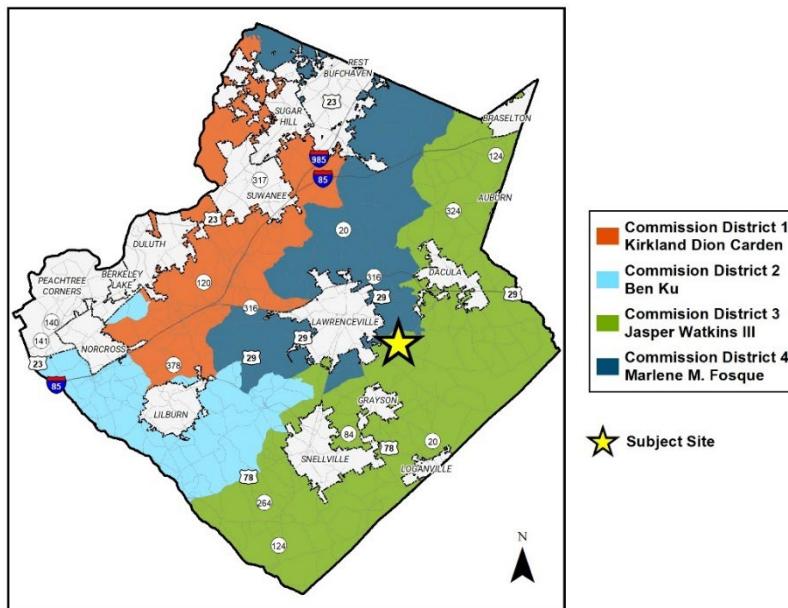




## PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

<b>Case Number:</b>	RZR2022-00009
<b>Current Zoning:</b>	<b>R-100</b> (Single-Family Residence District)
<b>Request:</b>	Rezoning to <b>OSC</b> (Open Space Conservation District)
<b>Additional Request:</b>	Variance
<b>Address:</b>	1200 Block of New Hope Road
<b>Map Numbers:</b>	R5182 035, R5183 431, and R5203 221
<b>Site Area:</b>	53.46 acres
<b>Lots:</b>	106
<b>Proposed Development:</b>	Single-Family Detached Subdivision
<b>Commission District:</b>	District 3 – Commissioner Watkins
<b>Character Area:</b>	Neighborhood Node
<b>Staff Recommendation:</b>	<b>APPROVAL WITH CONDITIONS</b>

<b>Planning Commission Recommendation:</b>	<b>APPROVAL WITH CONDITIONS</b>
--	---------------------------------



**Planning Commission Advertised Public Hearing Date: 3/2/2022 (Public Hearing Tabled to 4/11/2022)**

**Board of Commissioners Advertised Public Hearing Date: 3/22/2022 (Public Hearing Held 4/26/2022 Action Tabled to 5/24/2022) Remanded to Planning Commission**

**Planning Commission Readvertised Public Hearing Date: 7/5/2022**

**Board of Commissioners Readvertised Public Hearing Date: 7/26/2022 Remanded to Planning Commission**

**Planning Commission Readvertised Public Hearing Date: 9/6/2022**

**Board of Commissioners Readvertised Public Hearing Date: 9/27/2022**

<b>Applicant:</b>	H.S. Randall c/o Alliance Engineering and Planning 299 South Main Street Alpharetta, GA 30009	<b>Owner:</b>	Vicki Bowen St Clair 365 Thornhill Drive Braselton, GA 30517
			DDW Real Estate Holdings, LLC 190 Buford Drive, Lawrenceville, GA 30046
			James Walton PO BOX 1285 Lawrenceville, GA 30046
<b>Contact:</b>	Tyler Lasser	<b>Contact Phone:</b>	770.225.4730

