-431, 5203-221

Orig. Issue 11.12.21  
Designed by BW  
Checked by MB  
Project # 21240

**NORTH**  
SCALE: 1"=50'  
1"=50'

**EXHIBIT**

1/20/2022

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

**RECEIVED**

6/10/2022

2024-11-14 10:46 AM 10/14/2024

LIVE BATHROOMS  
BATHS  
FRONT DETACH  
37 BEAM DETACH

6/10/2022

SAVANNAH ROSE WAY



**SITE LOCATION MAP**  
NOT TO SCALE

MIN. LOT AREA/ MIN. HEATED FLOOR AREA CRITERIA:	
<input type="radio"/>	1. 42' DETACHED HOME SMALL LOT SIZE: 5,000 SF/ 1,200 SF HEATED
<input type="checkbox"/>	2. 52' DETACHED HOME MID LOT SIZE: 7,500 SF/ 1,750 SF HEATED
<input type="checkbox"/>	3. 62' DETACHED HOME LARGE SIZE: 9,500 SF/ 2,000 SF HEATED

	13	14	15
--	----	----	----

WARM DEO BLUE

554



---

## NEWSPAPER

**A MASTER PLANNED RESIDENTIAL  
DEVELOPMENT**

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FOR

TAYLOR MORRISON


© 2007 The Authors

[illegible]

THIS SEAL IS ONLY VALID IF COUNTER SIGNED  
AND DATED WITH AN ORIGINAL SIGNATURE.

MASTER

SCALE: 1" = 100'



1. WATER PROVIDED BY GWINNETT COUNTY WITHIN NEW HOPE ROAD R/W.
2. SEWER PROVIDED BY GWINNETT COUNTY AND WILL BE A GRAVITY LINE TO TIE INTO EXISTING SEWER MANHOLE ON SITE.
3. BOUNDARY AND TOPOGRAPHY IS PER COUNTY GIS DATA AND SHOULD BE VERIFIED WITH A FIELD RUN SURVEY. STREAMS AND WETLANDS HAVE NOT BEEN VERIFIED WITH A FIELD RUN SURVEY.
4. THIS PLAN IS CONCEPTUAL AND DOES NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OR DEVELOPMENT.
5. EXISTING TREE CANOPY COVERS 85% OF SITE.



RECEIVED

BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ 5/8" TYPE "X" GYPSUM BD. CEILING W/  
HOUSE ASSEMBLY: 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.

2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT

3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

FRAMING:

1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

2) PROVIDE 1x6 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.

3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.

4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R602, R802.7.

THERMAL & MOISTURE PROTECTION:

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.

4) PROVIDE ICE-SHIELD PER CODE.

5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

DOORS & WINDOW:

1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.

2) REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.

3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.

4) FRONT DOOR WIDTH AS REQUIRED BY CODE.

5) GARAGE DOOR AS REQUIRED BY CODE.

6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATTS MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTS MINIMUM. VERIFY

ATWOOD  
ELEVATION "D"



- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TAYLOR MORRISON. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TAYLOR MORRISON IS STRICTLY PROHIBITED.
- 2) MAIN STREET DESIGNS OF GEORGIA, LLC DESIGNS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC).
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTORS PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF MAIN STREET DESIGNS OF GEORGIA, LLC. IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY MAIN STREET DESIGNS OF GEORGIA, LLC PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.
- 6) FLAME SPREAD AND SMOKE DENSITY NOTES:
- WALLS AND CEILING:
- WALL AND CEILING FINISHES SHALL HAVE A FLAME - SPREAD CLASSIFICATION OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

INSULATION:

IF BATT OR BLANKET INSULATION, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR OTHER VAPOR PERMEABLE MEMBRANES ARE LEFT EXPOSED (IN AREAS LIKE UNFINISHED BASEMENTS), THE MATERIAL SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FLAME-SPREAD AND SMOKE-DEVELOPMENT LIMITATIONS DO NOT APPLY TO FACINGS THAT IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.

EXCEPT WHERE OTHERWISE NOTED IN SECTION R314.2, ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPMENT RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.

R314.1.2 THERMAL BARRIER, FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2-INCH (12.7 MM) GYPSUM BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F (121°C) AFTER 15 MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTION R702.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE WHEN EXPOSED TO FIRE SHALL BE PROHIBITED.

APPLICABLE CODES

- THE GEORGIA STATE MINIMUM STANDARDS CODES:
- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
  - NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

Sheet List		AREA CALCULATIONS:	
Sheet #	Description	Square Footages	
CS-1.0D	Cover Sheet - General Notes	Area	Elevation D
F-0.0D	Slab Plan		
F-0.1D	Basement Plan	First Floor	1234 SF
A-1.0D	First Floor Plan & Options	Second Floor	1471 SF
A-2.0D	Second Floor Plan & Options	Total Living	2705 SF
A-3.0D	Front & Left Elevation / Roof Plan		
A-3.1D	Rear & Right Elevation		
A-3.2D	Opt. Ext. Covered Outdoor Living		
A-3.3D	Opt. Full Brick	Garage	456 SF
A-4.0D	Building Sections	Porch	116 SF
A-4.1D	Building Sections W/ Basement	Patio	120 SF
E-0.1D	Basement Electrical Plan	Total Under Roof	3397 SF
E-1.0D	First Floor Electrical Plan		
E-2.0D	Second Floor Electrical Plan		
		Opt. Basement	1225 SF
		Opt. Ext. Covered Outdoor Living	220 SF

REVISIONS:

NUMBER:	DATE:	DESCRIPTION:
-	---	-

Designer:	Builder:
Main Street Designs of Georgia, LLC www.MainStreetDesignsLLC.com 3050 Royal Blvd. South, Suite 135 Alpharetta, GA 30022 O. (404) 480-3881	Taylor Morrison 4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 945-3600



Revised Date:  
8/18/2020

Model:	Atwood
Drawing File:	
Option Description:	

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



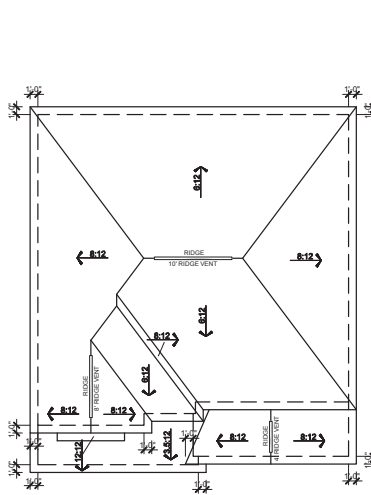
Plan Name:  
**ATWOOD**  
Division:  
**Atlanta**  
Municipality:  
**County**  
Community:

Lot Number:  
Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
**CS-1.0D**

RECEIVED

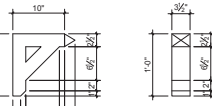
6/10/2022

ATTIC VENTILATION	
ROOF "D"	
300 SQ FT / 1 SQ FT = 5.10' SQ FT VENTILATION	
RIDGE VENTS 18 SQ IN = (125 SQ FT)	
SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)	
BOX VENTS 50 SQ IN = (.347 SQ FT)	
5.10' SQ FT x 40% = 2.041' SQ FT OF RIDGE	
5.10' SQ FT x 60% = 3.059' SQ FT OF SOFFIT	
RIDGE VENT	18 FEET
2.041' SQ FT = 16.3' FEET OF RIDGE VENT	
SOFFIT VENT	144 FEET
3.059' SQ FT = 49.0' FEET OF SOFFIT VENT	
0.0625' SQ FT	
ACTUAL RIDGE VENT PROVIDED	18 FEET
ACTUAL SOFFIT VENT PROVIDED	144 FEET
NUMBER OF BOX VENTS NEEDED	-0.6 COUNT
(REQ - ACTUAL x .347)	(NEGATIVE = 0)
PORCH ROOF "D"	
281' SQ FT UNDER ROOF ATTIC	
300 SQ FT / 1 SQ FT = 0.34' SQ FT VENTILATION	
RIDGE VENTS 18 SQ IN = (.125 SQ FT)	
SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)	
BOX VENTS 50 SQ IN = (.347 SQ FT)	
0.34' SQ FT x 50% = 0.17' SQ FT OF RIDGE	
0.34' SQ FT x 50% = 0.17' SQ FT OF SOFFIT	
RIDGE VENT	4 FEET
0.17' SQ FT = 3.3' FEET OF RIDGE VENT	
SOFFIT VENT	27 FEET
0.17' SQ FT = 6.7' FEET OF SOFFIT VENT	
0.0625' SQ FT	
ACTUAL RIDGE VENT PROVIDED	4 FEET
ACTUAL SOFFIT VENT PROVIDED	27 FEET
NUMBER OF BOX VENTS NEEDED	-0.2 COUNT
(REQ - ACTUAL x .347)	(NEGATIVE = 0)
COVERED OUTDOOR LIVING ROOF	
125' SQ FT UNDER ROOF	
300 SQ FT / 1 SQ FT = 0.30' SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	12.8 FEET OF SOFFIT VENT
0.30' SQ FT = 12.8' FEET OF SOFFIT VENT	
0.0625' SQ FT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET

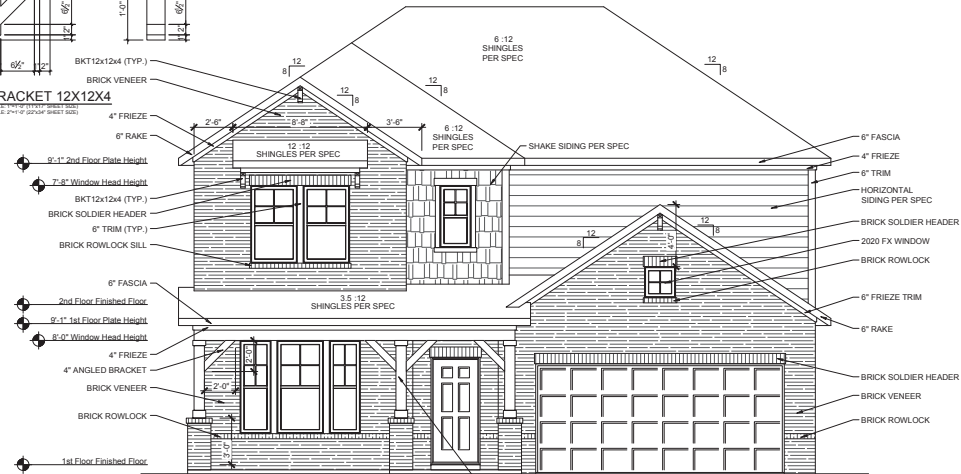


ROOF PLAN "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)

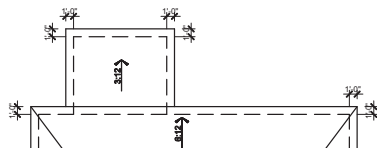
ALCOVY CREEK



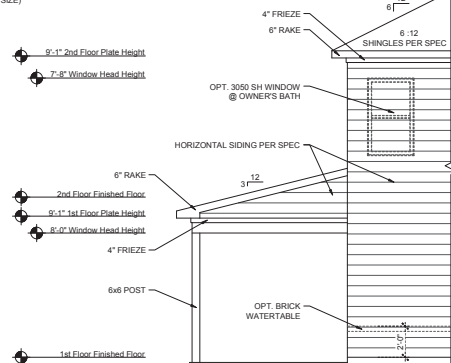
BRACKET 12X12X4  
SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



FRONT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "D"  
SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



ON SIDES AND REAR



LEFT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



Revised Date:  
8/18/2020

Plan Name:  
Elevations / Roof Plan  
Front & Left

Model:  
Atwood

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



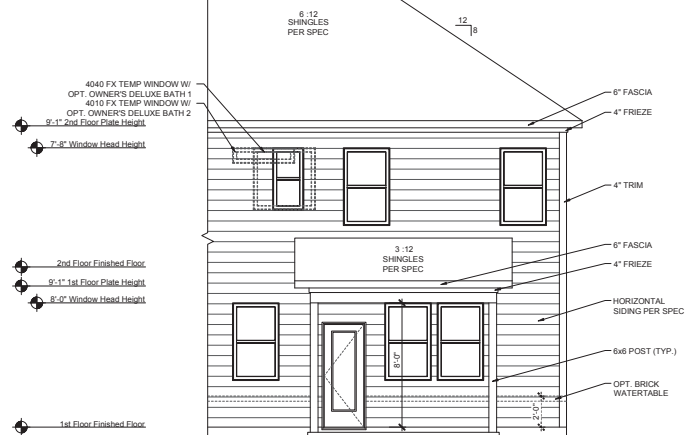
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ATWOOD  
Division:  
Atlanta  
Municipality:  
County  
Community:

Lot Number:  
Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
A-3.0D



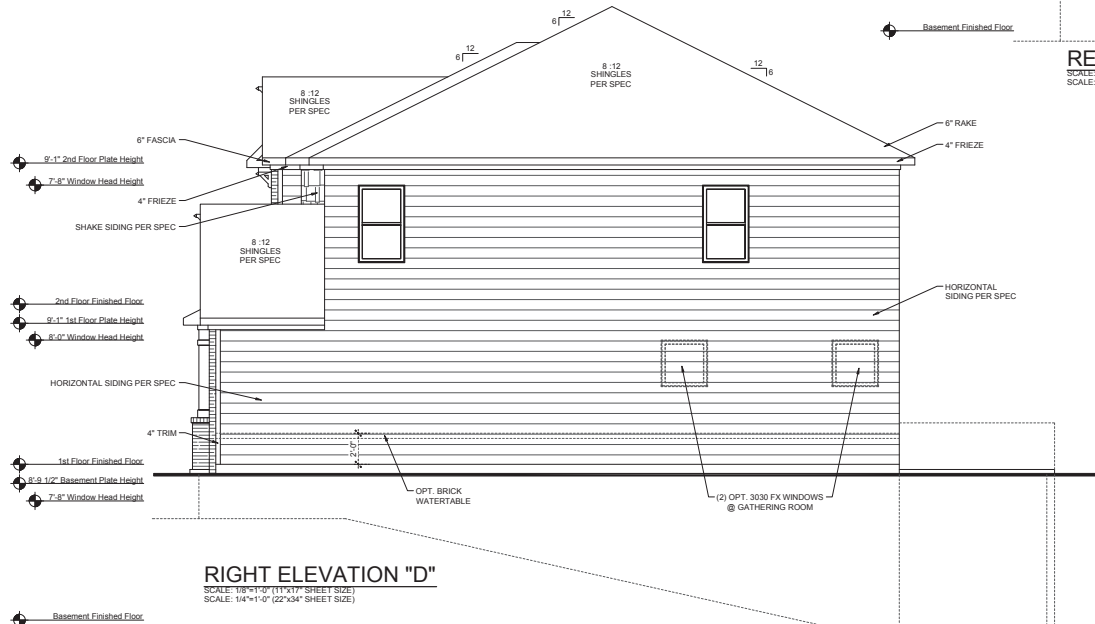
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6/10/2022



OPT. COVERED OUTDOOR LIVING  
PARTIAL REAR ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



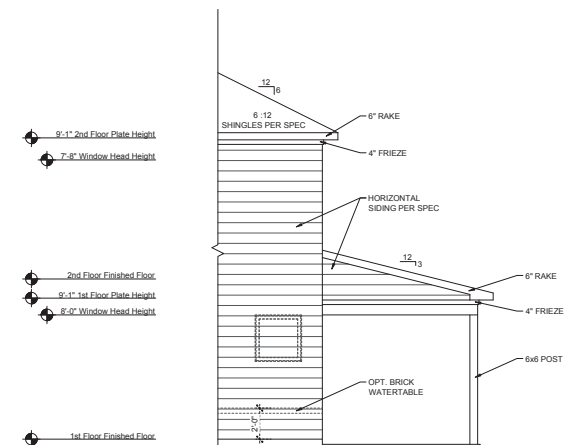
RIGHT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



REAR ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model: Atwood  
Drawing Title: Elevations  
Option Description: Rear & Right

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:

ATWOOD

Division:

Atlanta

Municipality:

County

Community:

Lot Number:

Scale:

11x17 - 1/8"=1'-0"

22x34 - 1/4"=1'-0"

Unless Otherwise Noted

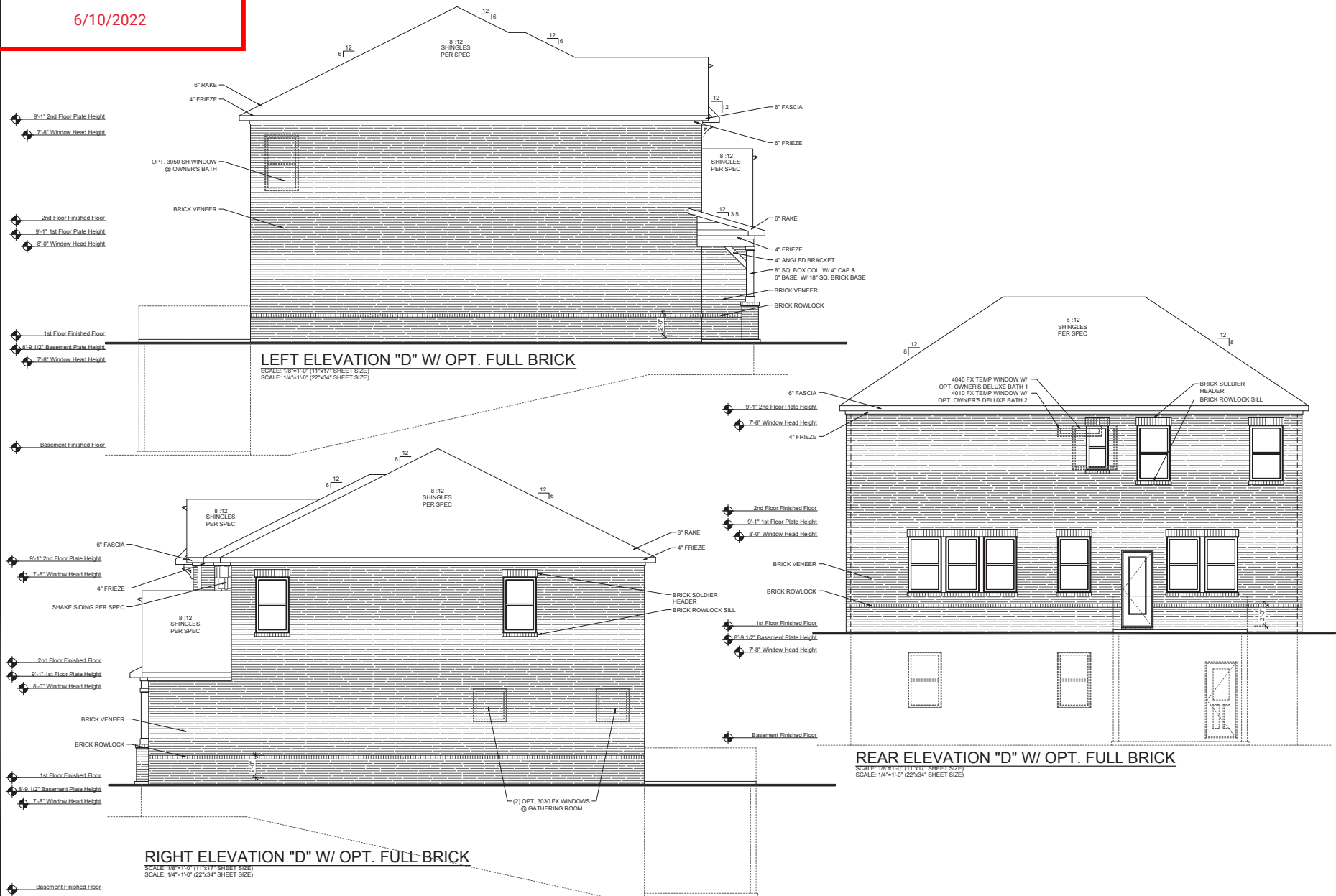
Sheet:

A-3.1D

6/10/2022

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6/10/2022



Revised Date:  
8/18/2020

Model: Atwood  
Drawing Title: Elevations  
Option Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 943-3600



Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.3D**

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BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ 5/8" TYPE "X" GYPSUM BD. CEILING W/  
HOUSE ASSEMBLY: 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.

2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT

3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

FRAMING:

1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

2) PROVIDE 1x6 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.

3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.

4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R602, R802.7.

THERMAL & MOISTURE PROTECTION:

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.

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3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.

4) FRONT DOOR WIDTH AS REQUIRED BY CODE.

5) GARAGE DOOR AS REQUIRED BY CODE.

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INSULATION:

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R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATTS MINIMUM. VERIFY

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R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTS MINIMUM. VERIFY

ATWOOD  
ELEVATION "E"



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R314.1.2 THERMAL BARRIER. FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2-INCH (12.7 MM) GYPSUM BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F (121°C) AFTER 15 MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTION R702.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE WHEN EXPOSED TO FIRE SHALL BE PROHIBITED.

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  - INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
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A-2.0E	Second Floor Plan & Options		
A-3.0E	Front & Left Elevation / Roof Plan		
A-3.1E	Rear & Right Elevation		
A-3.2E	Opt. Ext. Covered Outdoor Living		
A-3.3E	Opt. Full Brick		
A-4.0E	Building Sections		
A-4.1E	Building Sections W/ Basement		
E-0.1E	Basement Electrical Plan		
E-1.0E	First Floor Electrical Plan		
E-2.0E	Second Floor Electrical Plan		

Square Footages	
Area	Elevation E
First Floor	1243 SF
Second Floor	1489 SF
Total Living	2732 SF
Garage	455 SF
Porch	93 SF
Patio	120 SF
Total Under Roof	3400 SF
Opt. Basement	1225 SF
Opt. Ext. Covered Outdoor Living	220 SF

REVISIONS:

NUMBER:	DATE:	DESCRIPTION:
-	---	-
Designer:		Builder:
Main Street Designs of Georgia, LLC www.MainStreetDesignsLLC.com 3050 Royal Blvd. South, Suite 135 Alpharetta, GA 30022 O. (404) 480-3881		Taylor Morrison 4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 945-3600



Revised Date:  
8/18/2020

Model: Atwood

Drawing File:

Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**CS-1.0E**

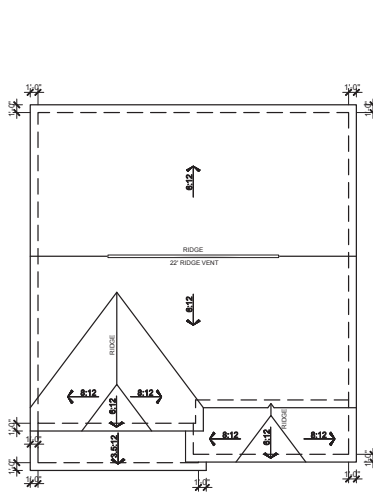
RECEIVED

ATTIC VENTILATION MAIN ROOF "E"	
15.5 SQ FT ATTIC	
300 SQ FT / 1 SQ FT = 0.14 SQ FT VENTILATION	
ROOF VENTS 18 SQ IN = (1.125 SQ FT)	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
BOX VENTS 50 SQ IN = (3.47 SQ FT)	
5.14 SQ FT x 50% = 2.568 SQ FT OF RIDGE	
5.14 SQ FT x 50% = 2.568 SQ FT OF SOFFIT	
2.568 SQ FT = 20.5 FEET OF RIDGE VENT	
2.568 SQ FT = 41.1 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	22 FEET
ACTUAL SOFFIT VENT PROVIDED	81 FEET
NUMBER OF BOX VENTS NEEDED	-0.5 COUNT
(NEG. - ACTUAL x .347)	(NEGATIVE = 0)

GARAGE ROOF "E"	
139 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.93 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	0.937 SQ FT = 14.8 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	18 FEET

PORCH ROOF "E"	
93 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.62 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	0.625 SQ FT = 9.9 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	20 FEET

COVID OUTDOOR LIVING ROOF	
120 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	0.800 SQ FT = 12.8 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET



ROOF PLAN "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

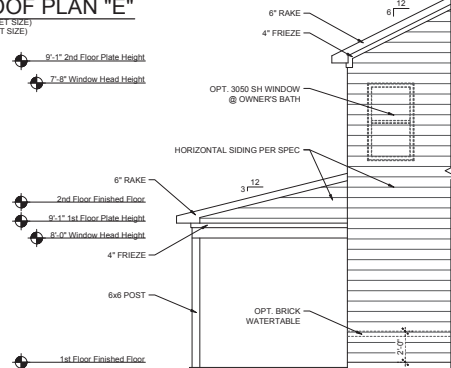
ALCOVY CREEK

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon Gore (signature)* Date **10-21-2020**  
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE ON**

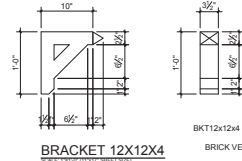
REAR AND SIDES.