### **Zoning History**

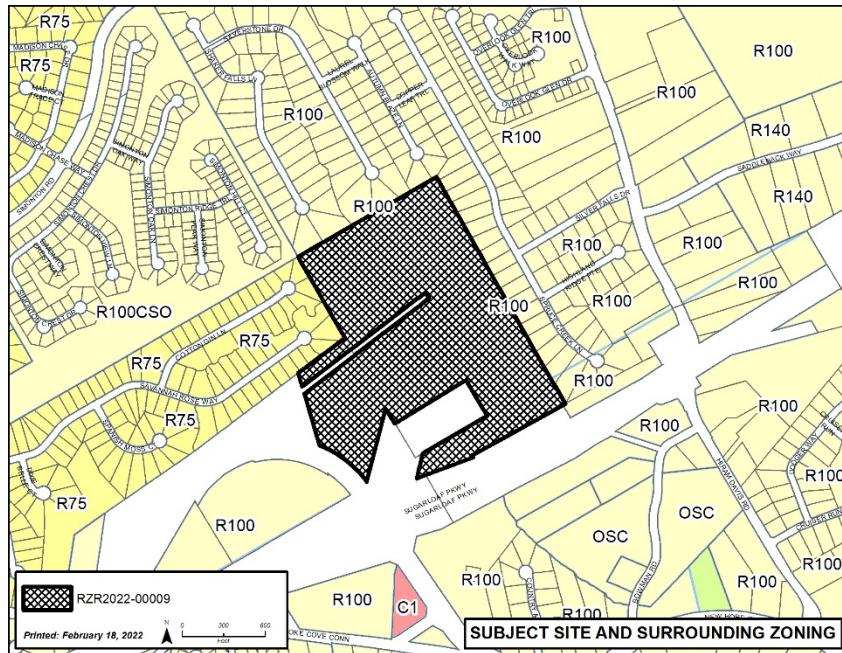
The subject property is zoned R-100 (Single-Family Residence District). No prior zoning requests are on record for this property.

### **Existing Site Condition**

The subject site is a 53.46-acre assemblage of three parcels located at the northeast corner of Sugarloaf Parkway and New Hope Road. The property is undeveloped and wooded. A single-family residence and accessory structures are located on the parcel (R5182 035) nearest to the intersection of New Hope Road and Sugarloaf Parkway. There is roughly 7 acres of County-owned property adjacent to the site's southwest corner, which contains large ponds that appear to encroach onto the subject site near Sugarloaf Parkway. Access to the site is currently provided from a service drive off of New Hope Road. The service drive bisects two of the parcels and culminates close to the western boundary of parcel R5203 221. Additionally, streams and accompanying buffers bisect the site from its northern property line toward its southern property line. The site generally slopes down from the east and west toward the stream near the center of the site by nearly 130 feet in some locations. No sidewalk exists along the frontage of New Hope Road, Sugarloaf Parkway, or the service drive. The nearest Gwinnett County Transit stop is located 4.7 miles from the subject site.

### **Surrounding Use and Zoning**

The subject site is surrounded by single-family detached residences. Falls at North Cliff subdivision is to the north and east, Magnolia Place subdivision is to the west, and Ridge View subdivision is to the northwest of the subject property. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Gross Density
Proposed	Single Family Detached Subdivision	OSC	1.98 units per acre
North	Single Family Subdivision	R-100	1.9 units per acre
	Single Family Subdivision	R-100 CSO	2.3 units per acre
East	Single Family Subdivision	R-100	1.9 units per acre
South	Single Family Residential	OSC	2.45 units per acre
West	Single Family Subdivision	R-75	1.84 units per acre

## Project Summary

The applicant requests rezoning of a 53.46-acre assemblage of three parcels from R-100 to OSC for a single-family detached subdivision, including:

- 106 single-family detached homes, yielding a density of 1.98 units per acre.
- Minimum heated floor areas of 1,800 square feet.
- Homes constructed of brick, stacked stone, cedar, and/or cementitious shake siding, and board and batten.
- An amenity area including a swimming pool, cabana, and surface parking lot with 20 spaces located near the entrance to the neighborhood.
- Access via a single entrance from the existing service drive, which will be aligned subject to Gwinnett Department of Transportation approval.
- Internal streets with 5-foot-wide sidewalks on both sides.
- Two stormwater management facilities near the northwest portion of the property.
- A portion of two existing regional stormwater facilities which store stormwater runoff from Sugarloaf Parkway.
- Three bio-retention facilities located adjacent to the stream buffer at the north end of the site.
- A 50-foot undisturbed buffer dedicated as secondary conservation area along the southeastern, northeastern, and northwestern property lines, adjacent to R-100 zoned properties.
- A 25-foot undisturbed buffer along the western property line adjacent to R-75 zoned property.
- A 50-foot landscape strip along New Hope Road.

- Common area provided throughout the site in excess of the minimum required 20 percent consisting of an amenity area, multiple pocket parks, and natural and undisturbed areas.
- 444 parking spaces including 424 spaces for the single-family detached lots and 20 spaces for the amenity area.
- A mailbox kiosk located near the entrance of the site next to the parking spaces for the amenity area.

## Zoning and Development Standards

The applicant is requesting a rezoning to OSC, Open Space Conservation District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	≤35'	YES
Front Yard Setback	Minimum 25'	25'	YES
Side Yard Setback	Minimum 7.5'	7.5'	YES
Rear Yard Setback	Minimum 30'	≥30'	YES
Off-Street Parking	Minimum: 318 spaces Maximum: 636 spaces	444 spaces	YES
Heated Floor Area	Minimum: 1,400 square feet	1,800 square feet	YES
Buffer and Transition	50' conservation strip adjacent to R-100 25' conservation strip adjacent to R-75	50' 25'	YES
Conservation area	Total: Minimum 25% or 13.36 acres Primary: 15% of Total or 2 acres	37.37% or 19.98 acres 59.4% or 11.87 acres	YES
Density	Maximum 2.5 units per acre	1.98 units per acre	YES
Streets	Maximum 600' in length	>600 feet	NO*

\*Per UDO sec 210-50.14, Approved cul-de-sac streets may be no longer than 600 feet in length.

## Variance Requests

In addition to the rezoning request, the applicant is seeking a variance from the following provision of Title II of the UDO:

1. Section 210-50.14. Public Improvements.

**A. *Approved cul-de-sac streets may be no longer than 600 feet in length.***

The two proposed cul-de-sac streets exceed 600 feet in length. The two streets at the eastern part of the site are each more than 1,200 feet and 900 feet long respectively.

## **Internal and External Agency Review**

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and external agency review comments are attached (Exhibit E). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

## **Staff Analysis**

**Rezoning Request Analysis:** According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

**A. Whether a proposed zoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.**

The surrounding area is characterized by single-family detached residential uses. To the north and east, is the Falls at North Cliff subdivision with a density of 1.90 units per acre. To the west, is Magnolia Place with a density of 1.84 units per acre. To the northwest, is Ridge View with a density of 2.3 units per acre. To the south, across Sugarloaf Parkway, are undeveloped lots zoned OSC. These lots, while currently undeveloped, have been approved for a OSC neighborhood with a density of 2.45 units per acre. A 2021 rezoning request was denied for properties (R5182 004 and 012) to the west, across New Hope Road, for apartments. The proposed density is compatible with the surrounding area. Given that all of the surrounding neighborhoods are lower density single-family detached developments, the requested OSC zoning is compatible with the surrounding uses.

**B. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.**

The existing use and usability of adjacent or nearby properties would not be adversely impacted by a development that is compatible with the density of the surrounding area. The residential use of the proposed development is in character with the surrounding area, and the proposed density is also consistent with the nearby single-family detached subdivisions.

**C. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.**

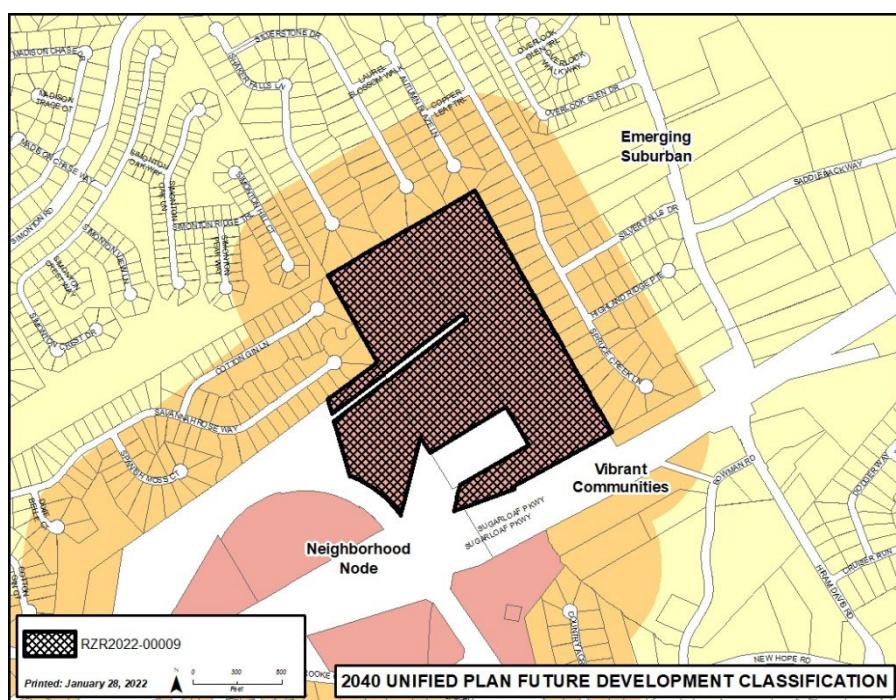
The property has a reasonable economic use as currently zoned.