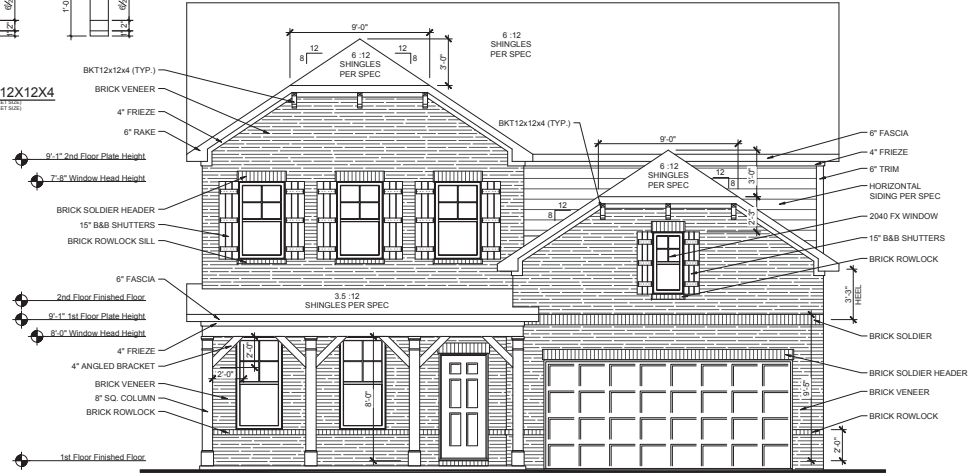
OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)



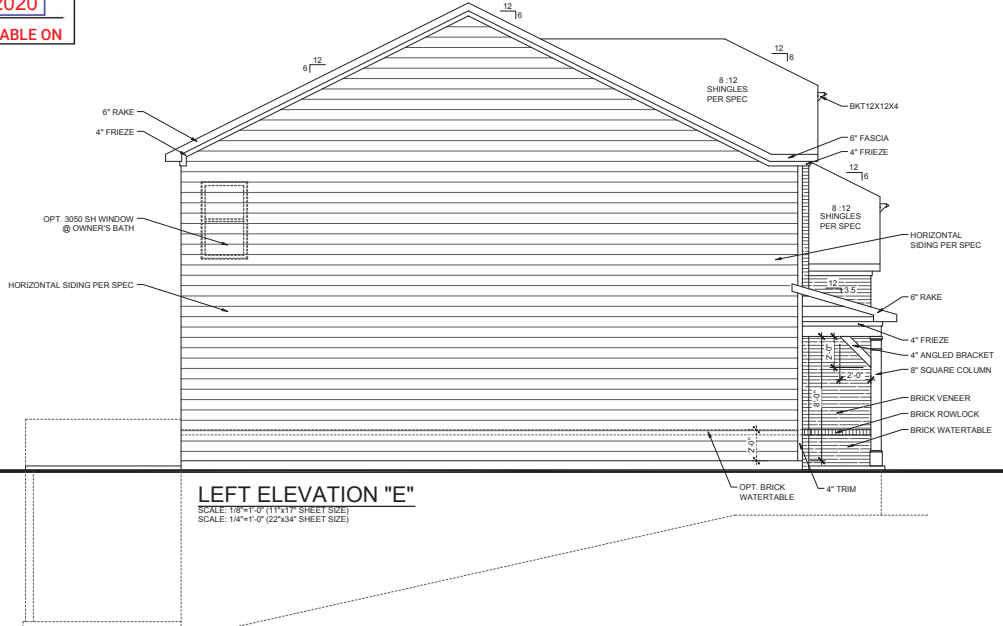
OPT. COVERED OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



BRACKET 12X12X4  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)



FRONT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



LEFT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model:  
Atwood  
Drawing File:  
Option Description:  
Elevations / Roof Plan  
Front & Left

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



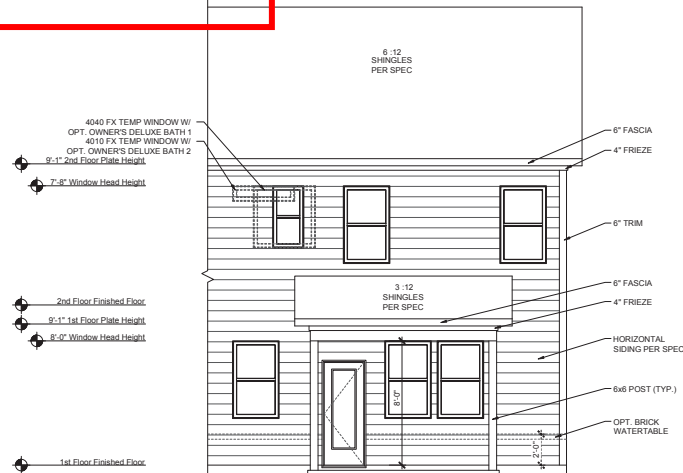
Plan Name:  
**ATWOOD**  
Division:  
**Atlanta**  
Municipality:  
**County**  
Community:

Lot Number:  
Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
**A-3.0E**



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6/10/2022



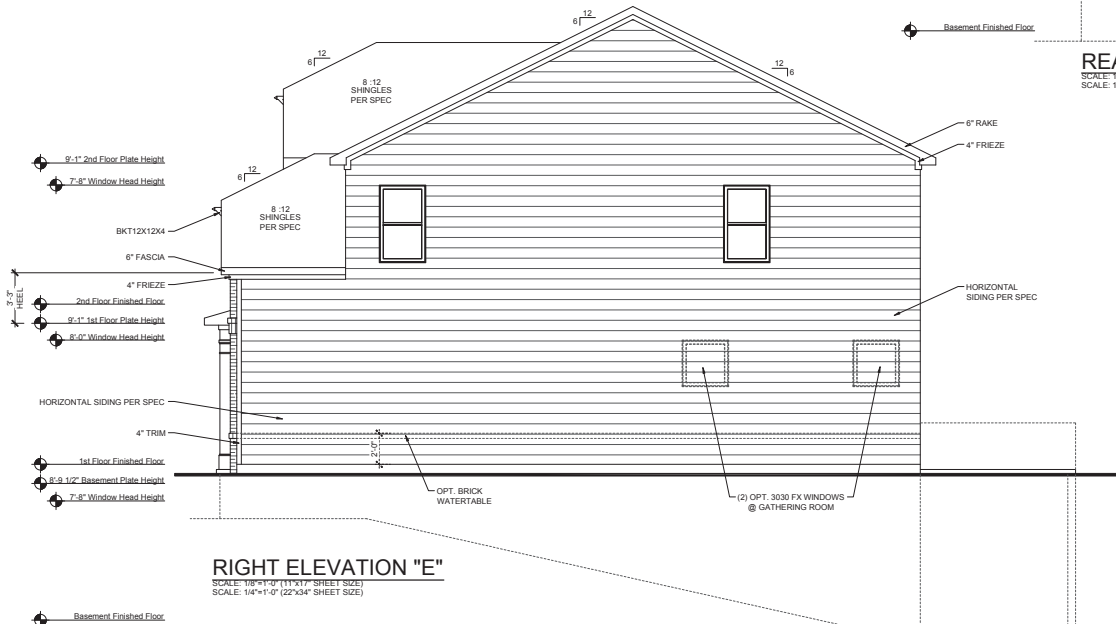
**OPT. COVERED OUTDOOR LIVING  
PARTIAL REAR ELEVATION "E"**

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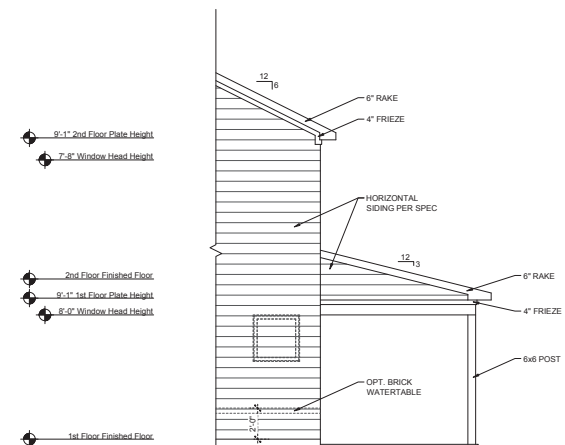
**REAR ELEVATION "E"**

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



**RIGHT ELEVATION "E"**

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



**OPT. COVERED OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "E"**

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model: **Atwood**  
Drawing Title: **Elevations**  
Option Description: **Rear & Right**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name: **ATWOOD**  
Division: **Atlanta**  
Municipality: **County**  
Community: \_\_\_\_\_

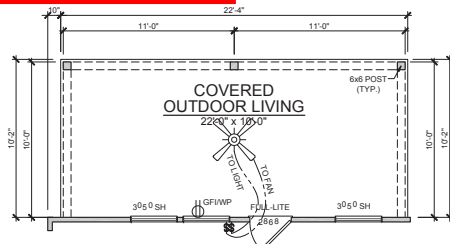
Lot Number: \_\_\_\_\_

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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
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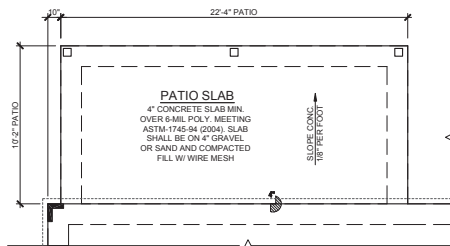
RECEIVED

6/10/2022



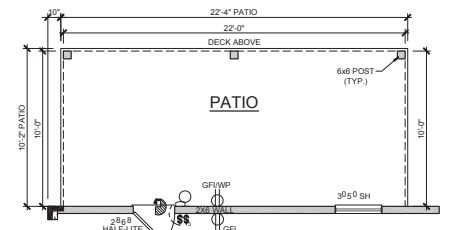
OPT. EXT. COVERED OUTDOOR LIVING

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SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



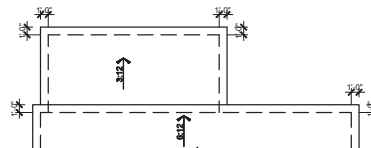
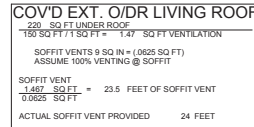
OPT. EXT. COVERED OUTDOOR LIVING SLAB PARTIAL PLAN

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

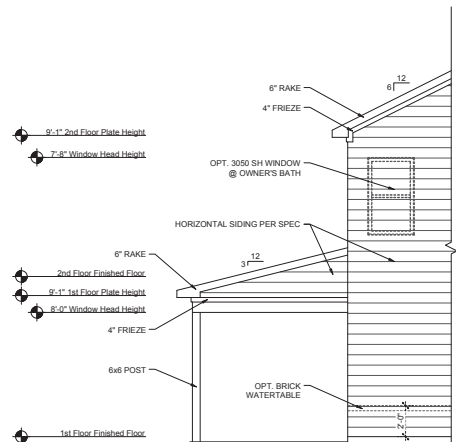


OPT. EXT. COVERED OUTDOOR LIVING BASEMENT PARTIAL PLAN

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
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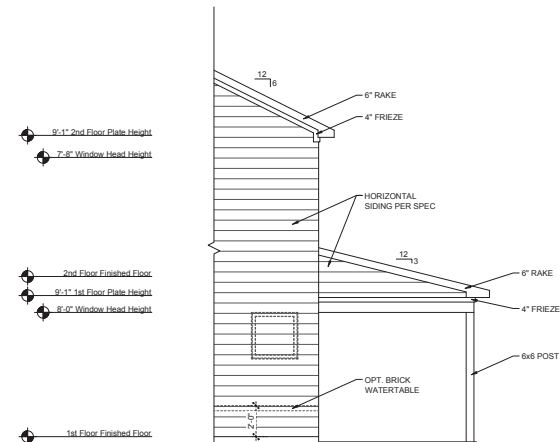
OPT. COVERED EXT. OUTDOOR LIVING PARTIAL LEFT ELEVATION "E"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING PARTIAL REAR ELEVATION "E"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING PARTIAL RIGHT ELEVATION "E"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

Design by: Main Street  
Main Street Design & Construction, LLC  
www.MainStreetDesign.com  
3000 Royal Blvd., Suite 100  
Atlanta, GA 30322  
404.949.9999

Revised Date:  
8/18/2020

Model:  
Atwood

Drawing Title:  
Elevations - Opt. Ext.  
Option Description:  
Cov. Outdoor Living

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

Homes Inspired by You

Plan Name:  
ATWOOD

Division:  
Atlanta

Municipality:  
County

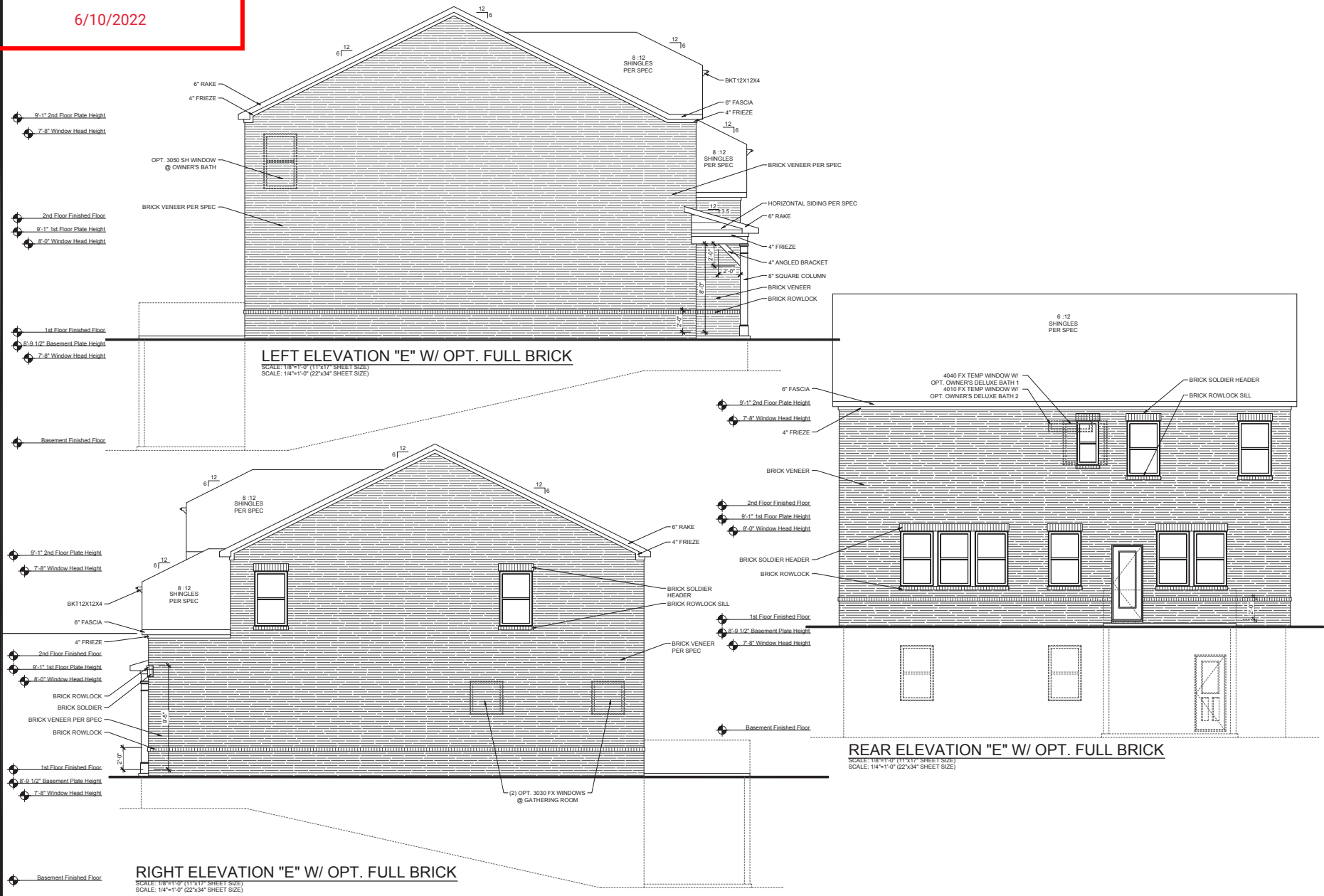
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
A-3.2E

RECEIVED

6/10/2022



Revised Date:  
8/18/2020

Model: Atwood  
Drawing Title: Elevations  
Option Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 943-3600



Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.3E**

RECEIVED

BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ 5/8" TYPE "X" GYPSUM BD. CEILING W/  
HOUSE ASSEMBLY: 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.

2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT

3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

FRAMING:

1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

2) PROVIDE 1x6 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.

3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.

4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R602, R802.7.

THERMAL & MOISTURE PROTECTION:

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.

4) PROVIDE ICE-SHIELD PER CODE.

5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

DOORS & WINDOW:

1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.

2) REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.

3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.

4) FRONT DOOR WIDTH AS REQUIRED BY CODE.

5) GARAGE DOOR AS REQUIRED BY CODE.

6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATTS MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTS MINIMUM. VERIFY

ATWOOD  
ELEVATION "F"



- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TAYLOR MORRISON. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TAYLOR MORRISON IS STRICTLY PROHIBITED.
- 2) MAIN STREET DESIGNS OF GEORGIA, LLC DESIGNS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC).
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF MAIN STREET DESIGNS OF GEORGIA, LLC. IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY MAIN STREET DESIGNS OF GEORGIA, LLC PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.
- 6) FLAME SPREAD AND SMOKE DENSITY NOTES:
- WALLS AND CEILING:
- WALL AND CEILING FINISHES SHALL HAVE A FLAME - SPREAD CLASSIFICATION OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.
- INSULATION:
- IF BATT OR BLANKET INSULATION, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR OTHER VAPOR PERMEABLE MEMBRANES ARE LEFT EXPOSED (IN AREAS LIKE UNFINISHED BASEMENTS), THE MATERIAL SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FLAME-SPREAD AND SMOKE-DEVELOPMENT LIMITATIONS DO NOT APPLY TO FACINGS THAT IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.
- EXCEPT WHERE OTHERWISE NOTED IN SECTION R314.2, ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPMENT RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.
- R314.1.2 THERMAL BARRIER, FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2-INCH (12.7 MM) GYPSUM BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F (121°C) AFTER 15 MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTION R702.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE WHEN EXPOSED TO FIRE SHALL BE PROHIBITED.

APPLICABLE CODES

- THE GEORGIA STATE MINIMUM STANDARDS CODES:
- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
  - NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

Sheet List		AREA CALCULATIONS:	
Sheet #	Description	Square Footages	
CS-1.0F	Cover Sheet - General Notes	Area	Elevation F
F-0.0F	Slab Plan	First Floor	1234 SF
F-0.1F	Basement Plan	Second Floor	1477 SF
A-1.0F	First Floor Plan & Options	Total Living	2711 SF
A-2.0F	Second Floor Plan & Options	Garage	456 SF
A-3.0F	Front & Left Elevation / Roof Plan	Porch	29 SF
A-3.1F	Rear & Right Elevation	Patio	120 SF
A-3.2F	Opt. Ext. Covered Outdoor Living	Total Under Roof	3316 SF
A-3.3F	Opt. Full Brick	Opt. Basement	1225 SF
A-4.0F	Building Sections	Opt. Ext. Covered Outdoor Living	220 SF
A-4.1F	Building Sections W/ Basement		
E-0.1F	Basement Electrical Plan		
E-1.0F	First Floor Electrical Plan		
E-2.0F	Second Floor Electrical Plan		

REVISIONS:

NUMBER:	DATE:	DESCRIPTION:
-	---	-
Designer:		Builder:
Main Street Designs of Georgia, LLC www.MainStreetDesignsLLC.com 3050 Royal Blvd. South, Suite 135 Alpharetta, GA 30022 O. (404) 480-3881		Taylor Morrison 4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 945-3600



Revised Date:  
8/18/2020

Model: Atwood

Drawing File:

Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**CS-1.0F**

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**ATTIC VENTILATION**  
**ROOF "E"**

151.31 SQ FT / 1.50 SQ FT VENTILATION  
300 SQ FT / 1.50 SQ FT VENTILATION

RIIDGE VENTS 18 SQ IN = (125 SQ FT)  
SOFFIT VENTS 9 SQ IN = (.347 SQ FT)  
BOX VENTS 50 SQ IN = (.347 SQ FT)

5.10 SQ FT x 50% = 2.552 SQ FT OF RIDGE  
5.10 SQ FT x 50% = 2.552 SQ FT OF SOFFIT

RIIDGE VENT  
0.283 SQ FT = 20.4 FEET OF RIDGE VENT  
0.125 SQ FT = 9.6 FEET OF SOFFIT VENT  
2.552 SQ FT = 40.8 FEET OF SOFFIT VENT  
0.0625 SQ FT

ACTUAL RIDGE VENT PROVIDED 22 FEET  
ACTUAL SOFFIT VENT PROVIDED 81 FEET  
NUMBER OF BOX VENTS NEEDED .06 COUNT  
(NEGATIVE = 0)

**PORCH / GARAGE ROOF "F"**

129 SQ FT UNDER ROOF ATTIC  
150 SQ FT / 1.50 SQ FT = .057 SQ FT VENTILATION

RIIDGE VENTS 18 SQ IN = (125 SQ FT)  
SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)  
BOX VENTS 50 SQ IN = (.347 SQ FT)

0.57 SQ FT x 50% = 0.283 SQ FT OF RIDGE  
0.57 SQ FT x 50% = 0.283 SQ FT OF SOFFIT

RIIDGE VENT  
0.283 SQ FT = 2.3 FEET OF RIDGE VENT  
0.125 SQ FT = 9.6 FEET OF SOFFIT VENT  
2.552 SQ FT = 40.8 FEET OF SOFFIT VENT  
0.0625 SQ FT

ACTUAL RIDGE VENT PROVIDED 4 FEET  
ACTUAL SOFFIT VENT PROVIDED 10 FEET  
NUMBER OF BOX VENTS NEEDED .06 COUNT  
(NEGATIVE = 0)

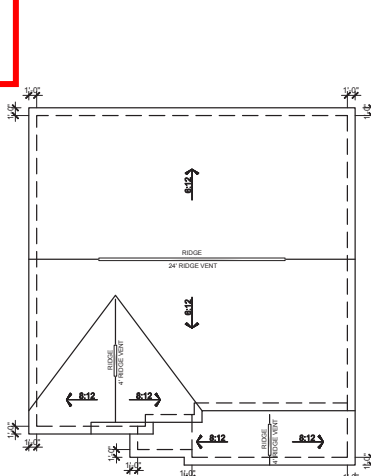
**COVID OUTDOOR LIVING ROOF**

129 SQ FT UNDER ROOF  
150 SQ FT / 1.50 SQ FT = 0.80 SQ FT VENTILATION

SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)  
ASSUME 100% VENTILATION @ SOFFIT

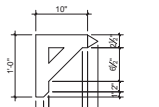
SOFFIT VENT  
0.800 SQ FT = 12.8 FEET OF SOFFIT VENT  
0.0625 SQ FT

ACTUAL SOFFIT VENT PROVIDED 14 FEET

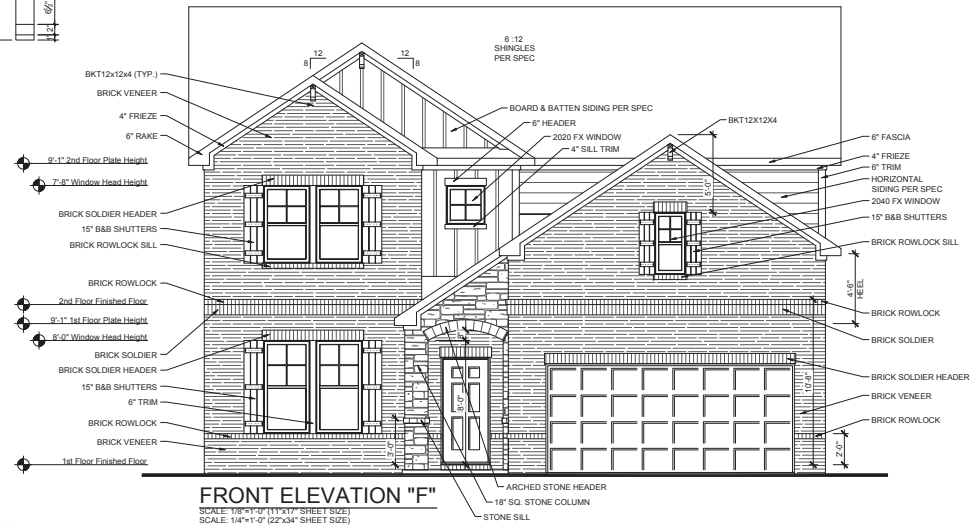


ROOF PLAN "F"  
SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)