**D. Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

An increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. An increased impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit E).

**E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map.**

The 2040 Unified Plan Future Development Map indicates the subject property lies within the Neighborhood Node Character Area. This designation is intended for smaller commercial/retail developments at various intersections. The plan emphasizes that future development should maintain the community-oriented feel of these areas, with a focus on creating small mixed-use areas combining retail, low intensity office, and medium density residential uses in a pedestrian friendly environment. While the proposed development does not meet the intent of the 2040 Unified Development Plan, it is compatible with the existing uses in the surrounding area low-density single family residential uses.



**F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning.**

A recent rezoning application RZR2021-00048 approved for the property to the south, for a single-family detached neighborhood, is similar to proposed development. Also, a recent rezoning case RZM2021-00001 for RM-24 zoning to the west was denied in 2021. Other developments in the surrounding area are also predominantly single-family residential. Therefore, approval of rezoning request to OSC would be appropriate, given the character of the area, development pattern, and recent zoning decisions.

**Variance Request Analysis:** The standards for granting variances are outlined in Section 270-100.7 of the Unified Development Ordinance. Staff makes the following findings related to the variance request:

**A. Approved cul-de-sac streets may be no longer than 600 feet in length.**

The requested variance is to allow cul-de-sac streets longer than 600 feet in length. The two streets on the northeastern part of the development are longer than 600 feet. Configuration of the property boundary at the south end of the site, the location of the two existing GDOT stormwater ponds, and division of the property by two streams, present site conditions that limit street connectivity. Therefore, the requested variance meets the criteria outlined in Section 270-100.7 of the Unified Development Ordinance.

**Staff Recommendation**

Based on the staff's evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

In addition, Staff recommends **APPROVAL** of the following variance:

1. To allow streets to be longer than 600 feet without an intersection with another street or an alley.

**Planning Commission Recommendation**

Based on staff's evaluation of the request, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

In addition, Planning Commission recommends **APPROVAL** of the following variance:

1. To allow streets to be longer than 600 feet without an intersection with another street or an alley.

**Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)**

Approval as **OSC (Open Space Conservation District)** for development of a single-family detached subdivision, subject to the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit B: Site Plan dated received August 3, 2022, and Exhibit C: Building Elevations dated received August 3, 2022, with revisions required by conditions of approval and the Unified Development Ordinance, as reviewed and approved by the Department of Planning and Development.
2. The proposed development shall be restricted to single family detached homes and accessory uses and structures with a maximum of 106 lots.
3. The minimum heated floor area shall be **1,800 2,000** square feet.
4. All dwellings shall have at least a double-car garage.

5. All dwellings shall be constructed to meet Architectural Design Category 3.
6. A mandatory homeowners association shall be established and shall be responsible for maintenance of all common areas, facilities, and landscaping.
7. Direct lot access to New Hope Road and Sugarloaf Parkway shall be prohibited.
8. Natural vegetation shall remain on the property until the issuance of a development permit.
9. Stormwater BMP facilities shall be screened from view of adjoining properties and rights of way by decorative fencing and/or landscaping that is in compliance with the Gwinnett County Stormwater Management Manual.
10. The New Hope Road frontage shall be landscaped by the developer, where sparsely vegetated, and maintained by the homeowners association.
11. The project entrance along Service Road shall be landscaped by the developer and maintained by the Homeowners Association. The entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval by the Department of Planning and Development.
12. All grassed area shall be sodded.
13. Building lots shall not be located within any required stream buffers and accompanying impervious surface setbacks.
14. Amenities shall be constructed within the development and may include such items as trails, gazebos, benches, fire pits, etc. Off-street unpaved trails and pedestrian connections to the common areas and amenity areas shall be provided throughout the development. The final layout and design of these features shall be subject to the review and approval of the Department of Planning and Development and shall include a stream crossing to provide a pedestrian connection from the cul-de-sac street to road on east side of stream.
15. Prior to the issuance of a development permit, the applicant shall provide a traffic impact study per the requirements of the Gwinnett County Department of Transportation.
16. Prior to the issuance of the first certificate of occupancy, the applicant shall make any improvements recommended by the traffic impact study, subject to review and approval by the Gwinnett County Department of Transportation.
17. The existing 12-inch water main on Sugarloaf Parkway shall be extended across the frontage of the property, subject to the review and approval of the Gwinnett County Department of Water Resources.
18. The developer shall construct and dedicate to Gwinnett County Department of Water Resources approximately 120 feet of new 12-inch sewer line from manhole FID 223582 from Silverstone Drive to the 30-inch interceptor between manhole FIDs 1166401 and 1166400. The developer shall cap the 8" sewer line in a location and manner to be approved by GCDWR, between manhole FIDs 223582 and 223534. The developer shall be responsible for ensuring service connections affected by the cap are tied into an active sewer line.

19. The master amenity area shall be provided as shown on Exhibit B: Site Plan dated received August 3, 2022, and shall include at a minimum a pool and a cabana.

**20. No more than 10% can be rental at any given time.**

**Exhibits:**

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Internal and External Agency Review Comments
- F. Maps

**Exhibit A: Site Visit Photos**

**[attached]**



View of Service Drive that bisects two of the parcels



Site View from Service Drive



Site View from the New Hope Road and Service Drive Intersection



View of the ponds at the southwest corner of the site

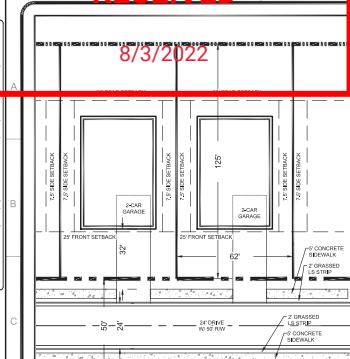
**Exhibit B: Site Plan**

**[attached]**

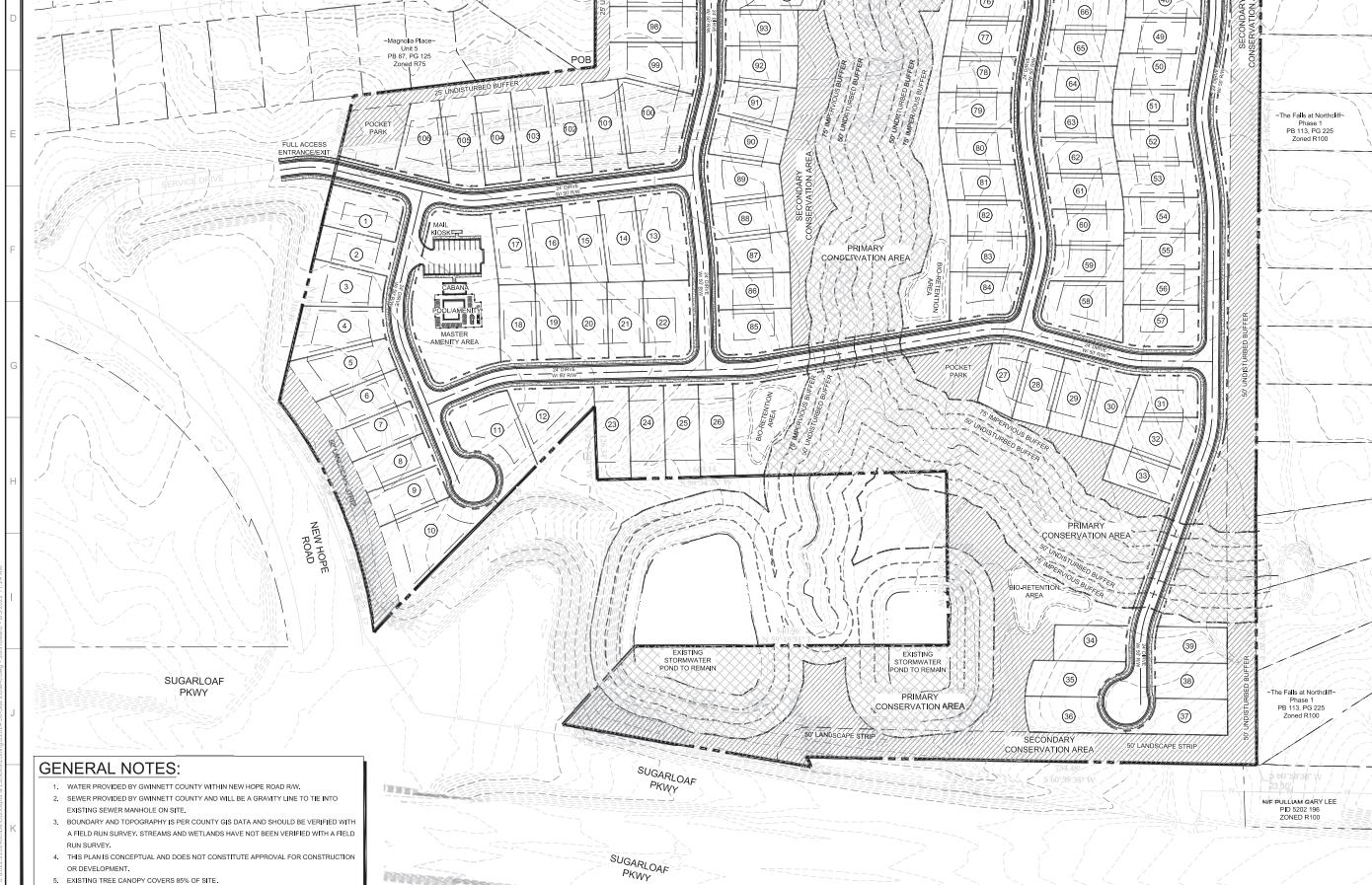
## GWINNETT COUNTY PLANNING AND DEVELOPMENT