ALCOVY CREEK

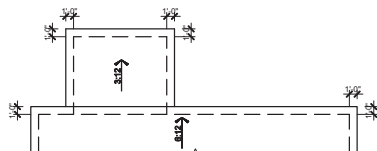


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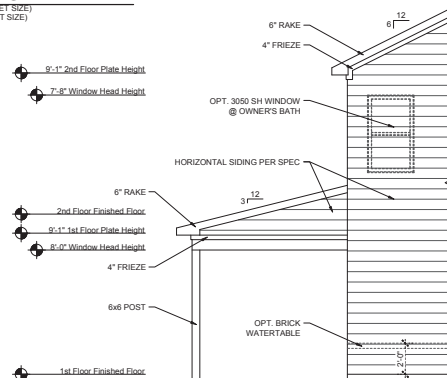
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SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "F"

SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "F"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

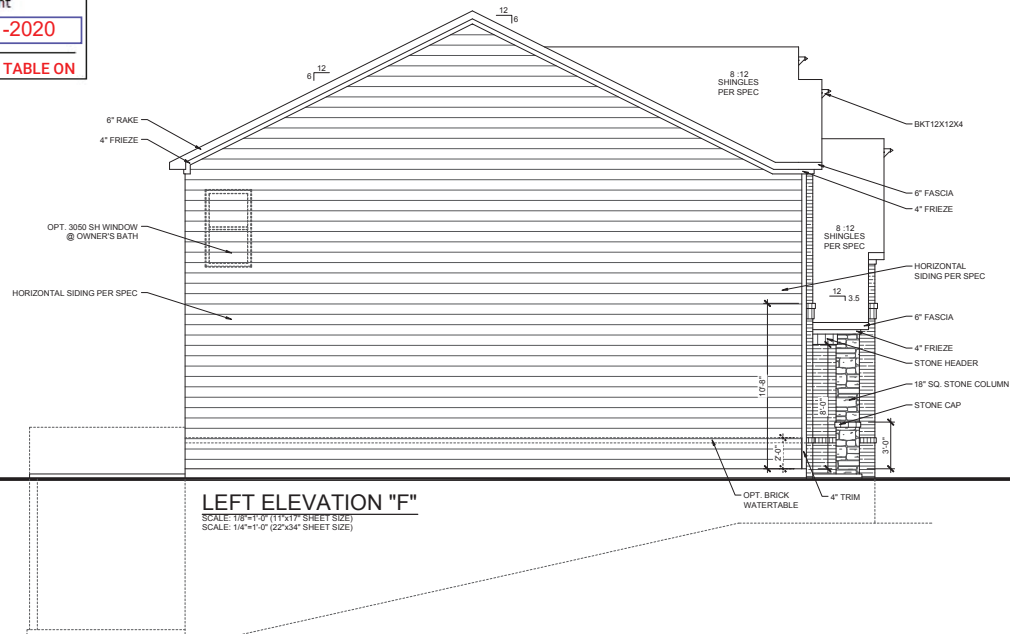
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Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development

Sharon Gore (aspen) Date 10-21-2020

**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE ON**

## REAR AND SIDES



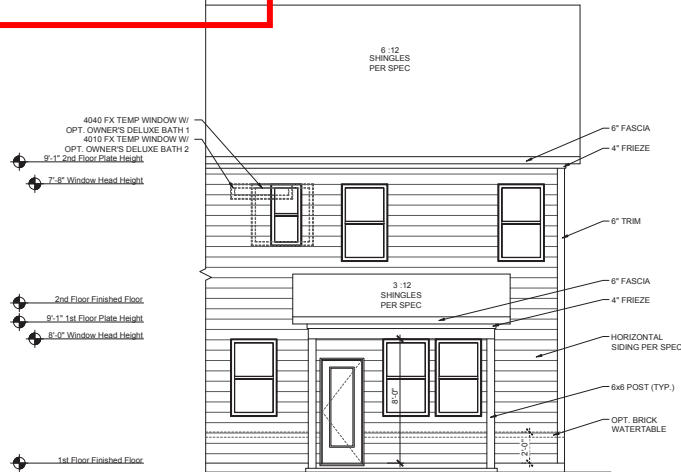
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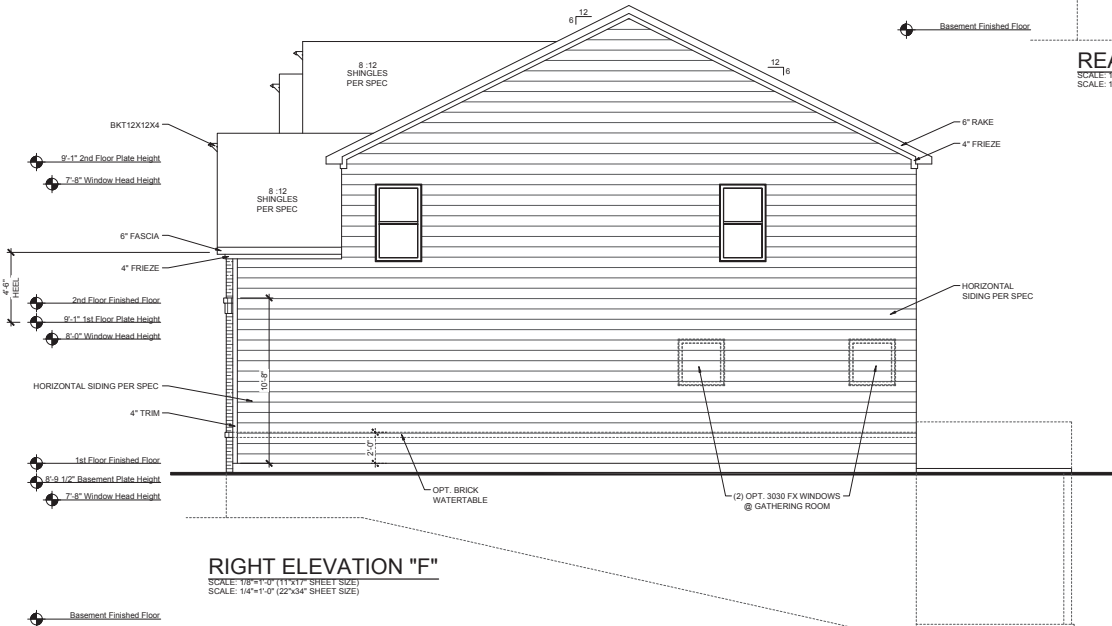


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6/10/2022



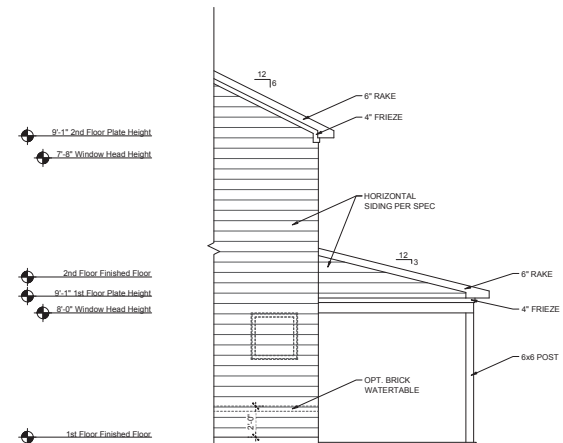
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PARTIAL REAR ELEVATION "F"**  
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SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



**RIGHT ELEVATION "F"**  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
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**REAR ELEVATION "F"**  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



**OPT. COVERED OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "F"**  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model: **Atwood**  
Drawing Title: **Elevations**  
Option Description: **Rear & Right**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

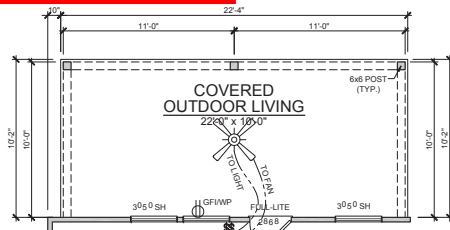
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Unless Otherwise Noted

Sheet:  
**A-3.1F**

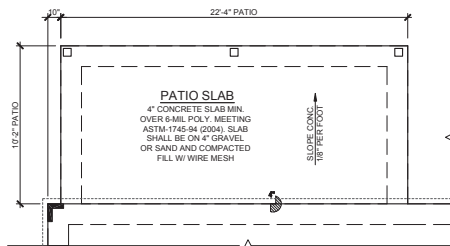
RECEIVED

6/10/2022



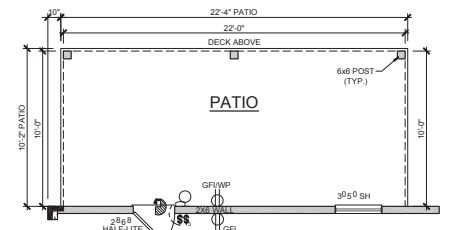
**OPT. EXT. COVERED OUTDOOR LIVING**

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SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



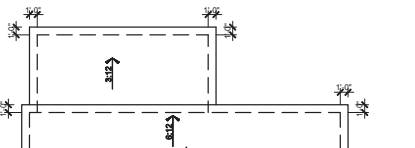
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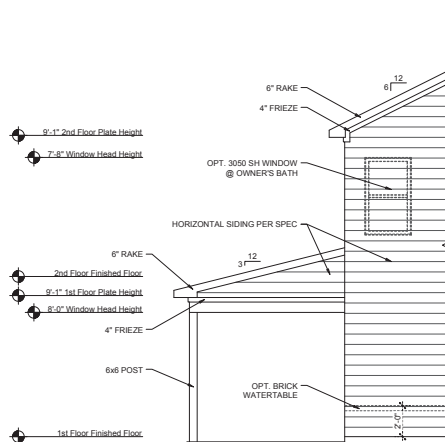
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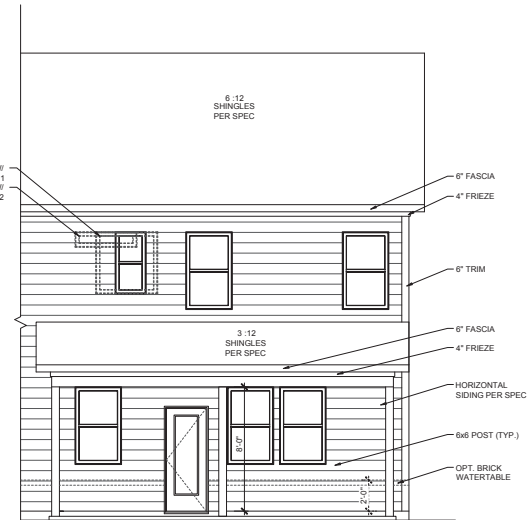
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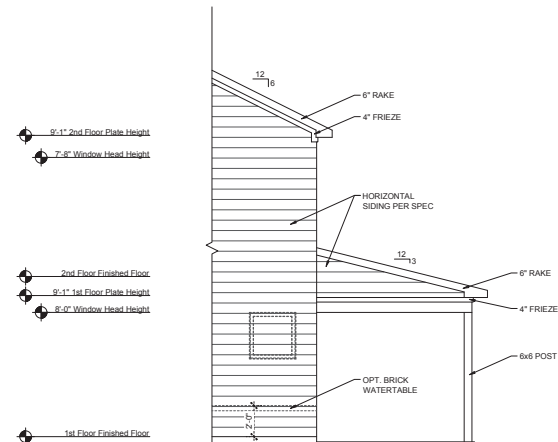
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**OPT. COVERED EXT. OUTDOOR LIVING PARTIAL REAR ELEVATION "F"**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**OPT. COVERED EXT. OUTDOOR LIVING PARTIAL RIGHT ELEVATION "F"**

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Revised Date:  
8/18/2020

Model:  
Atwood  
Drawing Title:  
Elevations - Opt. Ext.  
Option Description:  
Cov. Outdoor Living

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:  
**ATWOOD**  
Division:  
**Atlanta**  
Municipality:  
**County**  
Community:

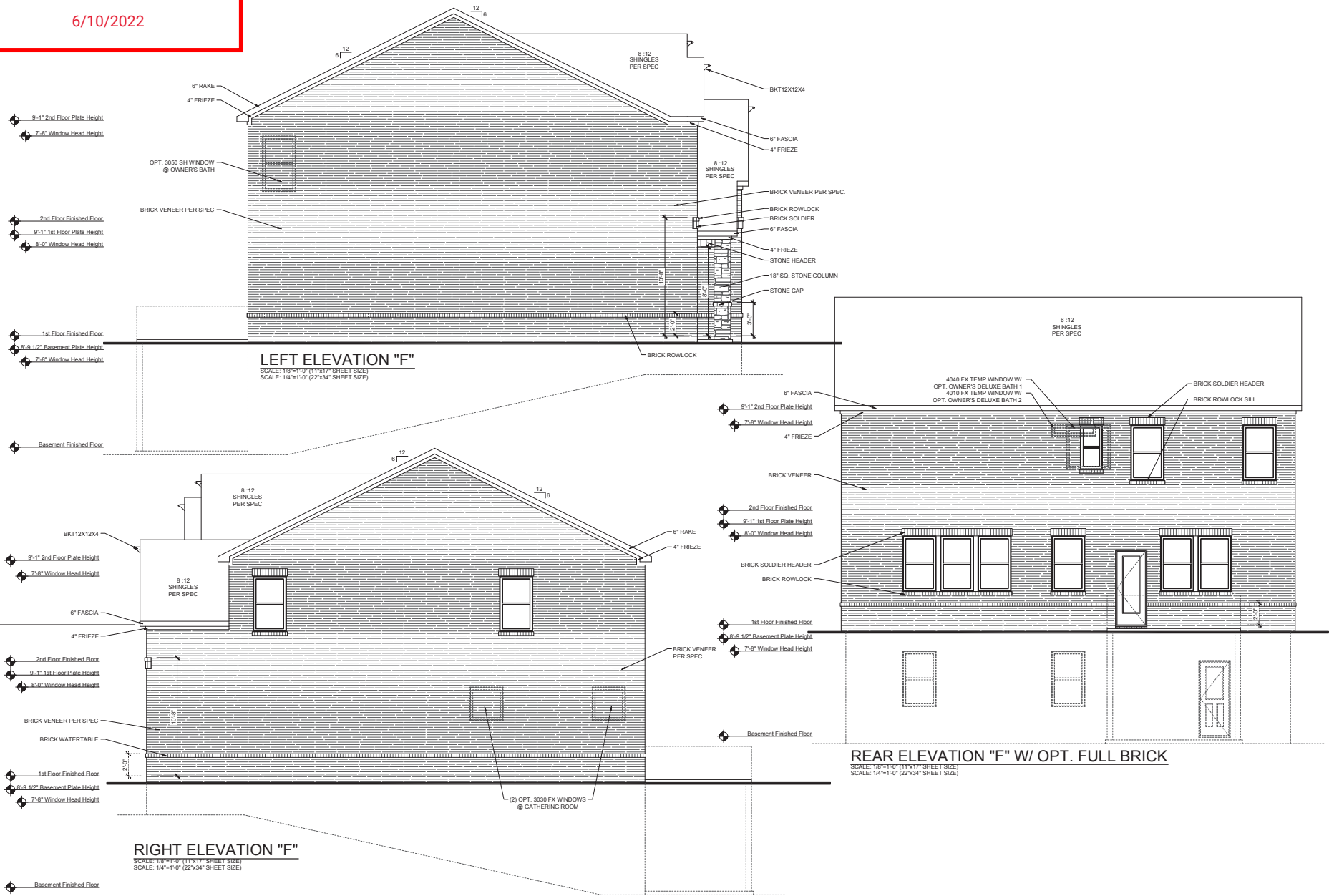
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Unless Otherwise Noted  
Sheet:

**A-3.2F**

RECEIVED

6/10/2022



Revised Date:  
8/18/2020

Model: Atwood  
Drawing Title: Elevations  
Option Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3400



Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.3F**

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BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ 5/8" TYPE "X" GYPSUM BD. CEILING W/  
HOUSE ASSEMBLY: 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.

2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT

3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

FRAMING:

1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

2) PROVIDE 1x6 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.

3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.

4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R602, R802.7.

THERMAL & MOISTURE PROTECTION:

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.

4) PROVIDE ICE-SHIELD PER CODE.

5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

DOORS & WINDOW:

1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.

2) REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.

3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.

4) FRONT DOOR WIDTH AS REQUIRED BY CODE.

5) GARAGE DOOR AS REQUIRED BY CODE.

6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATTS MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTS MINIMUM. VERIFY

PRESCOTT  
ELEVATION "D"



- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TAYLOR MORRISON. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TAYLOR MORRISON IS STRICTLY PROHIBITED.
- 2) MAIN STREET DESIGNS OF GEORGIA, LLC DESIGNS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC).
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTORS PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF MAIN STREET DESIGNS OF GEORGIA, LLC. IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY MAIN STREET DESIGNS OF GEORGIA, LLC PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.
- 6) FLAME SPREAD AND SMOKE DENSITY NOTES:
- WALLS AND CEILING:
- WALL AND CEILING FINISHES SHALL HAVE A FLAME - SPREAD CLASSIFICATION OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.
- INSULATION:
- IF BATT OR BLANKET INSULATION, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR OTHER VAPOR PERMEABLE MEMBRANES ARE LEFT EXPOSED (IN AREAS LIKE UNFINISHED BASEMENTS), THE MATERIAL SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FLAME-SPREAD AND SMOKE-DEVELOPMENT LIMITATIONS DO NOT APPLY TO FACINGS THAT IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.
- EXCEPT WHERE OTHERWISE NOTED IN SECTION R314.2, ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPMENT RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.
- R314.1.2 THERMAL BARRIER, FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2-INCH (12.7 MM) GYPSUM BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F (121°C) AFTER 15 MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTION R02.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE WHEN EXPOSED TO FIRE SHALL BE PROHIBITED.

APPLICABLE CODES

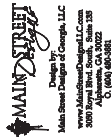
- THE GEORGIA STATE MINIMUM STANDARDS CODES:
- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
  - NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

Sheet List		AREA CALCULATIONS:	
Sheet #	Description	Square Footages	
CS-1.0D	Cover Sheet - General Notes	Area	Elevation D
F-0.0D	Slab Plan	First Floor	1106 SF
F-0.1D	Basement Plan	Second Floor	1394 SF
A-1.0D	First Floor Plan & Options	Total Living	2500 SF
A-2.0D	Second Floor Plan & Options	Garage	405 SF
A-3.0D	Front & Left Elevation / Roof Plan	Porch	159 SF
A-3.1D	Rear & Right Elevation	Patio	120 SF
A-3.2D	Opt. Ext. Covered Outdoor Living	Total Under Roof	3064
A-3.3D	Opt. Full Brick	Opt. Basement	1099 SF
A-4.0D	Building Section	Opt. Ext. Covered Outdoor Living	220 SF
A-4.1D	Building Section W/ Basement		
E-0.1D	Basement Electrical Plan		
E-1.0D	First Floor Electrical Plan		
E-2.0D	Second Floor Electrical Plan		

REVISIONS:

NUMBER:	DATE:	DESCRIPTION:
-	---	-

Designer:	Builder:
Main Street Designs of Georgia, LLC www.MainStreetDesignsLLC.com 3050 Royal Blvd. South, Suite 135 Alpharetta, GA 30022 O. (404) 480-3881	Taylor Morrison 4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 945-3600



Revised Date:  
8/18/2020

Model: Prescott  
Drawing File:  
Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:  
**Prescott**  
Division:  
**Atlanta**  
Municipality:  
**County**  
Community:

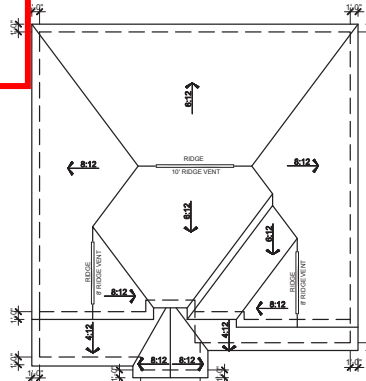
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Unless Otherwise Noted  
Sheet:  
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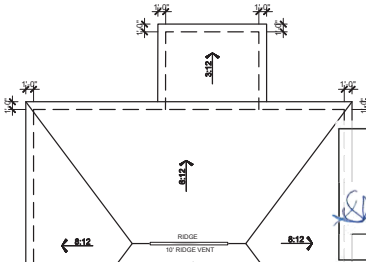
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ATTIC VENTILATION	
1444 SQ FT UNDER ROOF ATTIC	
300 SQ FT / 1 SQ FT = 4.81 SQ FT VENTILATION	
RIDGE VENTS 16 SQ IN x (125 SQ FT)	
SOFFIT VENTS 9 SQ IN x (1025 SQ FT)	
BOX VENTS 50 SQ IN x (347 SQ FT)	
4.81 SQ FT x 50% = 2.407 SQ FT OF RIDGE	
4.81 SQ FT x 50% = 2.407 SQ FT OF SOFFIT	
RIDGE VENT	
2.407 SQ FT = 19.3 FEET OF RIDGE VENT	
0.125 SQ FT	
SOFFIT VENT	
2.407 SQ FT = 38.5 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	26 FEET
ACTUAL SOFFIT VENT PROVIDED	123 FEET
NUMBER OF BOX VENTS NEEDED	2-3 COUNT
(NEGATIVE = 0)	
PORCH ROOF "D"	
140 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.93 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN x (1025 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.93 SQ FT = 14.9 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	37 FEET

COVERED OUTDOOR LIVING ROOF	
120 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN x (1025 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.80 SQ FT = 12.8 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET

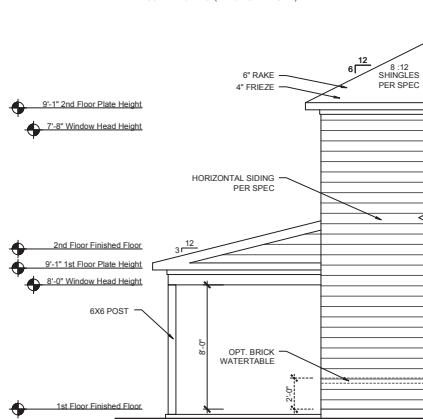


ROOF PLAN "D"  
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SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)

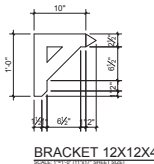


FRONT ELEVATION "D"  
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SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

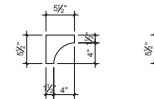
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SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING LEFT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



BRACKET 12X12X4  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



BRACKET 5X5X3  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

ALCOVY CREEK

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon G. (Sign)* Date **10-21-2020**  
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE**

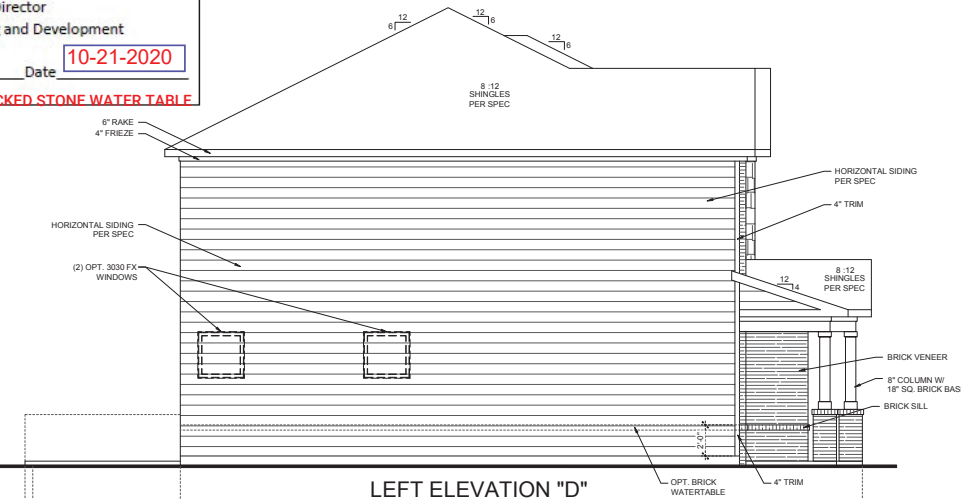
ON REAR AND SIDES

- 9'-1" 2nd Floor Plate Height
- 7'-8" Window Head Height

- 2nd Floor Finished Floor
- 9'-1" 1st Floor Plate Height
- 8'-0" Window Head Height

- 1st Floor Finished Floor
- 8'-6 1/2" Basement Plate Height
- 7'-8" Window Head Height