RECEIVED

8/3/2022



## TYPICAL LOT LAYOUT (NTS)



#### GENERAL NOTES:

1. WATER PROVIDED BY GWINNETT COUNTY WITHIN NEW HOPE ROAD RIV.
  2. SEWER PROVIDED BY GWINNETT COUNTY AND WILL BE A GRAVITY LINE TO TIE INTO EXISTING SEWER MANHOLE ON SITE.
  3. BOUNDARY AND TOPOGRAPHY IS PER COUNTY QGS DATA AND SHOULD BE VERIFIED WITH A FIELD RUN SURVEY. STREAMS AND WETLANDS HAVE NOT BEEN VERIFIED WITH A FIELD RUN SURVEY.
  4. THIS PLANS CONCEPTUAL AND DOES NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OR DEVELOPMENT.
  5. EXISTING TREE CANOPY COVERS 85% OF SITE.

24 HOUR CONTACT  
KEITH LAGAGNI



SA

RZR2022-00009

**Exhibit C: Building Elevations**

**[attached]**

RECEIVED

BUILDING CODE ANALYSIS

8/3/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ HOUSE ASSEMBLY: 5/8" TYPE "X" GYPSUM BD. CEILING W/ 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD: LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

- 1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

- FRAMING:
- 1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.
  - 2) PROVIDE 1x blocking UNDER ALL EXTERIOR SLIDING DOORS.
  - 3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
  - 4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
  - 5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R802.8, R802.7.

THERMAL & MOISTURE PROTECTION:

- 1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150TH OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
- 4) PROVIDE ICE-SHIELD PER CODE.
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

DOORS & WINDOW:

- 1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.
- 2) REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.
- 4) FRONT DOOR WIDTH AS REQUIRED BY CODE.
- 5) GARAGE DOOR AS REQUIRED BY CODE.
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATTIS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATTIS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATTIS MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATTIS MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATTIS MINIMUM. VERIFY

ATWOOD  
ELEVATION "D"



APPLICABLE CODES

THE GEORGIA STATE MINIMUM STANDARDS CODES:

- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
- NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

MAIN STREET  
DESIGNS OF GEORGIA, LLC  
Main Street Designs of Georgia, LLC  
3000 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
(404) 480-3881

Revised Date:  
8/18/2020

Model:  
Atwood  
Drawing Title:  
Atwood  
Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

taylor  
morrison  
Homes Inspired by You

Plan Name:  
ATWOOD

Division:  
Atlanta

Municipality:  
County

Community:  
\_\_\_\_\_

Lot Number:  
\_\_\_\_\_

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
CS-1.0D

Sheet List

Sheet # Description

CS-1.0D Cover Sheet - General Notes

F-0.0D Slab Plan

F-0.1D Basement Plan

A-1.0D First Floor Plan & Options

A-2.0D Second Floor Plan & Options

A-3.0D Front & Left Elevation / Roof Plan

A-3.1D Rear & Right Elevation

A-3.2D Opt. Ext. Covered Outdoor Living

A-3.3D Opt. Full Brick

A-4.0D Building Sections

A-4.1D Building Sections W/ Basement

E-0.1D Basement Electrical Plan

E-1.0D First Floor Electrical Plan

E-2.0D Second Floor Electrical Plan

Opt. Basement

Opt. Ext. Covered Outdoor Living

AREA CALCULATIONS:

Area	Elevation D
First Floor	1234 SF
Second Floor	1471 SF
Total Living	2705 SF
Garage	456 SF
Porch	116 SF
Patio	120 SF
Total Under Roof	3397 SF
Opt. Basement	1225 SF
Opt. Ext. Covered Outdoor Living	220 SF

REVISIONS:

NUMBER: DATE: DESCRIPTION:

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GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

RECEIVED

8/3/2022  
ATTIC VENTILATION  
ROOF "D"  
1531 SQ FT UNDER ROOF ATTIC  
300 SQ FT / 1 SQ FT = 5.10 SQ FT VENTILATION

IDEAL VENTS 18 SQ IN = 1.125 SQ FT

SOFFIT VENTS 9 SQ IN = .0625 SQ FT

BOX VENTS 50 SQ IN = (.347 SQ FT)

5.10 SQ FT / 1 SQ FT = 40% 2.041 SQ FT OF ROOF

10 SQ FT / 1 SQ FT = 60% 3.062 SQ FT OF SOFFIT

RIDGE VENT

.2.041 SQ FT = 16.3 FEET OF RIDGE VENT

.0.125 SQ FT

SOFFIT VENT

3.062 SQ FT = 49.0 FEET OF SOFFIT VENT

.0.0625 SQ FT

ACTUAL RIDGE VENT PROVIDED

18 FEET

ACTUAL SOFFIT VENT PROVIDED

144 FEET

NUMBER OF VENTS NEEDED

0.3 COUNT (NEGATIVE = 0)

(REQ - ACTUAL x .347)

ACTUAL RIDGE VENT PROVIDED

18 FEET

ACTUAL SOFFIT VENT PROVIDED

144 FEET

NUMBER OF VENTS NEEDED

0.3 COUNT (NEGATIVE = 0)

(REQ - ACTUAL x .347)

PORCH ROOF "D"

251 SQ FT UNDER ROOF ATTIC

300 SQ FT / 1 SQ FT = 0.84 SQ FT VENTILATION

RIDGE VENTS 18 SQ IN = 1.125 SQ FT

SOFFIT VENTS 9 SQ IN = .0625 SQ FT

BOX VENTS 50 SQ IN = (.347 SQ FT)

0.84 SQ FT x 50% 0.418 SQ FT OF RIDGE

0.84 SQ FT x 50% 0.418 SQ FT OF SOFFIT

RIDGE VENT

.0.418 SQ FT = 3.3 FEET OF RIDGE VENT

.0.125 SQ FT

SOFFIT VENT

0.418 SQ FT = 6.7 FEET OF SOFFIT VENT

.0.0625 SQ FT

ACTUAL RIDGE VENT PROVIDED

4 FEET

ACTUAL SOFFIT VENT PROVIDED

42 FEET

NUMBER OF VENTS NEEDED

0.2 COUNT (NEGATIVE = 0)

(REQ - ACTUAL x .347)

ACTUAL RIDGE VENT PROVIDED

4 FEET

ACTUAL SOFFIT VENT PROVIDED

42 FEET

NUMBER OF VENTS NEEDED

0.2 COUNT (NEGATIVE = 0)

(REQ - ACTUAL x .347)

COVD OUTDOOR LIVING ROOF

120 SQ FT UNDER ROOF

150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION

SOFFIT VENTS 9 SQ IN = .0625 SQ FT

ASSUME 100% VENTING @ SOFFIT

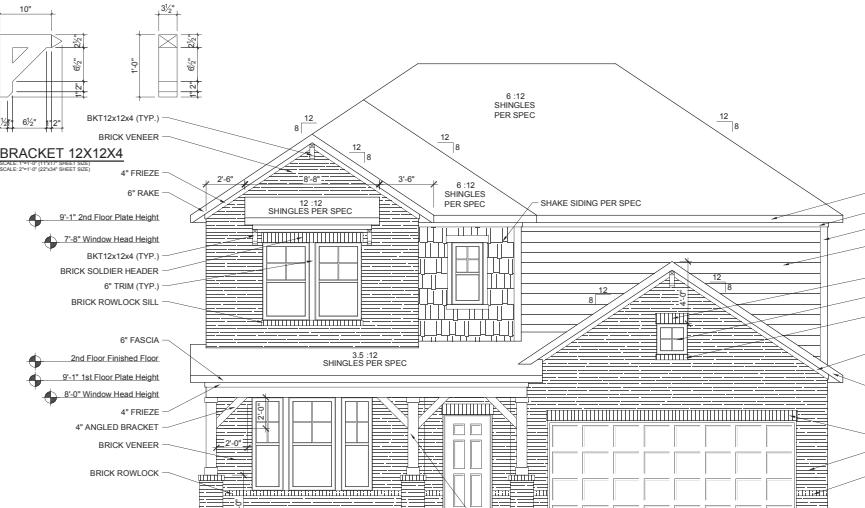
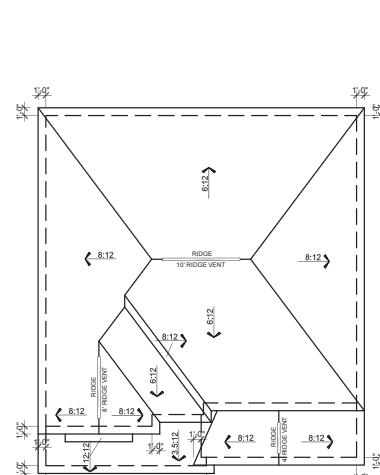
SOFFIT VENT