- Basement Finished Floor



LEFT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

**MAIN STREET**  
Design by Gwinnett, LLC  
Main Street Design, LLC  
3000 Royal Blvd., Suite 100  
Atlanta, GA 30329  
404.949.9999

Revised Date:  
**8/18/2020**

Model: **Prescott**  
Plan Name: **Elevations / Roof Plan**  
Drawing File: **Front & Left**  
Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

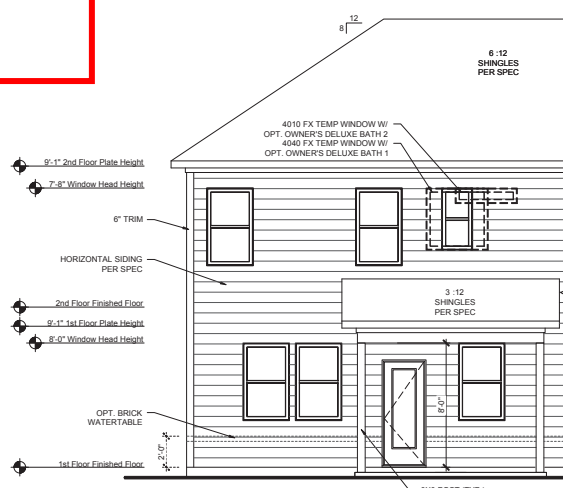
**taylor morrison**  
Homes Inspired by You

Plan Name: **Prescott**  
Division: **Atlanta**  
Municipality: **County**  
Community:

Lot Number:  
Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
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6/10/2022

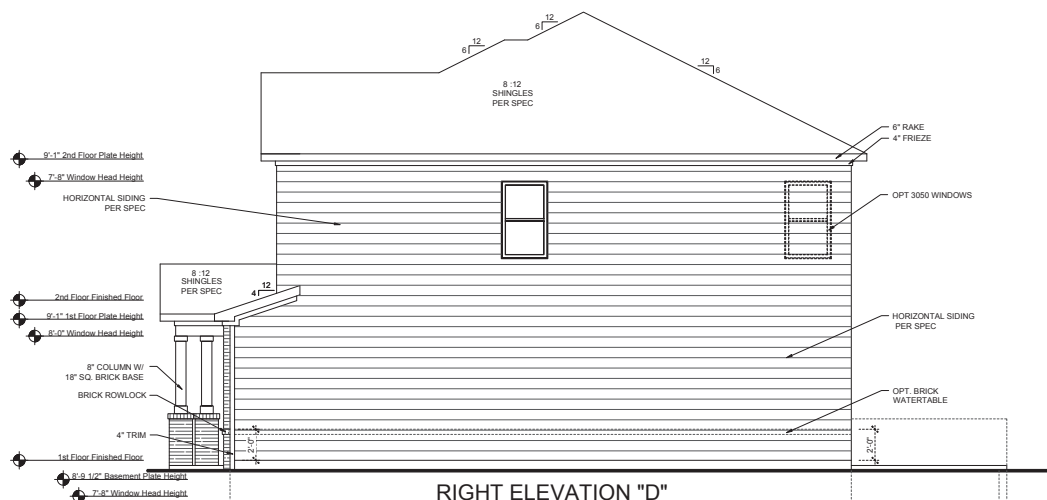


OPT. COVERED OUTDOOR LIVING  
REAR ELEVATION "D"



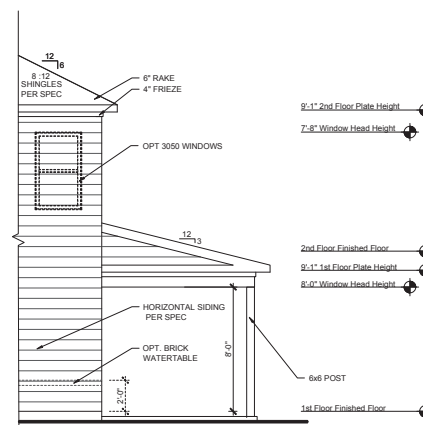
REAR ELEVATION "D"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



RIGHT ELEVATION "D"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION "D"



Revised Date:  
8/18/2020

Model: Prescott  
Drawing Title: Elevations  
Option Description: Rear & Right

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 943-3600



Plan Name: Prescott  
Division: Atlanta  
Municipality: County  
Community:

Lot Number:

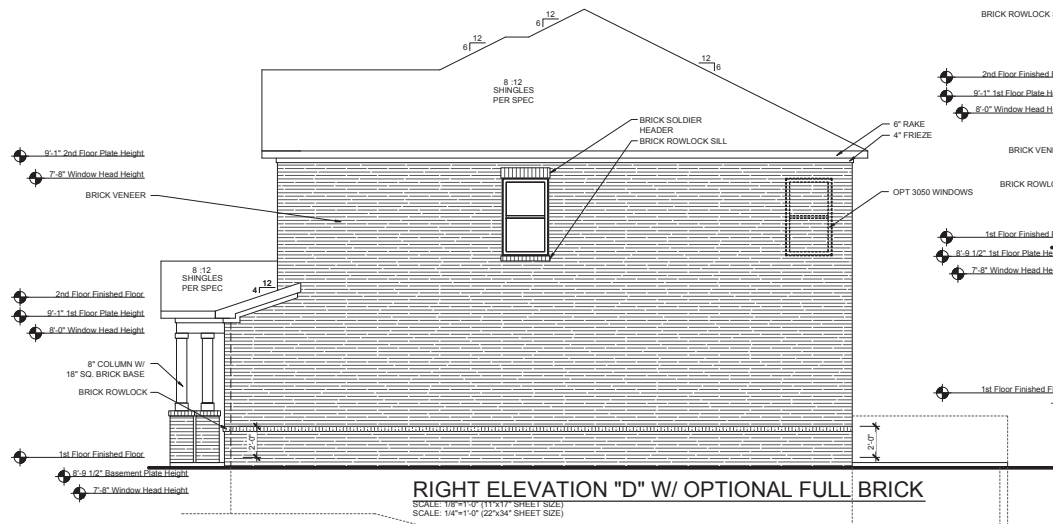
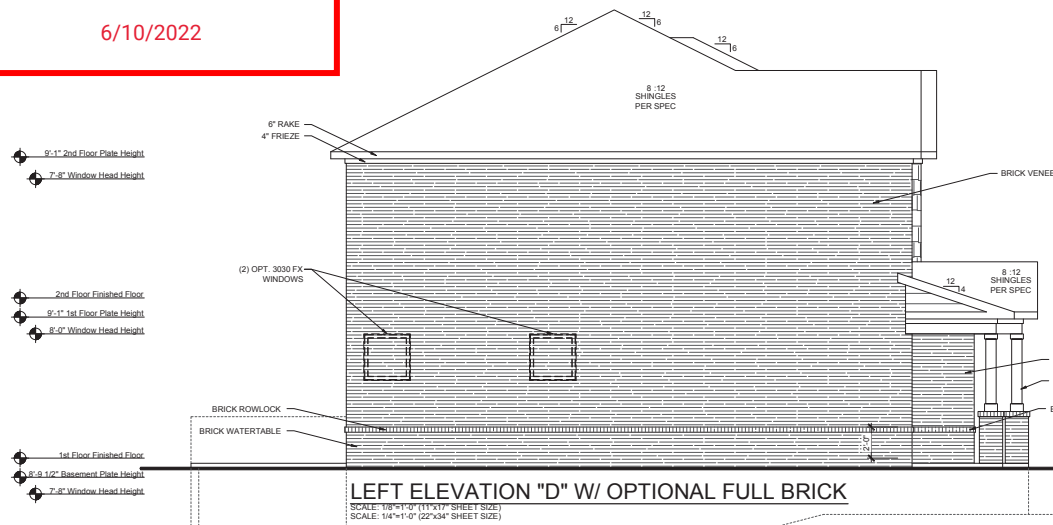
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
A-3.1D



RECEIVED

6/10/2022



Revised Date:  
8/18/2020

Model: Prescott  
Drawing Title: Elevations  
Option Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 943-3600



Plan Name:  
Prescott

Division:  
Atlanta

Municipality:  
County

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
A-3.3D

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BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ 5/8" TYPE "X" GYPSUM BD. CEILING W/  
HOUSE ASSEMBLY: 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.

2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT

3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

FRAMING:

1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

2) PROVIDE 1x6 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.

3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.

4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R602, R802.7.

THERMAL & MOISTURE PROTECTION:

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.

4) PROVIDE ICE-SHIELD PER CODE.

5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

DOORS & WINDOW:

1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.

2) REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.

3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.

4) FRONT DOOR WIDTH AS REQUIRED BY CODE.

5) GARAGE DOOR AS REQUIRED BY CODE.

6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATTS MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTS MINIMUM. VERIFY

PRESCOTT  
ELEVATION "E"



- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TAYLOR MORRISON. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TAYLOR MORRISON IS STRICTLY PROHIBITED.
- 2) MAIN STREET DESIGNS OF GEORGIA, LLC DESIGNS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC).
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTORS PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF MAIN STREET DESIGNS OF GEORGIA, LLC. IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY MAIN STREET DESIGNS OF GEORGIA, LLC PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.
- 6) FLAME SPREAD AND SMOKE DENSITY NOTES:
- WALLS AND CEILING:
- WALL AND CEILING FINISHES SHALL HAVE A FLAME - SPREAD CLASSIFICATION OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

INSULATION:

IF BATT OR BLANKET INSULATION, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR OTHER VAPOR PERMEABLE MEMBRANES ARE LEFT EXPOSED (IN AREAS LIKE UNFINISHED BASEMENTS), THE MATERIAL SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FLAME-SPREAD AND SMOKE-DEVELOPMENT LIMITATIONS DO NOT APPLY TO FACINGS THAT IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.

EXCEPT WHERE OTHERWISE NOTED IN SECTION R314.2, ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPMENT RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.

R314.1.2 THERMAL BARRIER, FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2-INCH (12.7 MM) GYPSUM BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F (121°C) AFTER 15 MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTION R702.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE WHEN EXPOSED TO FIRE SHALL BE PROHIBITED.

APPLICABLE CODES

- THE GEORGIA STATE MINIMUM STANDARDS CODES:
- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
  - INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
  - NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

Sheet List		AREA CALCULATIONS:	
Sheet #	Description	Square Footages	
CS-1.0E	Cover Sheet - General Notes	Area	Elevation E
F-0.0E	Slab Plan	First Floor	1106 SF
F-0.1E	Basement Plan	Second Floor	1380 SF
A-1.0E	First Floor Plan & Options	Total Living	2486 SF
A-2.0E	Second Floor Plan & Options	Garage	405 SF
A-3.0E	Front & Left Elevation / Roof Plan	Porch	55 SF
A-3.1E	Rear & Right Elevation	Patio	120 SF
A-3.2E	Opt. Ext. Covered Outdoor Living	Total Under Roof	2946
A-3.3E	Opt. Full Brick		
A-4.0E	Building Section	Opt. Basement	1099 SF
A-4.1E	Building Section W/ Basement	Opt. Ext. Covered Outdoor Living	220 SF
E-0.1E	Basement Electrical Plan		
E-1.0E	First Floor Electrical Plan		
E-2.0E	Second Floor Electrical Plan		

REVISIONS:

NUMBER:	DATE:	DESCRIPTION:
-	---	-

Designer: Main Street Designs of Georgia, LLC  
www.MainStreetDesignsLLC.com  
3050 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
O. (404) 480-3881

Builder: Taylor Morrison  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Revised Date:  
8/18/2020

Model: Prescott  
Drawing File:  
Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name: Prescott  
Division: Atlanta  
Municipality: County  
Community:

Lot Number:  
Scale: 11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet: CS-1.0E

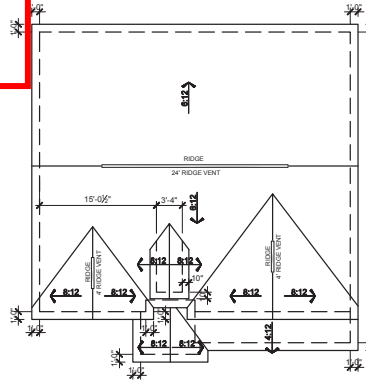


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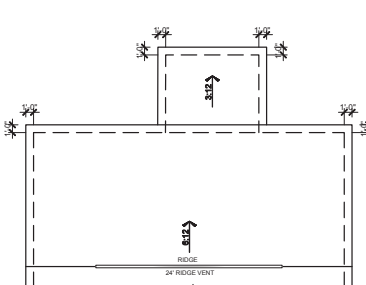
ATTIC VENTILATION	
1430 SQ FT UNDER ROOF ATTIC	
300 SQ FT / 1 SQ FT = 4.77 SQ FT VENTILATION	
RIDGE VENTS 16 SQ IN x (125 SQ FT)	
SOFFIT VENTS 9 SQ IN x (1025 SQ FT)	
BOX VENTS 50 SQ IN x (347 SQ FT)	
4.77 SQ FT x 50% = 2.385 SQ FT OF RIDGE	
4.77 SQ FT x 50% = 2.385 SQ FT OF SOFFIT	
RIDGE VENT	
2.385 SQ FT = 19.1 FEET OF RIDGE VENT	
0.125 SQ FT	
SOFFIT VENT	
2.385 SQ FT = 38.1 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	32 FEET
ACTUAL SOFFIT VENT PROVIDED	58 FEET
NUMBER OF BOX VENTS NEEDED	4.5 COUNT
(REQ - ACTUAL x .347)	(NEGATIVE = 0)

PORCH ROOF "E"	
48 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.32 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN x (1025 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.320 SQ FT = 5.1 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	29 FEET

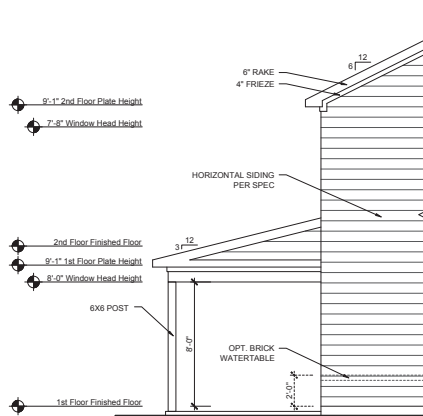
COVD OUTDOOR LIVING ROOF	
120 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN x (1025 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.800 SQ FT = 12.8 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET



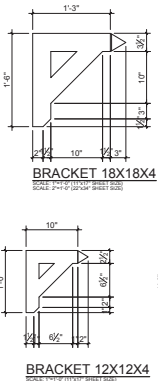
ROOF PLAN "E"  
SCALE: 1/16"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING ROOF PLAN "E"  
SCALE: 1/16"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)

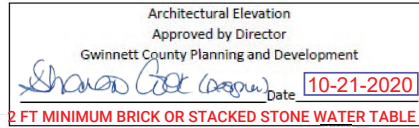


OPT. COVERED OUTDOOR LIVING LEFT ELEVATION "E"  
SCALE: 1/16"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



BRACKET 18X18X4  
BRACKET 12X12X4  
SCALE: 1/16"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)

ALCOVY CREEK



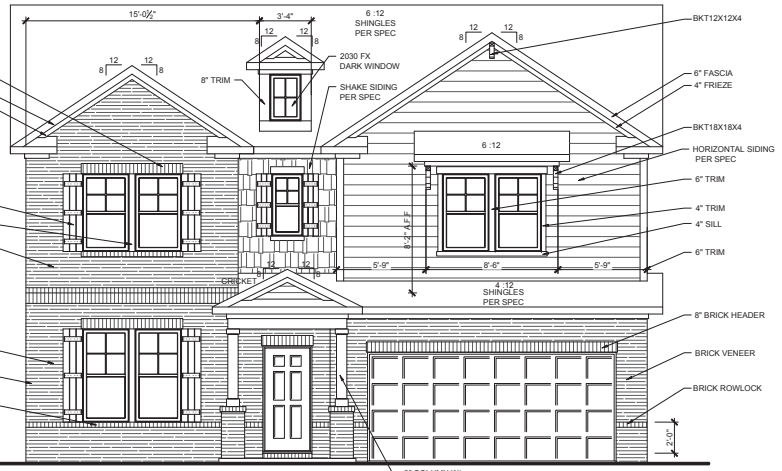
2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE  
ON REAR AND SIDES

9'-1" 2nd Floor Plate Height  
7'-8" Window Head Height

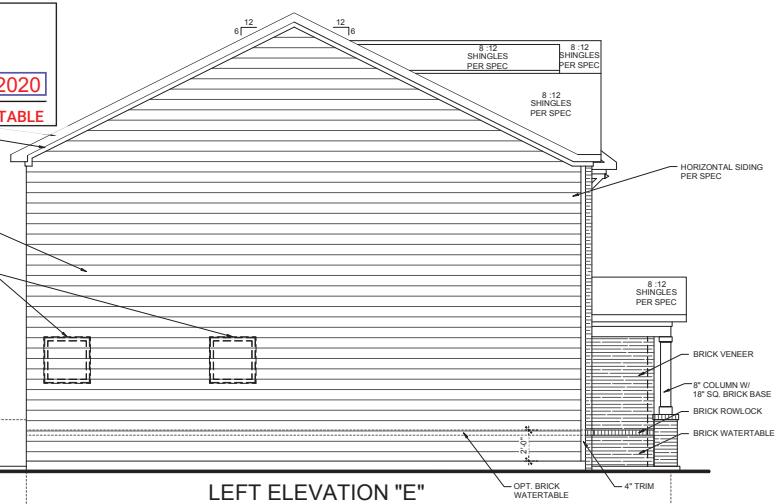
2nd Floor Finished Floor  
9'-1" 1st Floor Plate Height  
8'-0" Window Head Height

1st Floor Finished Floor  
8'-6 1/2" Basement Plate Height  
7'-8" Window Head Height

Basement Finished Floor



FRONT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



LEFT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

Model: Prescott

Plan Name: 4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 943-3600

Division: Atlanta

Municipality: County

Community:

Lot Number:

Scale: 11x17 - 1/8"=1'-0" 22x34 - 1/4"=1'-0" Unless Otherwise Noted

Sheet: A-3.0E

Revised Date: 8/18/2020

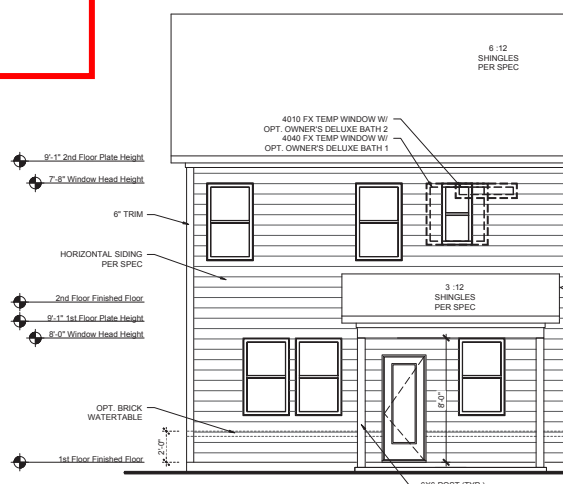
Elevations / Roof Plan

Front & Left

Option Description:

RECEIVED

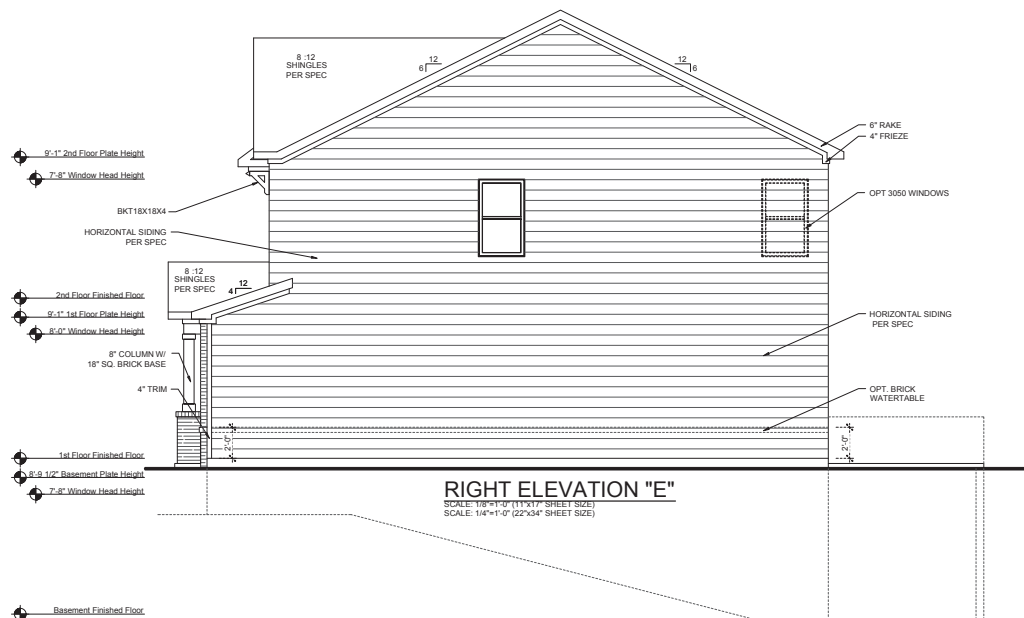
6/10/2022



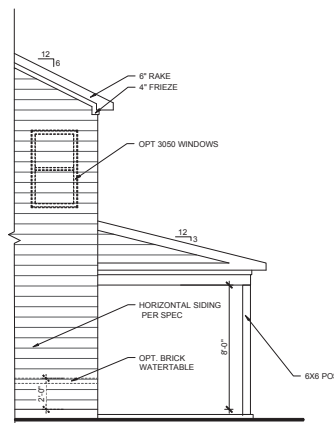
**OPT. COVERED OUTDOOR LIVING  
REAR ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**REAR ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**RIGHT ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**OPT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

Revised Date:  
8/18/2020

Model: **Prescott**  
Drawing Title: **Elevations**  
Option Description: **Rear & Right**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

Plan Name: **Prescott**  
Division:  
Municipality: **Atlanta**  
County:  
Community:

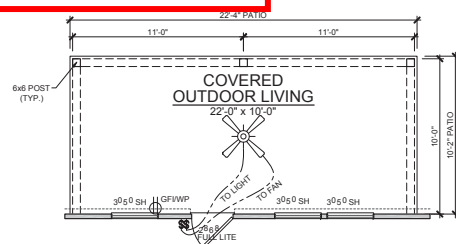
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Unless Otherwise Noted  
Sheet:

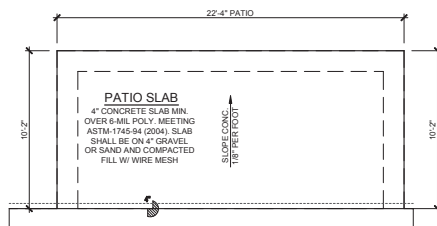
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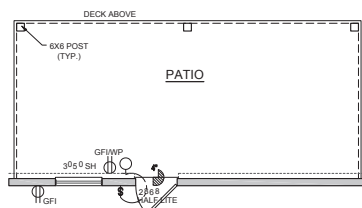
6/10/2022



OPTIONAL EXTENDED  
COVERED OUTDOOR LIVING

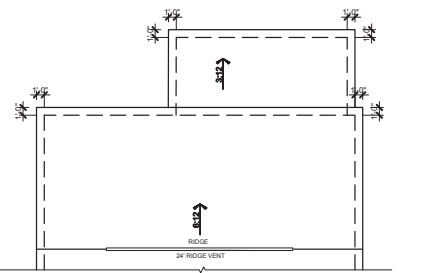


OPTIONAL EXTENDED COVERED OUTDOOR LIVING  
PARTIAL SLAB PLAN

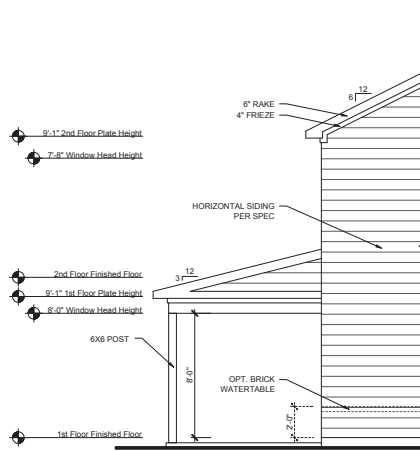


OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN

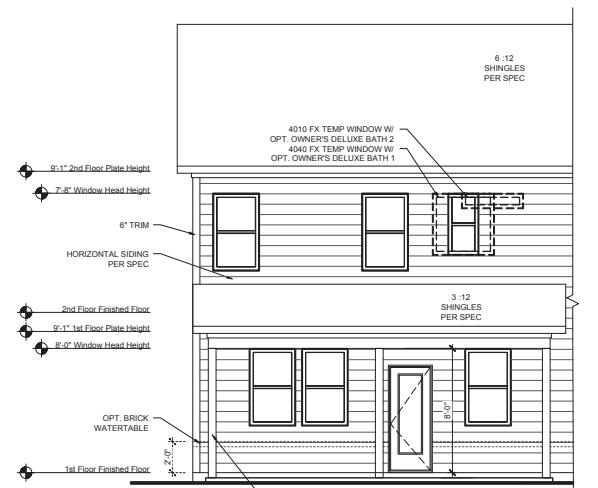
COV'D EXT. O/DR LIVING ROOF  
220 SQ FT UNDER ROOF  
150 SQ FT / 1 SQ FT = 1.47 SQ FT VENTILATION  
SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)  
ASSUME 100% VENTING @ SOFFIT  
SOFFIT VENT  
1.467 SQ FT = 23.5 FEET OF SOFFIT VENT  
0.0625 SQ FT  
ACTUAL SOFFIT VENT PROVIDED 24 FEET



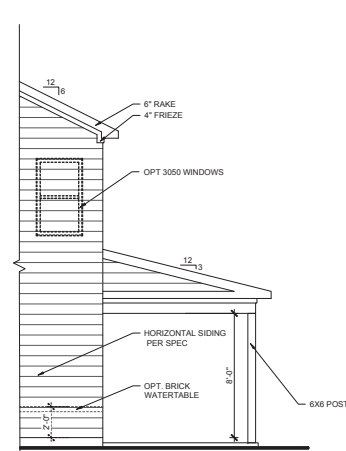
OPT. EXT. COVERED OUTDOOR LIVING  
ROOF PLAN "E"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
LEFT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



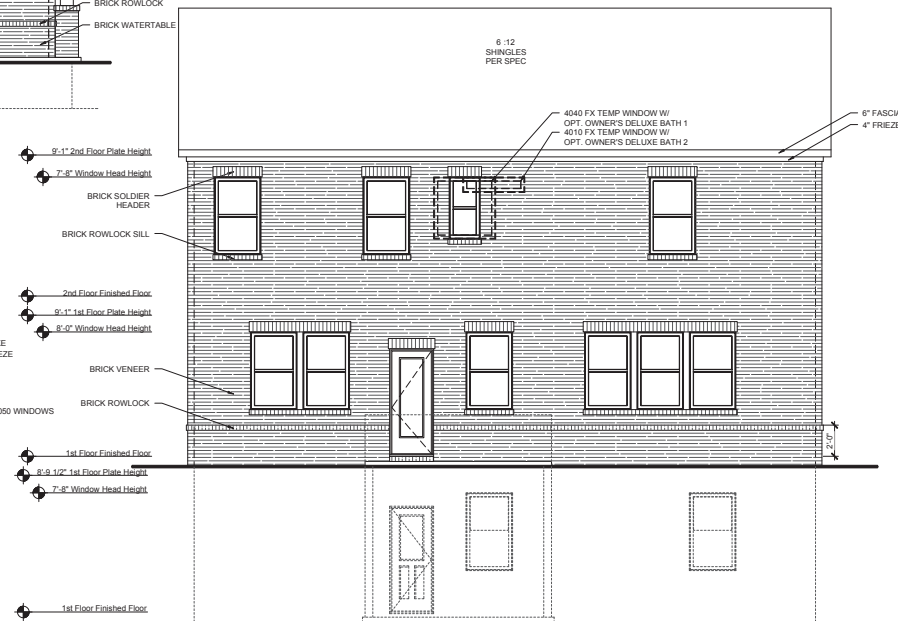
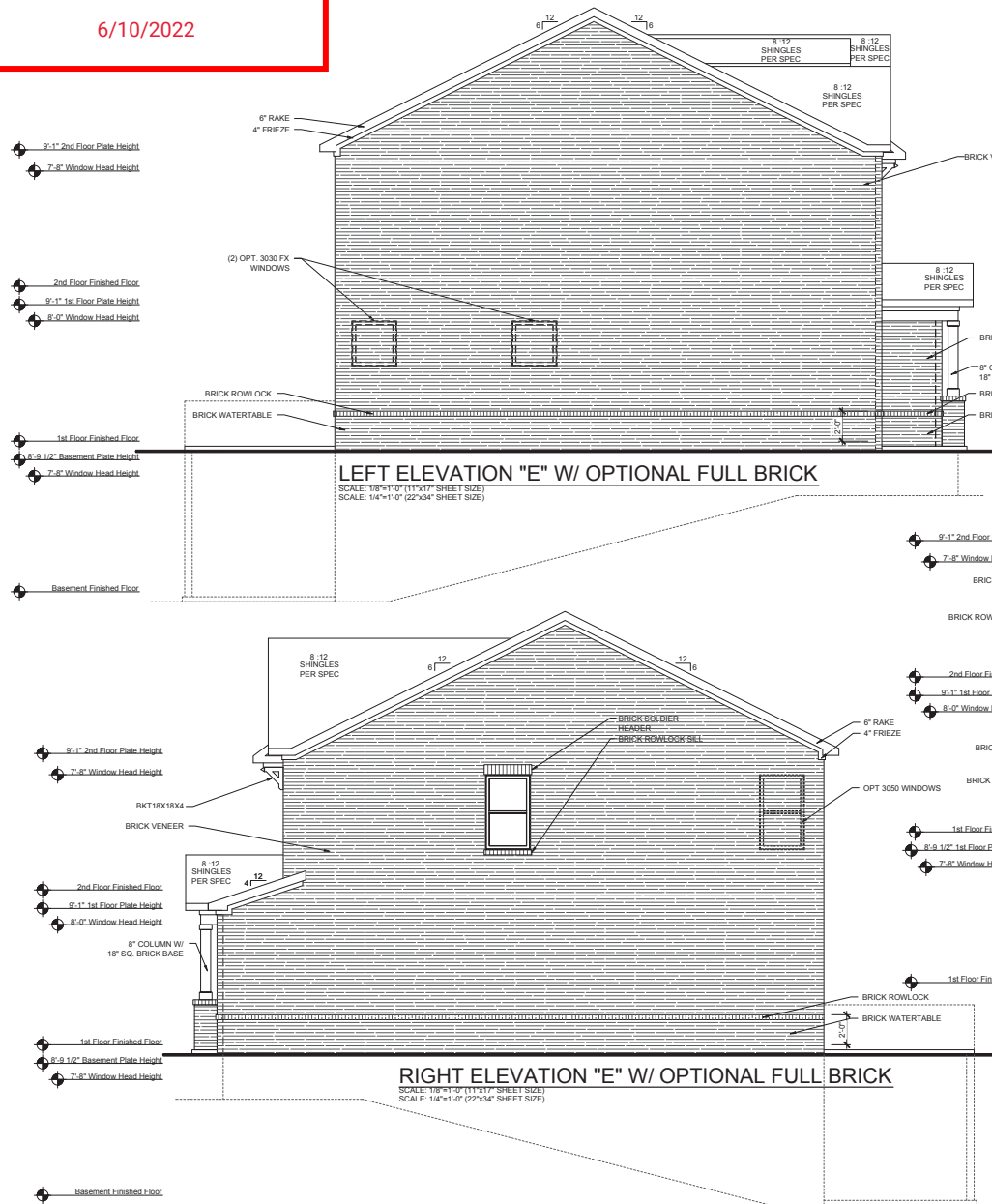
OPT. EXT. COVERED OUTDOOR LIVING  
REAR ELEVATION "E"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

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6/10/2022



Revised Date:  
8/18/2020

Model: Prescott  
Drawing Title: Elevations  
Option Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
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(770) 943-3600



Plan Name:  
**Prescott**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.3E**

RECEIVED

BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ ¾" TYPE "X" GYPSUM BD. CEILING W/  
HOUSE ASSEMBLY: 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

- 1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT
- 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

FRAMING:

- 1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.
- 2) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- 3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- 4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- 5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R602, R802.7.

THERMAL & MOISTURE PROTECTION:

- 1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
- 4) PROVIDE ICE-SHIELD PER CODE.
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

DOORS & WINDOW:

- 1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.
- 2) REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.
- 4) FRONT DOOR WIDTH AS REQUIRED BY CODE.
- 5) GARAGE DOOR AS REQUIRED BY CODE.
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATTS MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTS MINIMUM. VERIFY

PRESCOTT  
ELEVATION "F"



- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TAYLOR MORRISON. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TAYLOR MORRISON IS STRICTLY PROHIBITED.
- 2) MAIN STREET DESIGNS OF GEORGIA, LLC DESIGNS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC).
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTORS PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
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- 6) FLAME SPREAD AND SMOKE DENSITY NOTES:

WALLS AND CEILING:

WALL AND CEILING FINISHES SHALL HAVE A FLAME - SPREAD CLASSIFICATION OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

INSULATION:

IF BATT OR BLANKET INSULATION, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR OTHER VAPOR PERMEABLE MEMBRANES ARE LEFT EXPOSED (IN AREAS LIKE UNFINISHED BASEMENTS), THE MATERIAL SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FLAME-SPREAD AND SMOKE-DEVELOPMENT LIMITATIONS DO NOT APPLY TO FACINGS THAT IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.

EXCEPT WHERE OTHERWISE NOTED IN SECTION R314.2, ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPMENT RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.

R314.1.2 THERMAL BARRIER, FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2-INCH (12.7 MM) GYPSUM BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F (121°C) AFTER 15 MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTION R702.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE WHEN EXPOSED TO FIRE SHALL BE PROHIBITED.

APPLICABLE CODES

THE GEORGIA STATE MINIMUM STANDARDS CODES:

- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
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A-2.0F	Second Floor Plan & Options
A-3.0F	Front & Left Elevation / Roof Plan
A-3.1F	Rear & Right Elevation
A-3.2F	Opt. Ext. Covered Outdoor Living
A-3.3F	Opt. Full Brick
A-4.0F	Building Section
A-4.1F	Building Section W/ Basement
E-0.1F	Basement Electrical Plan
E-1.0F	First Floor Electrical Plan
E-2.0F	Second Floor Electrical Plan

AREA CALCULATIONS:

Square Footages	
Area	Elevation F
First Floor	1106 SF
Second Floor	1393 SF
Total Living	2499 SF
Garage	405 SF
Porch	146 SF
Patio	120 SF
Total Under Roof	3050
Opt. Basement	1099 SF
Opt. Ext. Covered Outdoor Living	220 SF

REVISIONS:

NUMBER:	DATE:	DESCRIPTION:
-	---	-

Designer:

Main Street Designs of Georgia, LLC  
www.MainStreetDesignsLLC.com  
3050 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
O. (404) 480-3881

Builder:

Taylor Morrison  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Revised Date:  
8/18/2020

Model: Prescott  
Drawing File:  
Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:

Prescott

Division:

Atlanta

Municipality:

County

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:

CS-1.0F

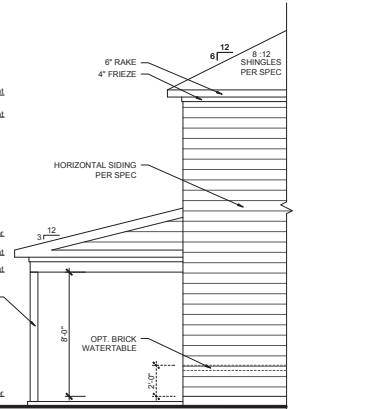
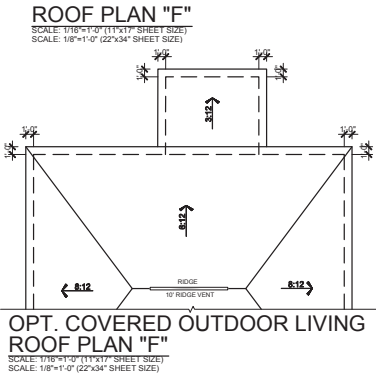
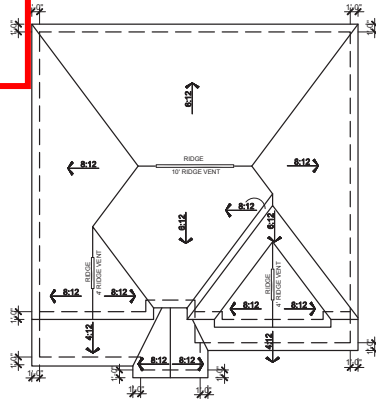


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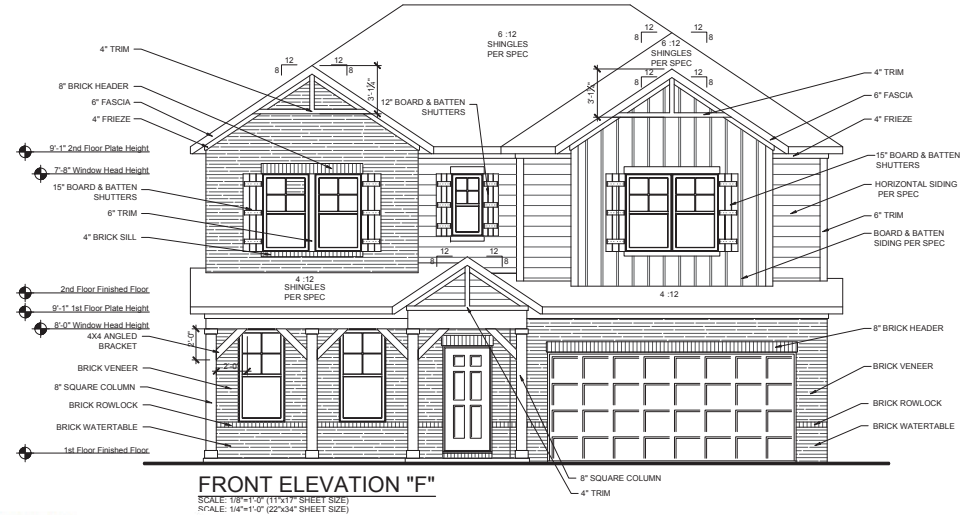
ATTIC VENTILATION	
1444 SQ FT UNDER ROOF ATTIC	
300 SQ FT / 1 SQ FT = 4.81 SQ FT VENTILATION	
RIDGE VENTS 16 SQ IN x (125 SQ FT)	
SOFFIT VENTS 9 SQ IN x (1025 SQ FT)	
BOX VENTS 50 SQ IN x (.347 SQ FT)	
4.81 SQ FT x 50% = 2.407 SQ FT OF RIDGE	
4.81 SQ FT x 50% = 2.407 SQ FT OF SOFFIT	
RIDGE VENT	
2.407 SQ FT = 19.3 FEET OF RIDGE VENT	
0.125 SQ FT	
SOFFIT VENT	
2.407 SQ FT = 38.5 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	18 FEET
ACTUAL SOFFIT VENT PROVIDED	118 FEET
NUMBER OF BOX VENTS NEEDED	6.4 COUNT
(REQ. ACTUAL x .347)	(NEGATIVE = 0)

PORCH ROOF "F"	
207 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 1.30 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN x (.0625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
1.30 SQ FT = 22.1 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	42 FEET

COVERED OUTDOOR LIVING ROOF	
120 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN x (.0625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.80 SQ FT = 12.8 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET



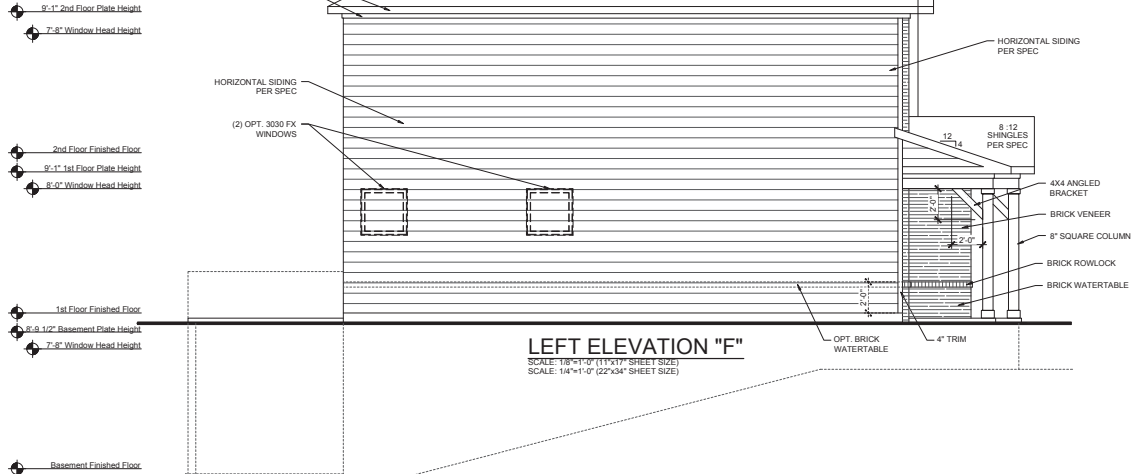
OPT. COVERED OUTDOOR LIVING  
LEFT ELEVATION "F"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



FRONT ELEVATION "F"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

ALCOVY CREEK  
Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon G. Gwinnett* Date **10-21-2020**  
**2 FT MINIMUM BRICK OR STACKED STONE ON WATER TABLE**

ON REAR AND SIDES



LEFT ELEVATION "F"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

**MAIN STREET**  
Design by Gwinnett, LLC  
Main Street Design, LLC  
3000 Royal Blvd., Suite 100  
Atlanta, GA 30322  
C. 404.949.9999

Revised Date:  
**8/18/2020**

Model: **Prescott**

Plan Name:  
**4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600**

Drawing Title:  
**Elevations / Roof Plan**

Option Description:  
**Front & Left**

**taylor morrison**  
Homes Inspired by You

Division:  
**Atlanta**

Municipality:  
**County**

Community:

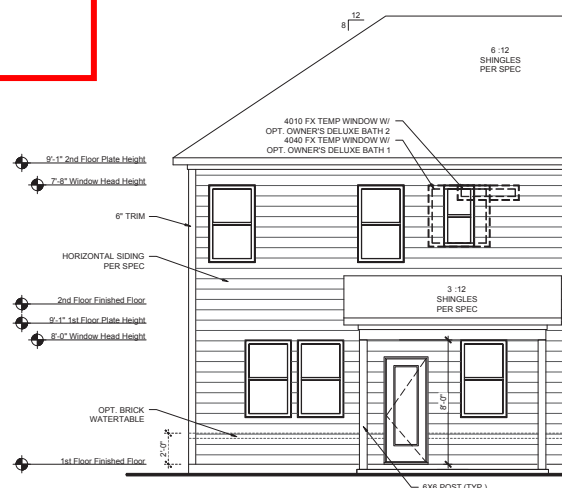
Lot Number:

Scale:  
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.0F**

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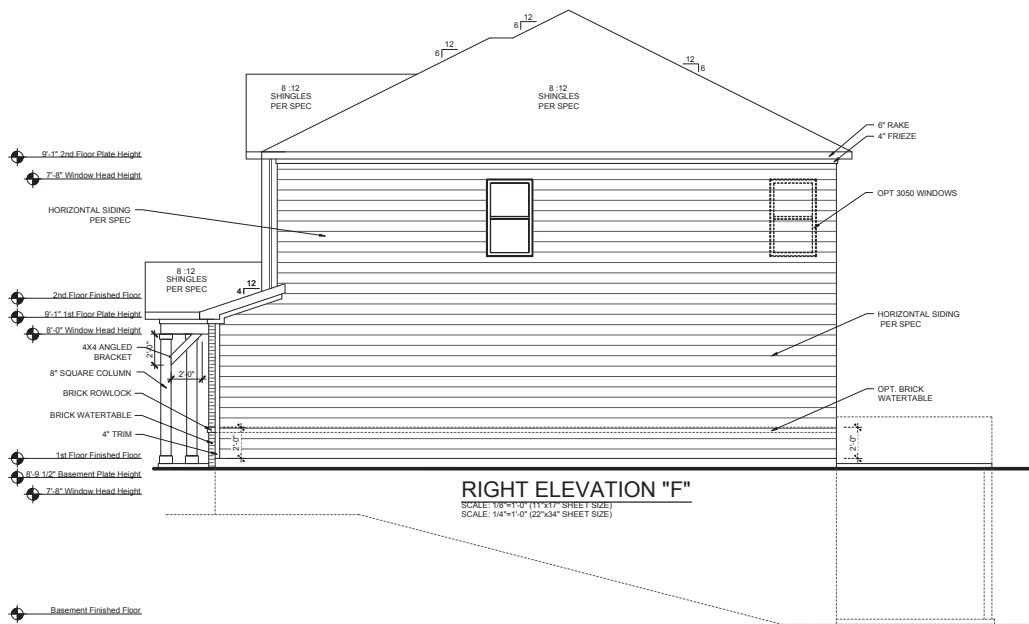
6/10/2022



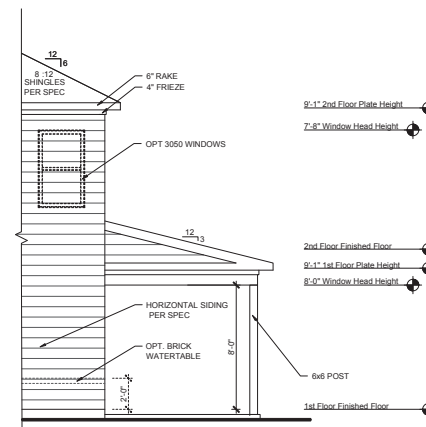
**OPT. COVERED OUTDOOR LIVING  
REAR ELEVATION "F"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**REAR ELEVATION "F"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**RIGHT ELEVATION "F"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**OPT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION "F"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

Revised Date:  
8/18/2020

Model: **Prescott**  
Drawing Title: **Elevations**  
Option Description: **Rear & Right**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 943-3600

Plan Name: **Prescott**  
Division:  
Municipality: **Atlanta**  
County: **County**

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.1F**



**RECEIVED**

6/10/2022

8-12 SHINGLES PER SPEC

6" RAKE  
4" FRIEZE

8-12 SHINGLES PER SPEC

8-12 SHINGLES PER SPEC

BRICK VENEER

(2) OPT. 3030 FX WINDOWS

2nd Floor Finished Floor

9'-1" 1st Floor Plate Height

8'-0" Window Head Height

BRICK ROWLOCK

BRICK WATERTABLE

1st Floor Finished Floor

8'-9 1/2" Basement Plate Height

7'-8" Window Head Height

**LEFT ELEVATION "F" W/ OPTIONAL FULL BRICK**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

9'-1" 2nd Floor Plate Height

7'-8" Window Head Height

BRICK SOLDIER HEADER

BRICK ROWLOCK SILL

2nd Floor Finished Floor

9'-1" 1st Floor Plate Height

8'-0" Window Head Height

BRICK VENEER

BRICK ROWLOCK

BRICK WATERTABLE

1st Floor Finished Floor

8'-9 1/2" Basement Plate Height

7'-8" Window Head Height

BRICK VENEER

BRICK ROWLOCK

BRICK WATERTABLE

1st Floor Finished Floor

8'-9 1/2" Basement Plate Height

7'-8" Window Head Height

**RIGHT ELEVATION "F" W/ OPTIONAL FULL BRICK**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
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SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

**A-3.3F**

RECEIVED

BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ 5/8" TYPE "X" GYPSUM BD. CEILING W/  
HOUSE ASSEMBLY: 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

- SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

FRAMING:

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EXTERIOR WALLS ZONE 3:  
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CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
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R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTS MINIMUM. VERIFY

SHERIDAN  
ELEVATION "E"



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R314.1.2 THERMAL BARRIER. FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2-INCH (12.7 MM) GYPSUM BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER TO LIMIT THE AVERAGE TEMPERATURE RISE OF THE UNEXPOSED SURFACE TO NO MORE THAN 250°F (121°C) AFTER 15 MINUTES OF FIRE EXPOSURE TO THE ASTM E 119 STANDARD TIME TEMPERATURE CURVE. THE GYPSUM BOARD SHALL BE INSTALLED USING A MECHANICAL FASTENING SYSTEM IN ACCORDANCE WITH SECTION R702.3.5. RELIANCE ON ADHESIVES TO ENSURE THAT THE GYPSUM BOARD WILL REMAIN IN PLACE WHEN EXPOSED TO FIRE SHALL BE PROHIBITED.

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A-3.2E	Opt. Ext. Covered Outdoor Living
A-3.3E	Opt. Full Brick Elevations
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AREA CALCULATIONS:

Square Footages	
Area	Elevation E
First Floor	1447 SF
Second Floor	1804 SF
Total Living	3260 SF
Garage	442 SF
Porch	135 SF
Patio	120 SF
Total Under Roof	3957 SF
Opt. Basement	1439 SF
Opt. Ext. Covered Outdoor Living	240 SF

REVISIONS:

NUMBER:	DATE:	DESCRIPTION:
-	---	-

Designer:

Main Street Designs of Georgia, LLC  
www.MainStreetDesignsLLC.com  
3050 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
O. (404) 480-3881

Builder:

Taylor Morrison  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Revised Date:  
8/18/2020

Model:  
SHERIDAN

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:

SHERIDAN

Division:

Atlanta

Municipality:

County

Community:

Lot Number:

Scale:  
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:

CS-1.0E

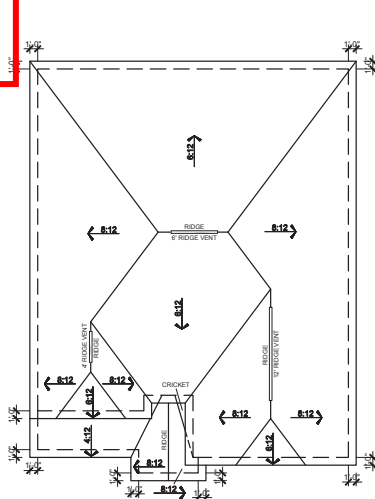


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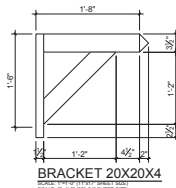
6/10/2022

APPLICABLE VENTILATION ROOF "E"	
400 SQ FT / 1 SQ FT = 0.22 SQ FT VENTILATION	
RIDGE VENTS 18 SQ IN = (125 SQ FT)	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
BOX VENTS 9 SQ IN = (0.625 SQ FT)	
6.22 SQ FT x 50% = 3.112 SQ FT OF RIDGE	
6.22 SQ FT x 50% = 3.112 SQ FT OF SOFFIT	
RIDGE VENT 3.112 SQ FT = 24.9 FEET OF RIDGE VENT	
SOFFIT VENT 3.112 SQ FT = 49.8 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED 26 FEET	
ACTUAL SOFFIT VENT PROVIDED 168 FEET	
NUMBER OF BOX VENTS NEEDED -0.4 COUNT (NEGATIVE = 0)	
PORCH ROOF "E"	
135 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.90 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT 0.900 SQ FT = 14.4 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED 19 FEET	

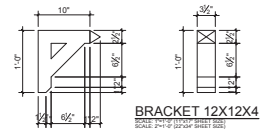
COVID OUTDOOR LIVING ROOF	
120 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT 0.800 SQ FT = 12.8 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED 14 FEET	



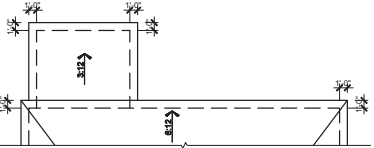
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SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



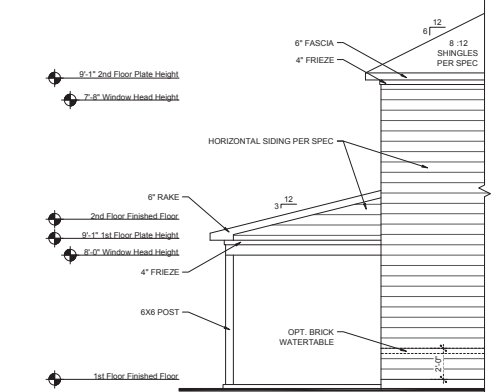
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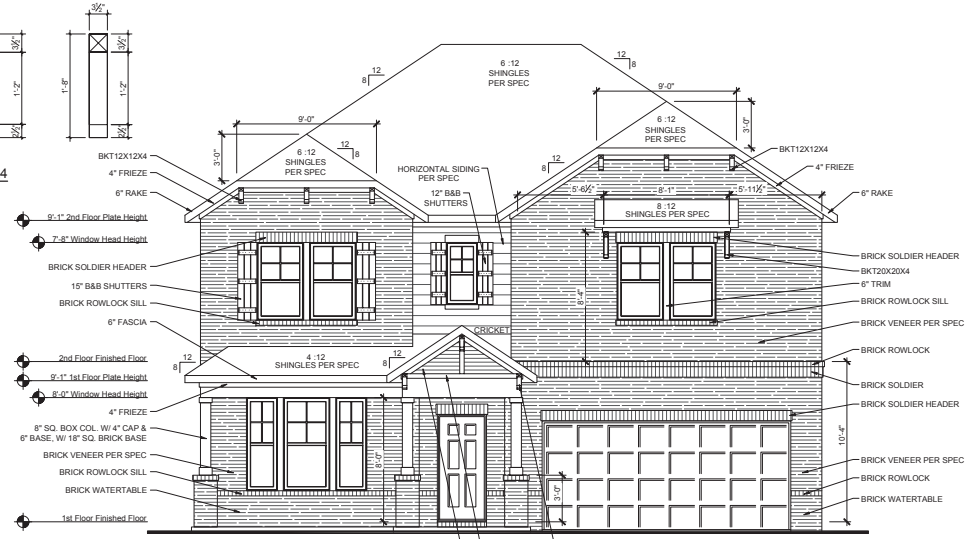
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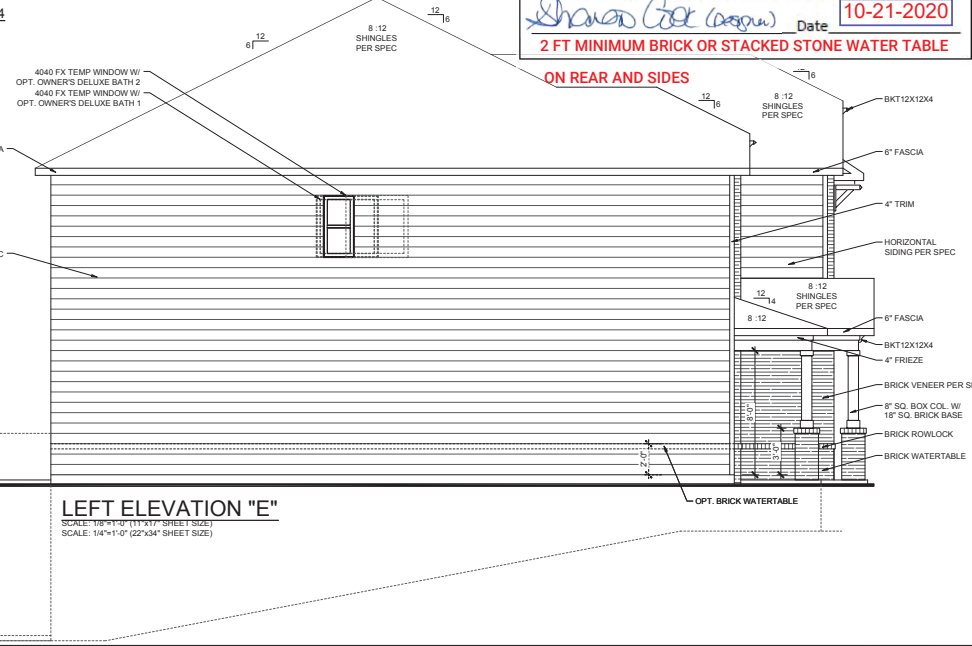
OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "E"  
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OPT. COVERED OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



FRONT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



LEFT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

ALCOVY CREEK  
Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon Gore (owner)* Date **10-21-2020**  
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE**  
**ON REAR AND SIDES**

MAIN STREET  
Design by: Gwinnett, LLC  
Main Street Design, LLC  
3000 Royal Blvd., Suite 100  
Atlanta, GA 30329  
404.949.9999

Revised Date:  
8/18/2020

Model: SHERIDAN  
Drawing Title: Elevations / Roof Plan  
Front & Left  
Drawing File:  
Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

taylor morrison  
Homes Inspired by You

Plan Name:  
SHERIDAN  
Division:  
Atlanta  
Municipality:  
County  
Community:

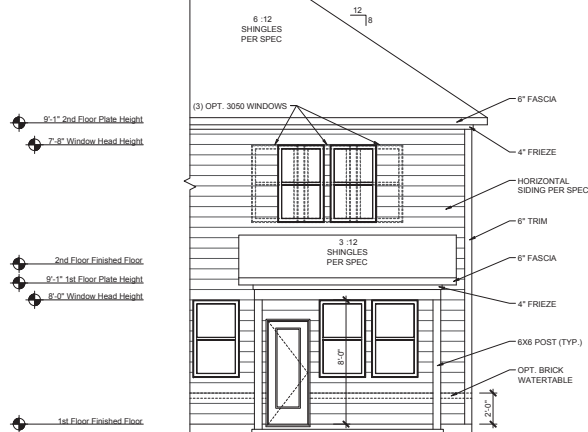
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Unless Otherwise Noted

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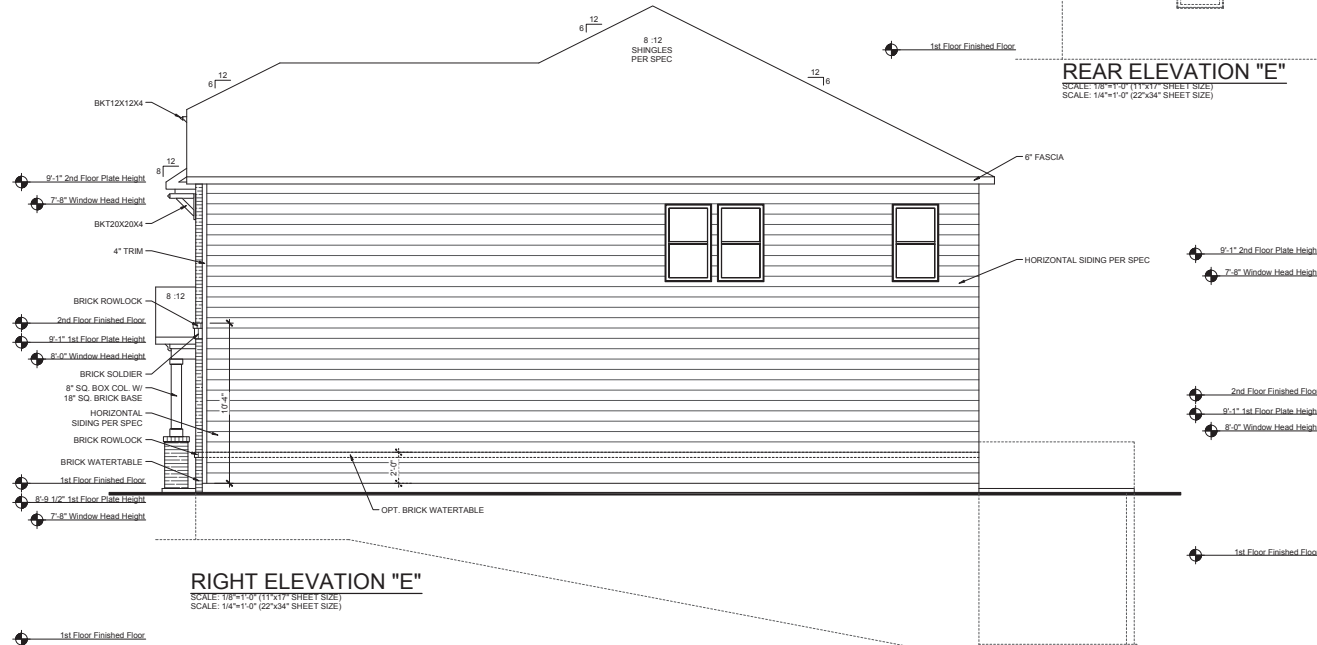
6/10/2022



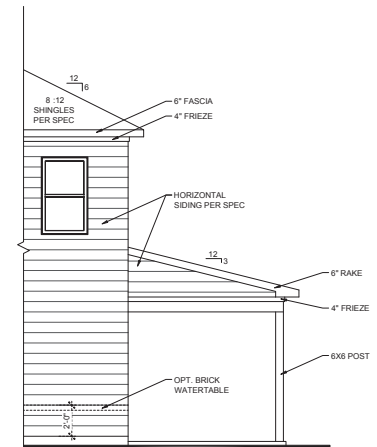
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PARTIAL REAR ELEVATION "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



REAR ELEVATION "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



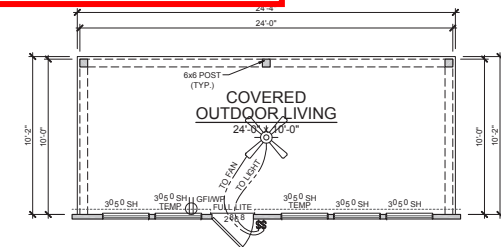
RIGHT ELEVATION "E"  
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SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "E"  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

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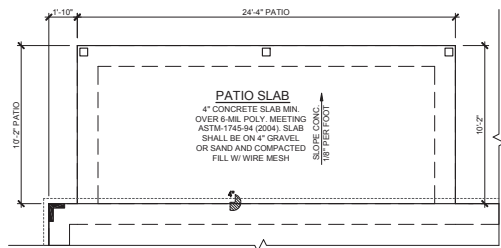
6/10/2022



OPTIONAL EXTENDED  
COVERED OUTDOOR LIVING

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

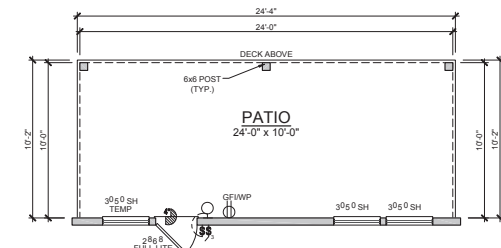
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OPT. COVERED OUTDOOR LIVING  
SLAB PARTIAL PLAN

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

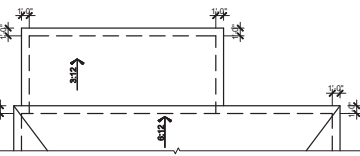
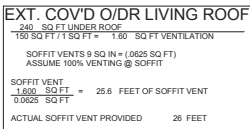
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OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

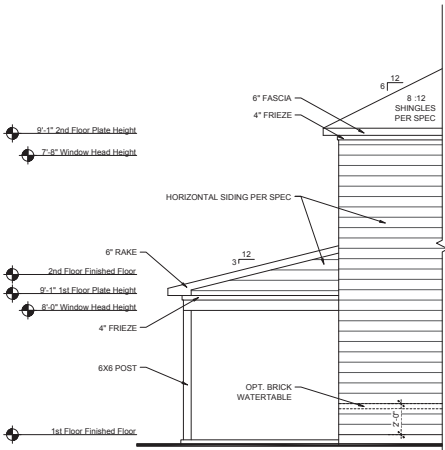
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OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

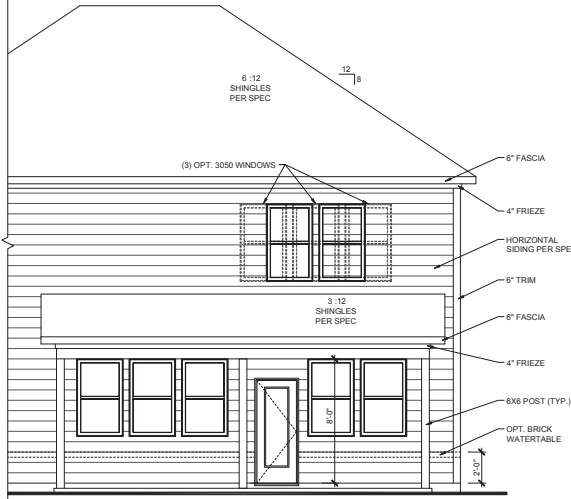
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OPT. EXT. COVERED OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

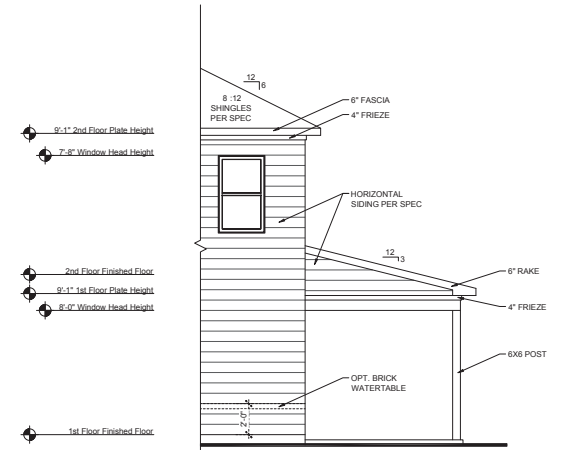
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OPT. EXT. COVERED OUTDOOR LIVING  
PARTIAL REAR ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model: SHERIDAN  
Drawing Title: Elevations - Opt. Ext.  
Option Description: Cov. Outdoor Living

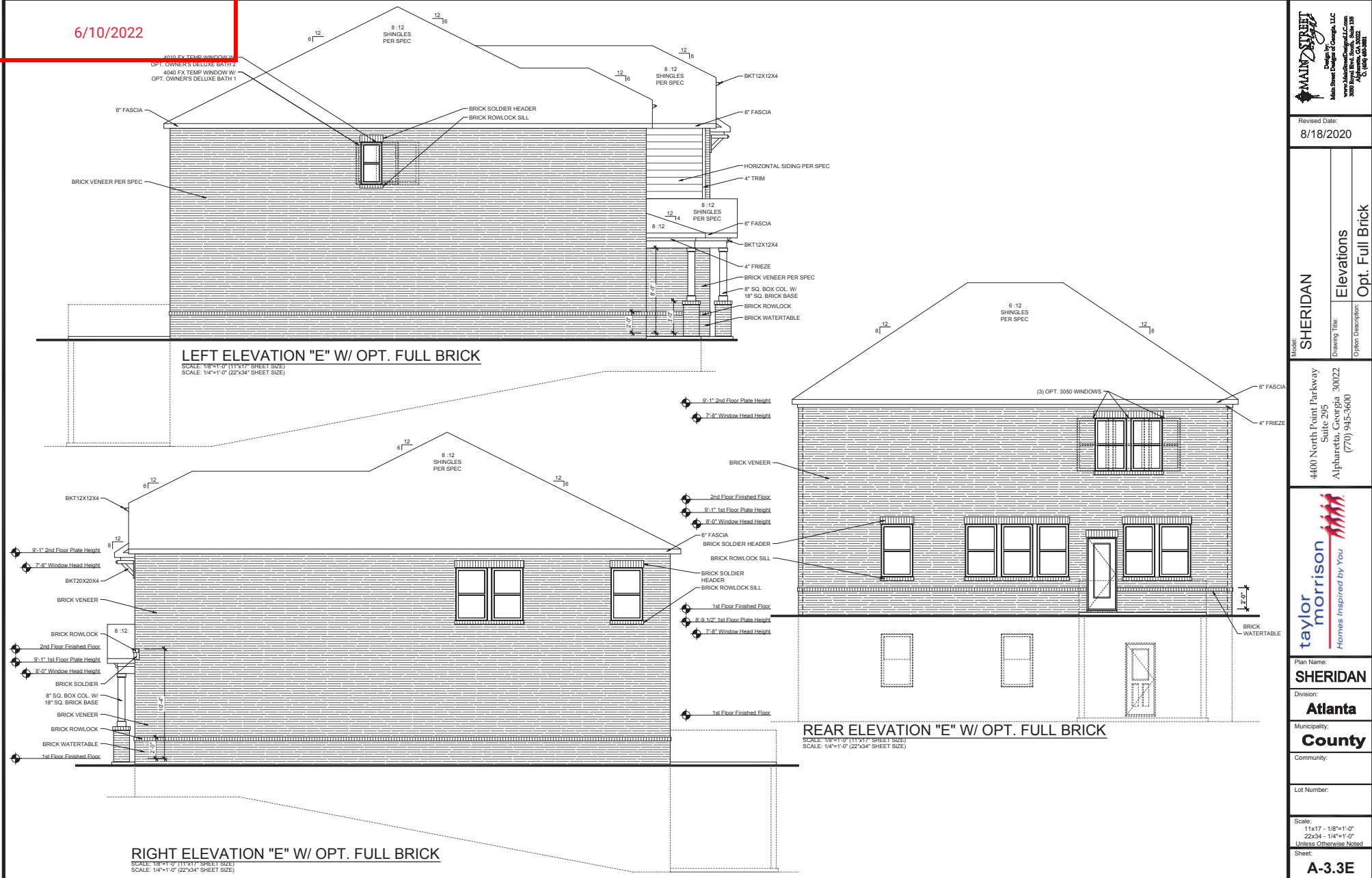
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:  
SHERIDAN  
Division:  
Atlanta  
Municipality:  
County  
Community:

Lot Number:  
Scale:  
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
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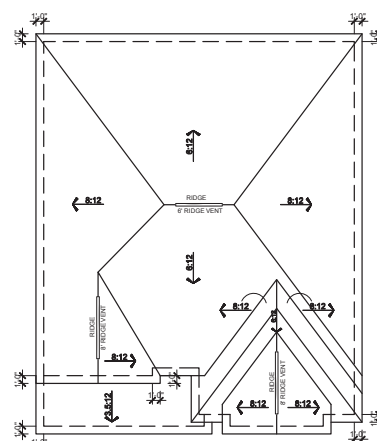
6/10/2022



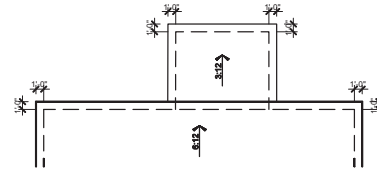
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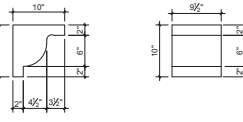
ATTIC VENTILATION ROOF "D"	
1833 SQ FT UNDER ROOF	300 SQ FT / 7.1 SQ FT = 6.11 SQ FT VENTILATION
RIDGE VENTS 18 SQ IN = (125 SQ FT)	SOFFIT VENTS 9 SQ IN = (0.025 SQ FT)
BOX VENTS 50 SQ IN = (347 SQ FT)	
6.11 SQ FT x 50% = 3.053 SQ FT OF RIDGE	6.11 SQ FT x 50% = 3.053 SQ FT OF SOFFIT
RIDGE VENT	3.053 SQ FT = 24.4 FEET OF RIDGE VENT
6.11 SQ FT x 50% = 3.053 SQ FT	SOFFIT VENT
3.053 SQ FT = 48.9 FEET OF SOFFIT VENT	
ACTUAL RIDGE VENT PROVIDED	22 FEET
ACTUAL SOFFIT VENT PROVIDED	156 FEET
NUMBER OF BOX VENTS NEEDED	0.8 COUNT (NEGATIVE = 0)
PORCH ROOF "D"	
137 SQ FT UNDER ROOF	150 SQ FT / 7.1 SQ FT = 0.91 SQ FT VENTILATION
SOFFIT VENTS 9 SQ IN = (0.025 SQ FT)	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT	0.913 SQ FT = 14.6 FEET OF SOFFIT VENT
ACTUAL SOFFIT VENT PROVIDED	23 FEET
COVERED OUTDOOR LIVING ROOF	
126 SQ FT UNDER ROOF	150 SQ FT / 7.1 SQ FT = 0.80 SQ FT VENTILATION
SOFFIT VENTS 9 SQ IN = (0.025 SQ FT)	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT	0.800 SQ FT = 12.8 FEET OF SOFFIT VENT
ACTUAL SOFFIT VENT PROVIDED	14 FEET



ROOF PLAN "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



COVERED OUTDOOR LIVING ROOF PLAN  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



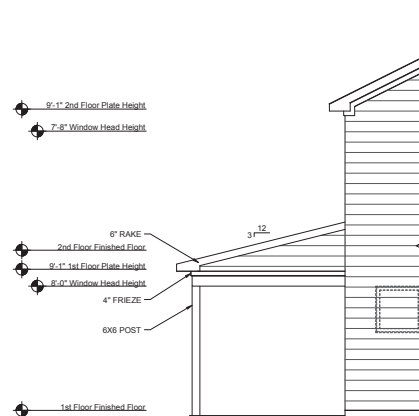
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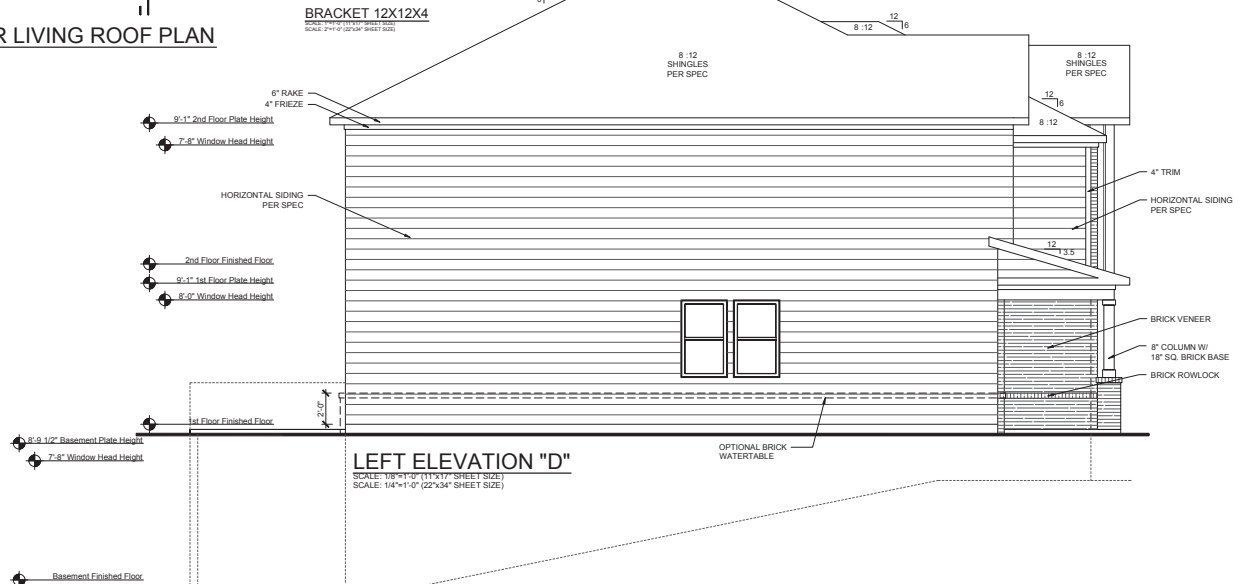
FRONT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

ALCOVY CREEK

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon Cook (owner)* Date: **10-21-2020**  
**2 FT MINIMUM BRICK OR STACKED STON WATER TABLE**  
**ON REAR AND SIDES**



OPTIONAL COVERED OUTDOOR LIVING  
LEFT ELEVATION  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



LEFT ELEVATION "D"  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

Revised Date:  
8/18/2020

Model: WAKEHURST  
Drawing Title: Elevations / Roof Plan  
Drawing File: Front & Left

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

taylor morrison  
Homes Inspired by You

Plan Name: WAKEHURST  
Division: Atlanta  
Municipality: County  
Community:

Lot Number:

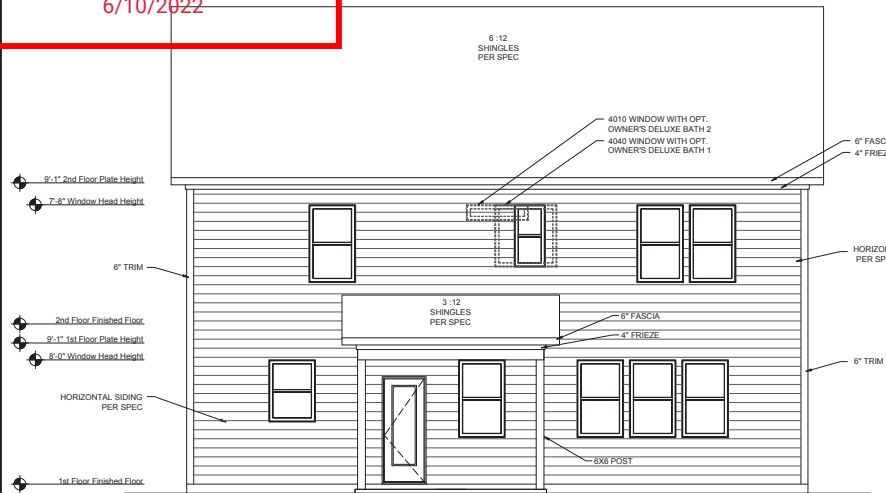
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A-3.0D

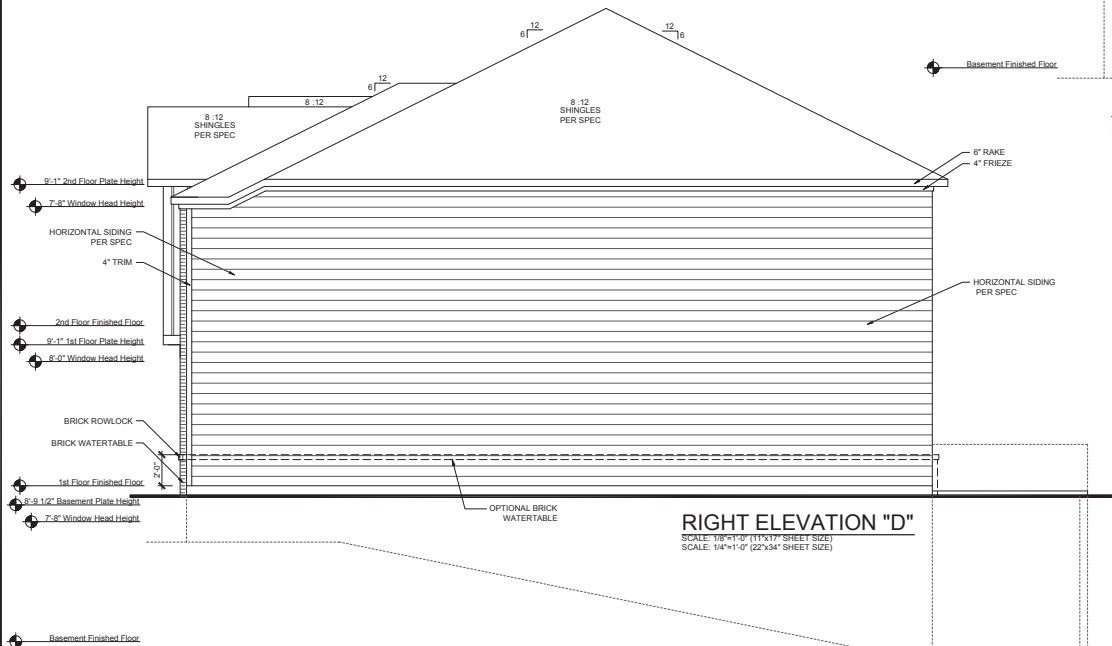


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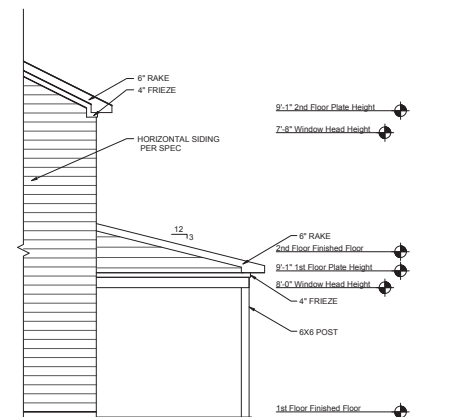
**OPTIONAL COVERED OUTDOOR LIVING REAR ELEVATION**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**RIGHT ELEVATION "D"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**REAR ELEVATION "D"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**OPTIONAL COVERED OUTDOOR LIVING RIGHT ELEVATION**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

Revised Date:  
8/18/2020

Model: **WAKEHURST**  
Drawing Title: **Elevations**  
Option Description: **Rear & Right**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

Plan Name:  
**WAKEHURST**  
Division:  
**Atlanta**  
Municipality:  
**County**  
Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.1D**

**EXT. COV'D O/DR LIVING ROOF**  
 220 SQ FT UNDER ROOF  
 150 SQ FT / 1 SQ FT = 1.47 SQ FT VENTILATION  
 SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)  
 ASSUME 100% VENTING @ SOFFIT

**SOFFIT VENT**  
 1.467 SQ FT = 23.5 FEET OF SOFFIT VENT  
 0.0625 SQ FT

**ACTUAL SOFFIT VENT PROVIDED** 24 FEET

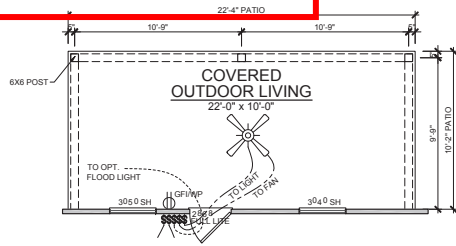


Diagram illustrating the layout and dimensions of a patio slab:

- Overall Dimensions:** 22'-4" PATIO (width) and 10'-2" PATIO (height).
- Slab Specifications:**
  - PATIO SLAB**
  - 4" CONCRETE SLAB MIN. OVER 8-MIL. POLY.
  - MEETING ASTM-1745-94
  - (2004) SLAB SHALL BE ON 4" GRAVEL OR SAND AND COMPACTED FILL W/ WIRE MESH
- Soil Compaction:** SOIL COMP. TO PER FOOT (indicated by an arrow pointing upwards).

22'-4" PATIO

10'-9" 10'-9"

6X6 POST (TYP.)

PATIO  
12'-0" x 10'-0"

GF/WP 3050 SH 3050 SH 3050 SH

2X6 WALL

9'-1" 2nd Floor Plate Height

7'-6" Window Head Height

6" TRIM

2nd Floor Finished Floor

9'-1" 1st Floor Plate Height

8'-0" Window Head Height

HORIZONTAL SIDING  
PER SPEC

1st Floor Finished Floor

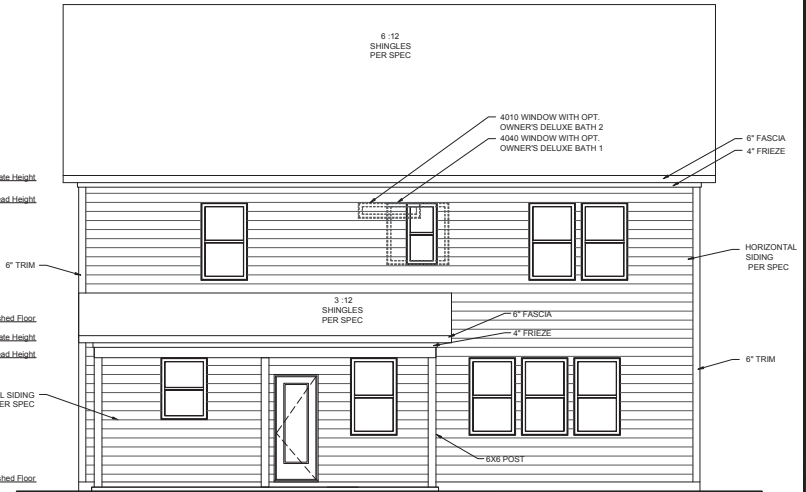


Diagram illustrating building elevation measurements:

- 9'-1" 2nd Floor Plate Height
- 7'-8" Window Head Height
- 6" RAKE
- 2nd Floor Finished Floor
- 6'-1" 1st Floor Plate Height
- 8'-0" Window Head Height
- 4" FRIEZE
- 6X6 POST
- 12
- 3
- 1st Floor Finished Floor

6" RAKE  
4" FRIEZE  
HORIZONTAL SIDING PER SPEC  
12/13  
6" RAKE  
2nd Floor Finished Floor  
9'-1" 1st Floor Plate Height  
8'-0" Window Head Height  
4" FRIEZE  
6x6 POST  
1st Floor Finished Floor

9'-1" 2nd Floor Plate Height  
7'-8" Window Head Height

**MAIN STREET**  
*Design LLC*

Design by:  
Main Street Designs of Georgia, LLC

[www.MainStreetDesignsLLC.com](http://www.MainStreetDesignsLLC.com)  
3030 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
O. (404) 480-3881

Drawing Title:	Elevations - Opt. Ext.
Option Description:	Cov. Outdoor Living

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

**taylor  
morrison**  
Homes Inspired by You

Plan Name:	<b>WAKEHURST</b>
Division:	<b>Atlanta</b>
Municipality:	<b>County</b>
Community:	

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:

### A-3.2D



6/10/2022

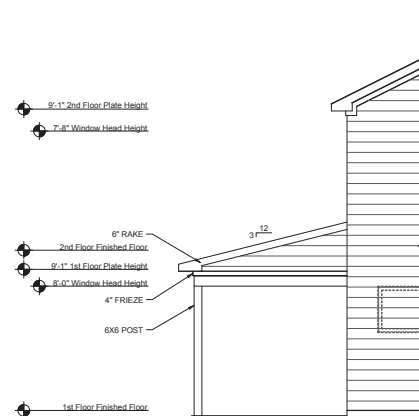
ROOF "E"	
300 SQ FT / 100 STUDER ROOF LOGIC	6.02 SQ FT OF SOFFIT
RIDGE VENTS 18 SQ IN = (125 SQ FT)	
SOFFIT VENTS 8 SQ IN = (0.025 SQ FT)	
BOX VENTS 50 SQ IN = (.347 SQ FT)	
6.02 SQ FT X 50%	3.012 SQ FT OF RIDGE
3.012 SQ FT X 50%	3.012 SQ FT OF SOFFIT
RIDGE VENT	
3.012 SQ FT =	24.1 FEET OF RIDGE VENT
0.125 SQ FT	60 FEET
SOFFIT VENT	
3.012 SQ FT =	48.2 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	
32 FEET	
ACTUAL SOFFIT VENT PROVIDED	
48 FEET	
NUMBER OF BOX VENTS NEEDED	
2.7 COUNT	
(NEGATIVE = 0)	
PORCH ROOF "E"	
150 SQ FT UNDER ROOF	1.01 SQ FT VENTILATION
150 SQ FT / 100 STUDER ROOF LOGIC	1.01 SQ FT VENTILATION
SOFFIT VENTS 8 SQ IN = (.0625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
1.03 SQ FT =	16.2 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	
8 FEET	
COVID UNDER LIVING ROOF	
150 SQ FT / 100 STUDER ROOF	0.80 SQ FT VENTILATION
SOFFIT VENTS 8 SQ IN = (.0625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.800 SQ FT =	12.8 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	
14 FEET	

## ALCOVY CREEK

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
Sharon Gier (aspm) Date **10-21-2020**

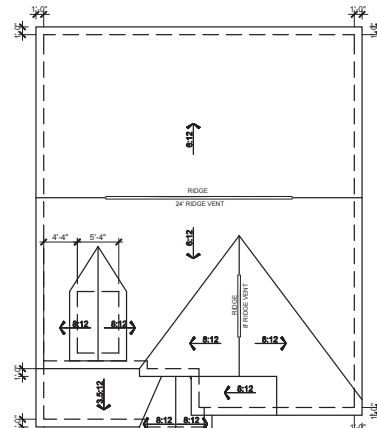
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE**

## ON REAR AND SIDES

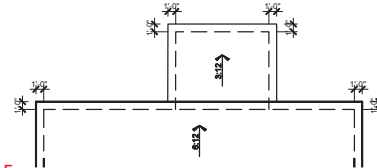


### OPTIONAL COVERED OUTDOOR LIVING LEFT ELEVATION

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

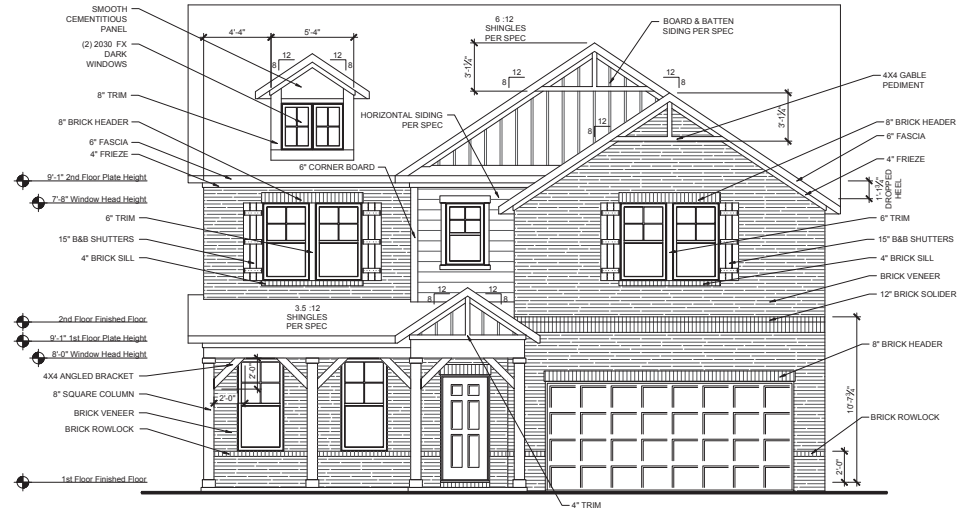


ROOF PLAN "E"



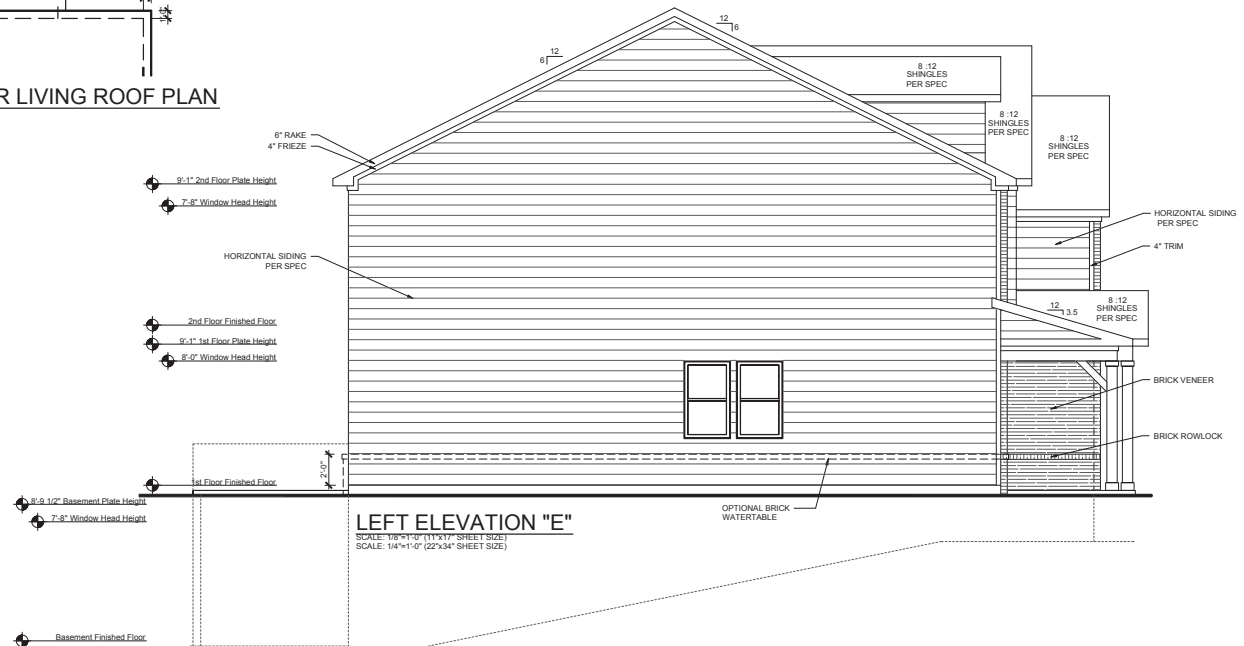
## COVERED OUTDOOR LIVING ROOF PLAN

SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



### FRONT ELEVATION "E"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

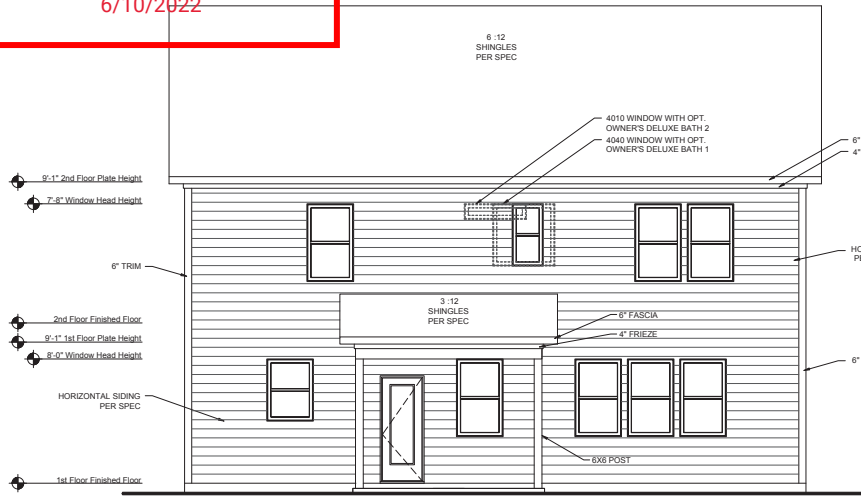


LEFT ELEVATION "E"

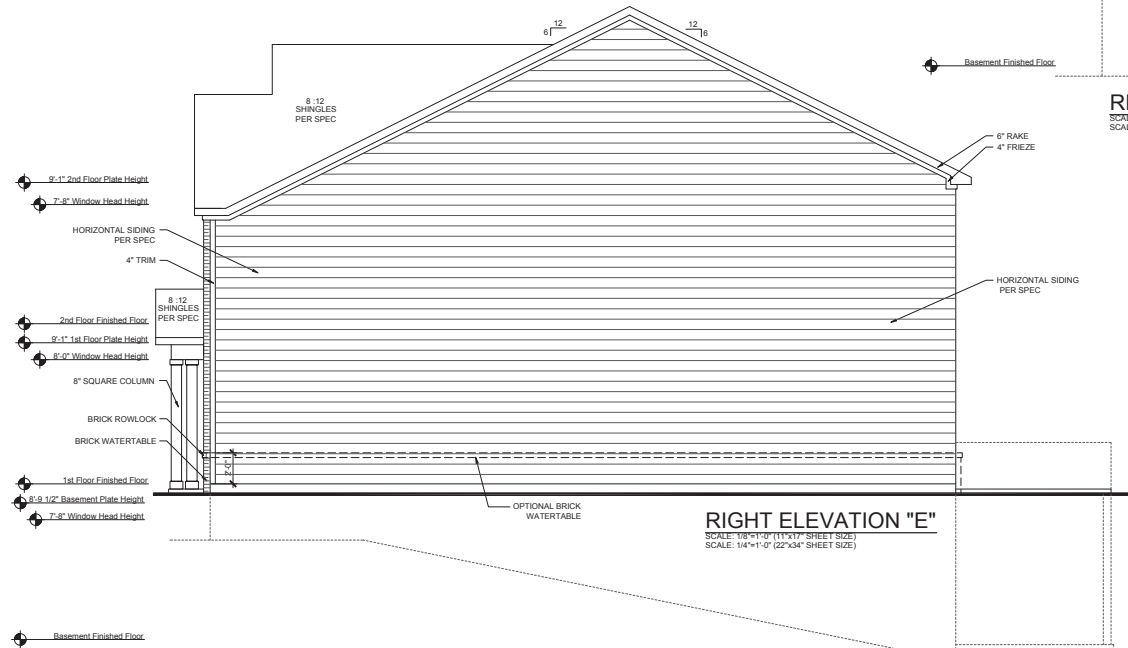
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SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

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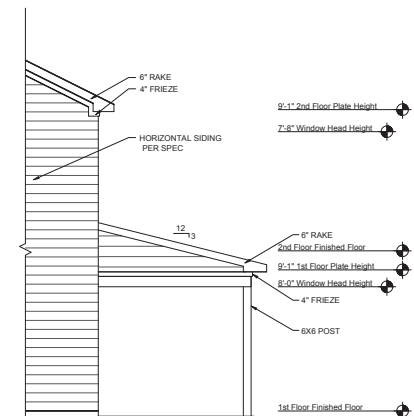
**OPTIONAL COVERED OUTDOOR LIVING REAR ELEVATION**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**RIGHT ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**REAR ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**OPTIONAL COVERED OUTDOOR LIVING RIGHT ELEVATION**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model: WAKEHURST  
Drawing Title: Elevations  
Option Description: Rear & Right

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name:  
**WAKEHURST**  
Division:  
**Atlanta**  
Municipality:  
**County**  
Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:

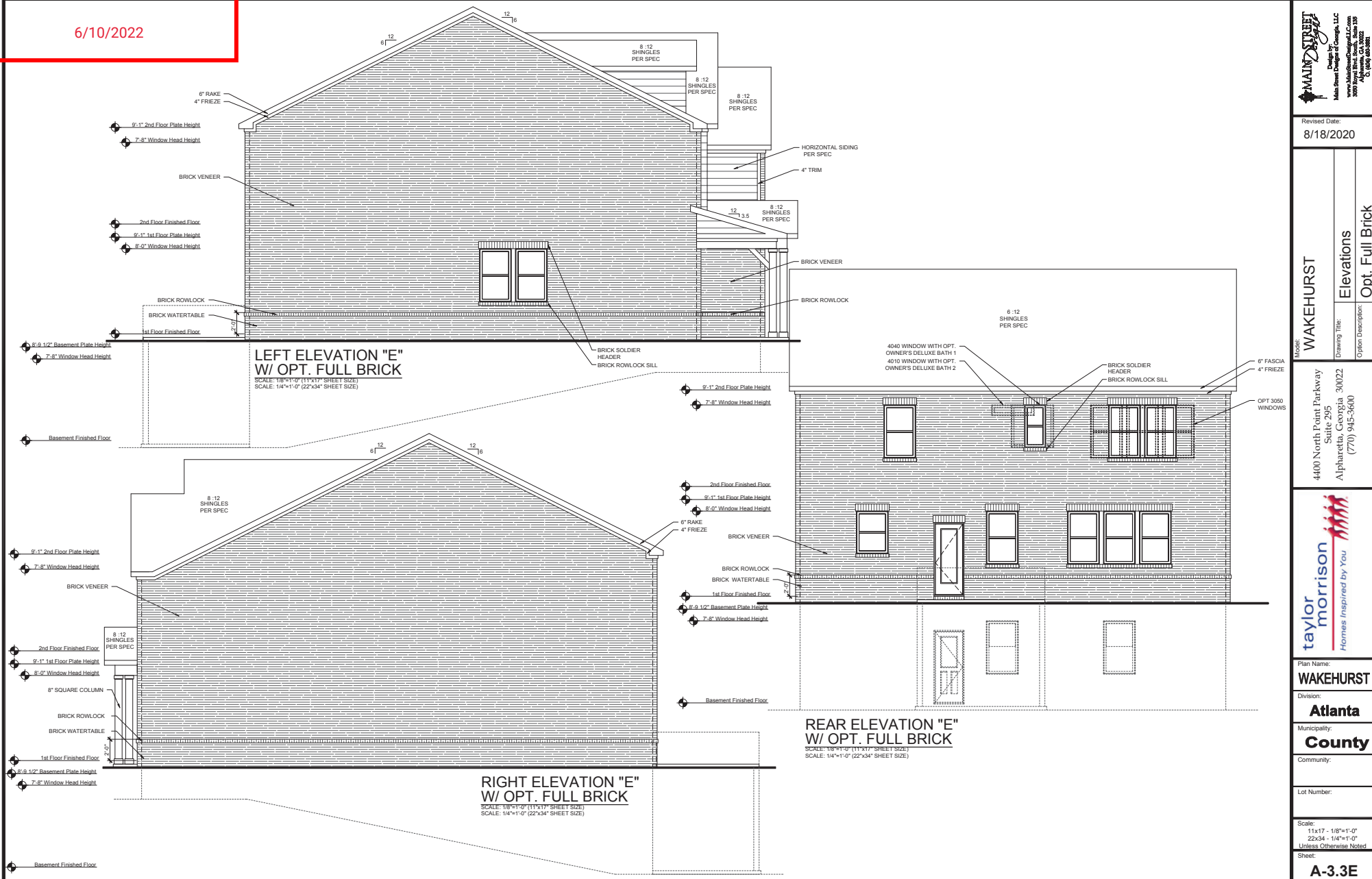
**A-3.1E**





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**MAIN STREET**  
Design by: Gwinnett County, LLC  
Main Street Design, LLC  
3000 Royal Blvd., Suite 300  
Atlanta, GA 30322  
404.944.9444

Revised Date:  
8/18/2020

Model: **WAKEHURST**  
Drawing Title: **Elevations**  
Option Description: **Opt. Full Brick**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 943-3600

**taylor morrison**  
Homes Inspired by You

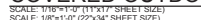
Plan Name: **WAKEHURST**  
Division: **Atlanta**  
Municipality: **County**  
Community:

Lot Number:

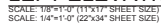
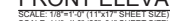
Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
**A-3.3E**

## 6/10/2022

ACTUAL SOFFIT VENT PROVIDED 14 FEET



**ON REAR AND SIDES**



OPTIONAL COVERED OUTDOOR LIVING  
RIGHT ELEVATION

**EXT. COV'D O/DR LIVING ROOF**  
 220 SQ FT UNDER ROOF  
 150 SQ FT / 71 SQ FT = 1.47 SQ FT VENTILATION  
 SOFFIT VENTS 9 SQ IN = (.0625 SQ FT)  
 ASSUME 100% VENTING @ SOFFIT  
 SOFFIT VENT  
 1.467 SQ FT = 23.5 FEET OF SOFFIT VENT  
 0.0625 SQ FT  
 ACTUAL SOFFIT VENT PROVIDED 24 FEET

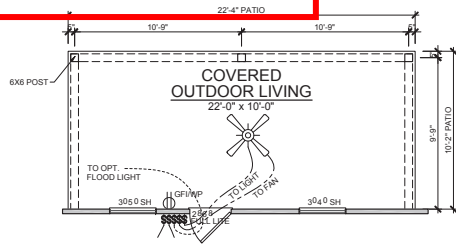


Diagram illustrating the layout and dimensions of a patio slab:

- Overall Dimensions:** The patio is 22'-4" wide and 10'-2" deep.
- Slab Specifications:**
  - PATIO SLAB**
  - 4" CONCRETE SLAB MIN. OVER 8-MIL. POLY.
  - MEETING ASTM-1745-94 (2004). SLAB SHALL BE ON 4" GRAVEL OR SAND AND COMPACTED FILL W/ WIRE MESH
- Drainage:** A "SLOPE TO DRAIN TO PER FOOT" is indicated, pointing towards a circular drain symbol at the bottom center.

22'-4" PATIO

10'-8" 10'-8"

6x6 POST. (TYP.)

PATIO  
12'-0" x 10'-0"

GF/WP 3050 SH 3050 SH 3050 SH

2x6 WALL

2'-0"

Diagram illustrating a 34' Ridge Vent. The diagram shows a cross-section of a roof with a ridge vent and a 6'x8' window. The ridge vent is labeled "34' RIDGE VENT" and the window is labeled "6'x8'".

9'-1" 2nd Floor Plate Height

7'-8" Window Head Height

6" TRIM

2nd Floor Finished Floor

9'-1" 1st Floor Plate Height

8'-0" Window Head Height

HORIZONTAL SIDING  
PER SPEC

1st Floor Finished Floor

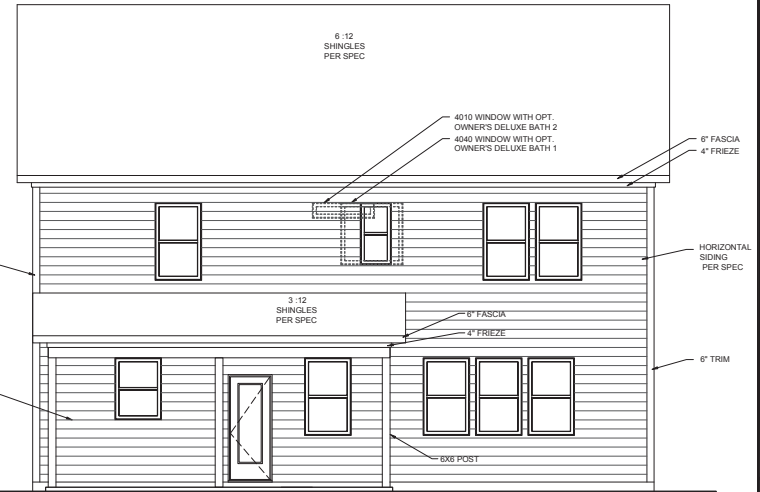


Diagram illustrating the elevation of a building facade with various height and slope measurements:

- 6'-1" 2nd Floor Plate Height
- 7'-5" Window Head Height
- 6" RAKE
- 2nd Floor Finished Floor
- 6'-1" 1st Floor Plate Height
- 8'-0" Window Head Height
- 4" FRIEZE
- 6X6 POST
- 1st Floor Finished Floor
- 12
- 3'

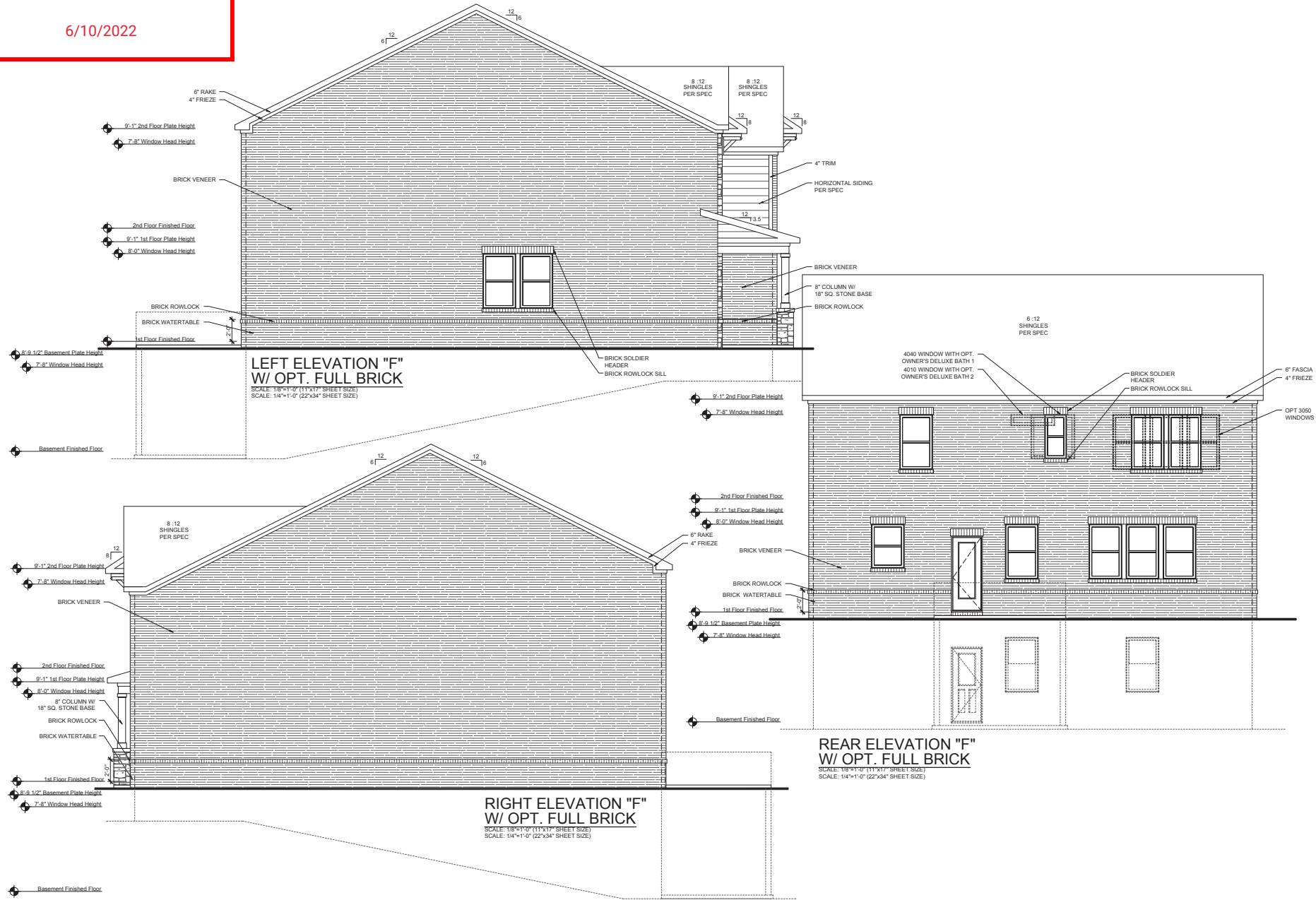
6" RAKE  
4" FRIEZE  
HORIZONTAL SIDING PER SPEC  
12/13  
6" RAKE  
2nd Floor Finished Floor  
9'-1" 2nd Floor Plate Height  
7'-8" Window Head Height  
9'-1" 1st Floor Plate Height  
8'-0" Window Head Height  
4" FRIEZE  
6x6 POST  
1st Floor Finished Floor

EXT. OPT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION



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Revised Date:  
8/18/2020

Model: WAKEHURST  
Drawing Title: Elevations  
Option Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 943-3600



Plan Name:  
WAKEHURST

Division:  
Atlanta

Municipality:  
County

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
A-3.3F

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ALCOVY CLUB

Architectural Elevation

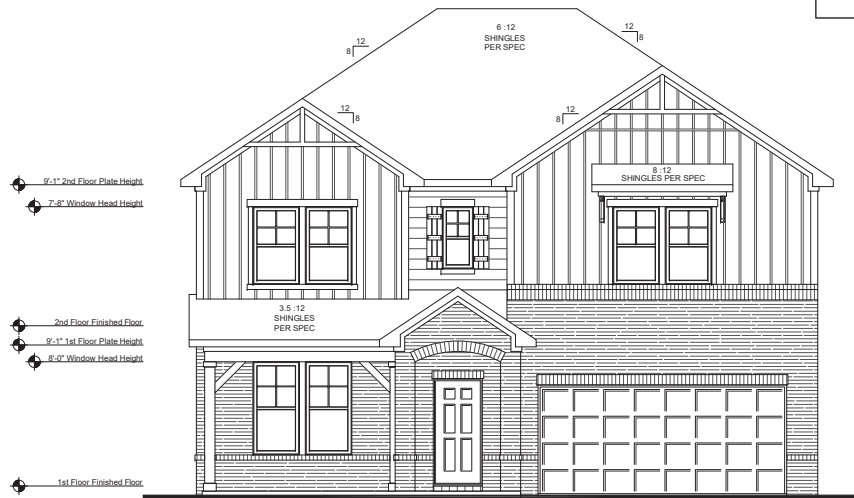
Approved by Director

Gwinnett County Planning and Development

*Sharon Gier (signature)*

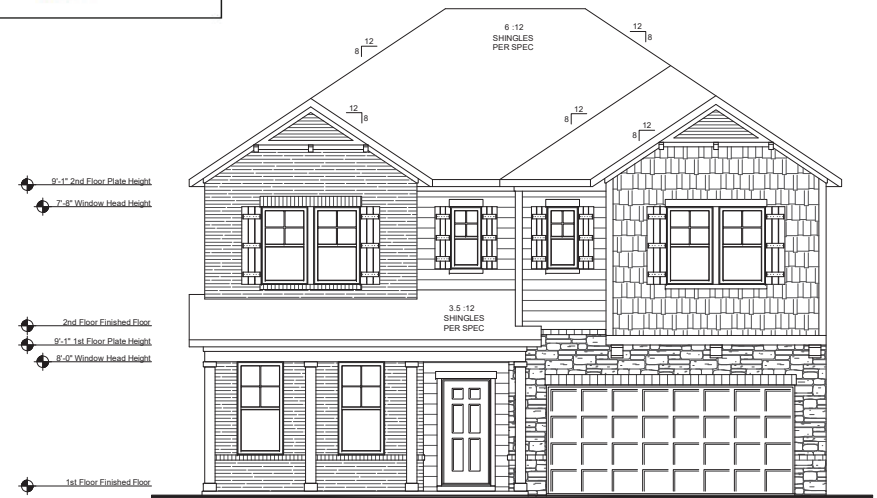
12-04-2020

Date



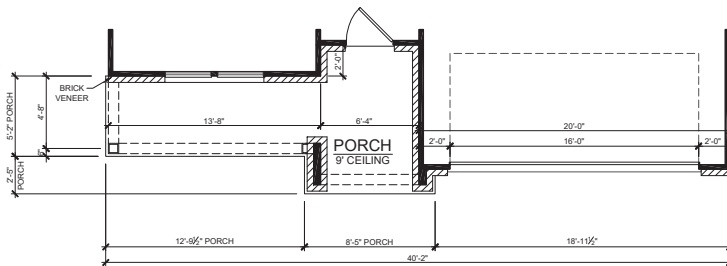
FRONT ELEVATION "G"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



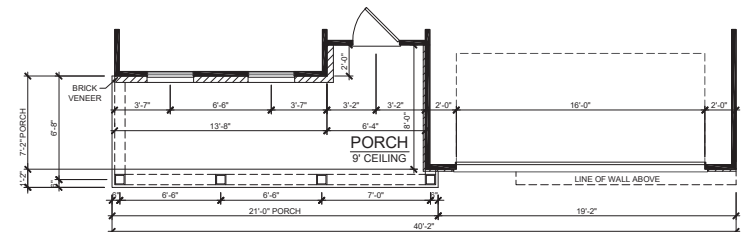
FRONT ELEVATION "H"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



1st FLOOR PARTIAL PLAN - ELEVATION "G"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



1st FLOOR PARTIAL PLAN - ELEVATION "H"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

Main Street Designs of Georgia, LLC is a professional residential design firm. Because the design conditions may vary, Main Street Designs of Georgia, LLC cannot warrant the suitability of these plans for use on your specific site. Construction of these plans should not be undertaken without the assistance of a construction professional.

40' - SHERIDAN PLAN Add. Elevations

3050 Royal Blvd., South Suite 135  
Alpharetta, GA 30022  
Ph: (404) 480-3881



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www.MainStreetDesignsLLC.com

TAYLOR MORRISON

December 2, 2020

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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6/10/2022





GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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REAR ELEVATION





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RIGHT ELEVATION

FC SIDING

2' BRICK WATER TABLE





GWINNETT COUNTY  
PLANNING AND DEVELOPMENT  
LEFT ELEVATION  
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6/10/2022



FC SIDING

2' BRICK WATER TABLE



## Monument Sign Example

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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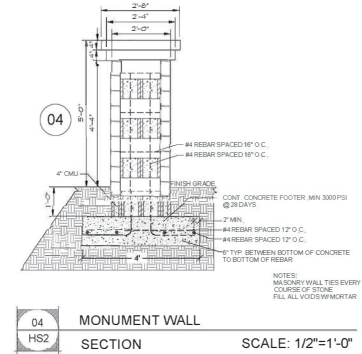
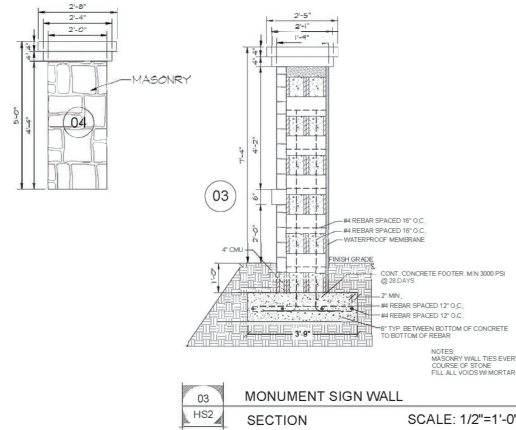
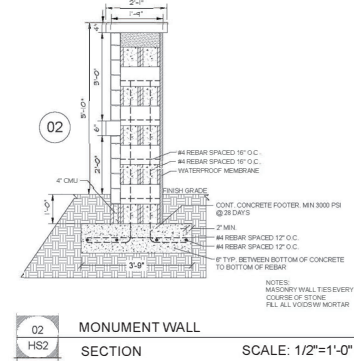
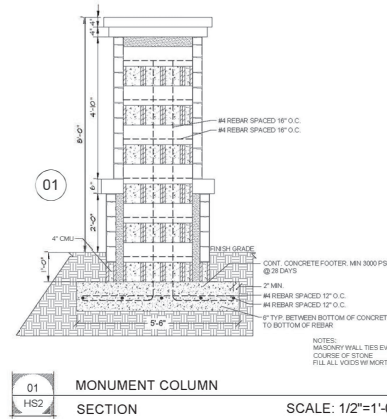
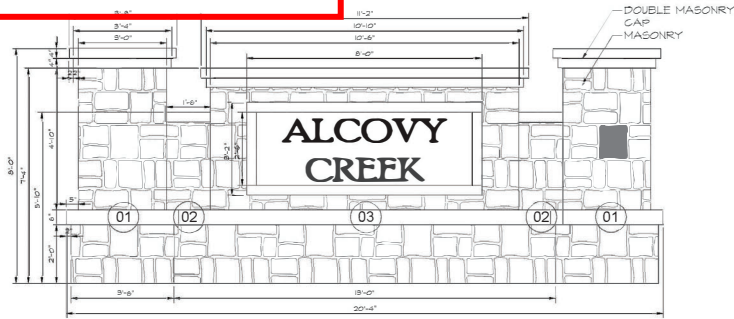


**Maximum 32 Sq. Ft. per sign**  
**(Shall be constructed with brick, stone, masonry or equal architectural material)**



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- 1) MATERIALS ARE TO BE AS FOLLOWS:  
CONCRETE FC = 3000PSI @ 28 DAYS  
WITH SLUMP = 3" TO 4"  
REINFORCEMENT ASTM A615, GRADE 60
  - 2) SOIL PROPERTIES:  
DENSITY 120 PCF, FRICTION ANGLE 30 DEG, EQUIVALENT SOIL LATERAL LOAD 40 PCF  
COEFFICIENT OF PASSIVE EARTH PRESSURE  $K_p=3.0$ , COEFFICIENT OF ACTIVE EARTH PRESSURE  $K_a=0.3$ ,  
MAXIMUM DESIGN ALLOWABLE BEARING PRESSURE: 2000 PSF
  - 3) FIELD VERIFY ALL EXISTING ABOVE AND BELOW GROUND CONDITIONS PRIOR TO FABRICATION AND CONSTRUCTION.
  - 4) ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL OR CONTROLLED FILL.
  - 5) UNLESS NOTED, LAP SPLICES OF BARS ARE AS FOLLOWS:
- | BARS            | #4 |
|-----------------|----|
| LENGTH (INCHES) | 32 |
- 6) THE DESIGN OF CONCRETE STRUCTURAL ELEMENTS IS IN ACCORDANCE WITH ACI 318-11.
  - 7) BUILDING CODE: IBC 2018, WITH 2020 GEORGIA STATE AMENDMENTS.
  - 8) SEE SITE PLAN FOR WALL LOCATION AND OTHER INFORMATION.
  - 9) PRIOR TO CONSTRUCTION OF THE RETAINING WALL, THE CONTRACTOR SHALL CLEAR AND GRUB THE BACKFILL ZONE, REMOVING TOPSOIL, BRUSH, SOD OR OTHER ORGANIC OR DELETERIOUS MATERIALS. ANY UNSUITABLE SOILS SHALL BE OVER EXCAVATED AND REPLACED WITH BACKFILL MATERIAL WHICH SHALL BE COMPACTED AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
  - 10) A QUALIFIED GEOTECHNICAL ENGINEER SHALL FIELD VERIFY A MINIMUM SAFE ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. IF APPLIED PRESSURE IS MORE THAN 2000 PSF, A GEOTECHNICAL REPORT IS REQUIRED.
  - 11) IF THE PROPOSED WALL CONDITIONS ARE DIFFERENT FROM THE STANDARD DESIGNED, SUCH AS BACK/TOE SLOPE, THE SOIL PARAMETERS ETC, FULL DESIGNS BY A PROFESSIONAL ENGINEER ARE REQUIRED.
  - 12) DESIGN  
WIND LOAD IS ASSUMED TO BE 30 PSF  
WIND LOAD =  $Q_H * G * C_F * A_S = 22.5$  PSF (ASCE 7-16, EQUATION 29.4-1)  
WHERE:  $Q_H=20.39$  PSF,  $G=0.85$ ,  $C_F=1.3$   
 $V_{ult}=105$  MPH AND  $V_{des}=81$  MPH  
RISK CATEGORY 1, WIND EXPOSURE CATEGORY C.

APPLICABLE CODES THAT APPLY TO THIS PROJECT:

- GWINNETT COUNTY CONSTRUCTION CODE (2015 VERSION)
- INTERNATIONAL BUILDING CODE, 2018 EDITION with 2020 GEORGIA STATE AMENDMENTS
- ASCE 7-16

Owner:

TAYLOR  
MORRISON  
4400 NORTH POINT  
PKWY, SUITE 295  
ALPHARETTA, GA  
30022  
770-945-3600

Drawn by:

MOONEY  
design studio  
Landscape Architecture | Planning

1190 N. Highland Ave. NE  
Atlanta, Ga 31106 #6822  
(404) 483-7361

ALCOVY  
CREEK

LAND LOT 245 OF THE  
5TH DISTRICT, 2ND  
SECTION, GWINNETT  
COUNTY, GEORGIA



REVISIONS

HARDSCAPE PLAN

SCALE:

SHEET:

HS2

DATE: 11.03.20

ZONING: OSC  
MUNICIPALITY: GWINNETT COUNTY