0.800 SQ FT = 12.8 FEET OF SOFFIT VENT

.0.0625 SQ FT

ACTUAL SOFFIT VENT PROVIDED

14 FEET



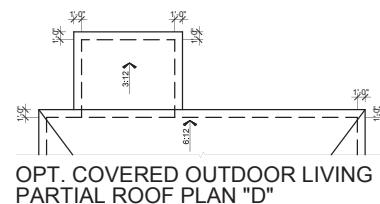
ALCOVY CREEK

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development

10-21-2020

2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE

ON SIDES AND REAR



OPT. COVERED OUTDOOR LIVING PARTIAL ROOF PLAN "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

SCALE: 18"=1'-0" (22x34" SHEET SIZE)

9'-1" 2nd Floor Plate Height

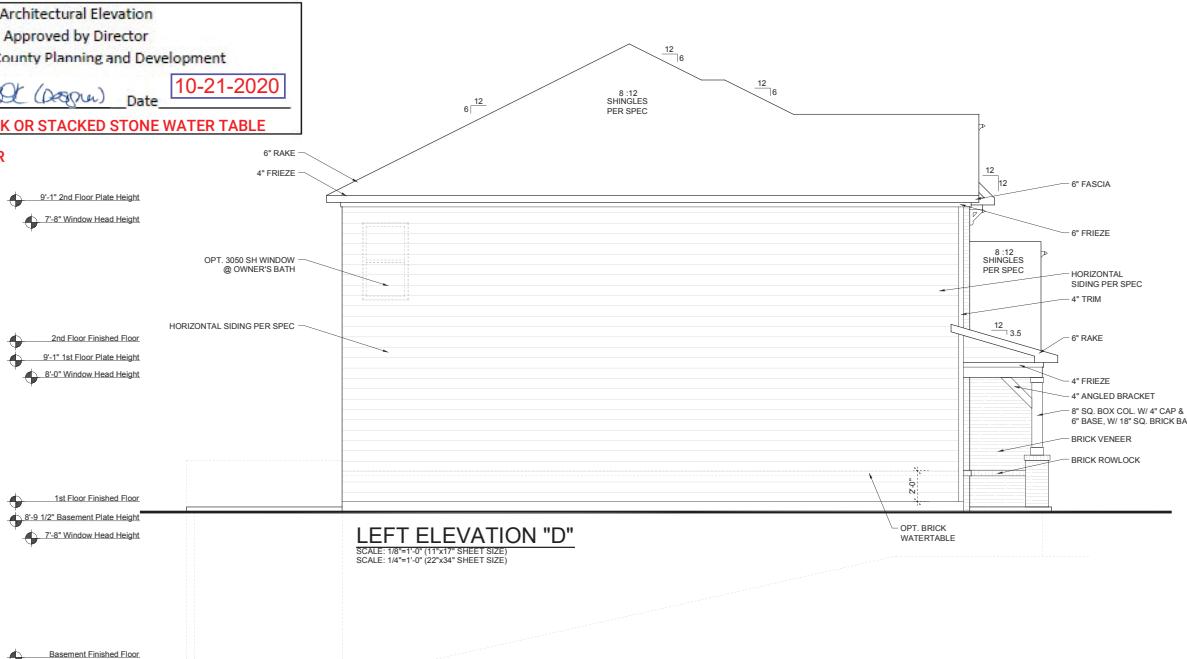
7'-8" Window Head Height

6'-0" Window Head Height

OPT. COVERED OUTDOOR LIVING PARTIAL LEFT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

SCALE: 18"=1'-0" (22x34" SHEET SIZE)



MAIN STREET  
Design by  
Main Street Design LLC  
3800 Alpharetta Parkway, Suite 150  
Alpharetta, GA 30022  
(404) 985-3883

Revised Date:  
8/18/2020

Model:  
Atwood  
Drawing Title:  
Elevations / Roof Plan  
Open Description:  
Front & Left

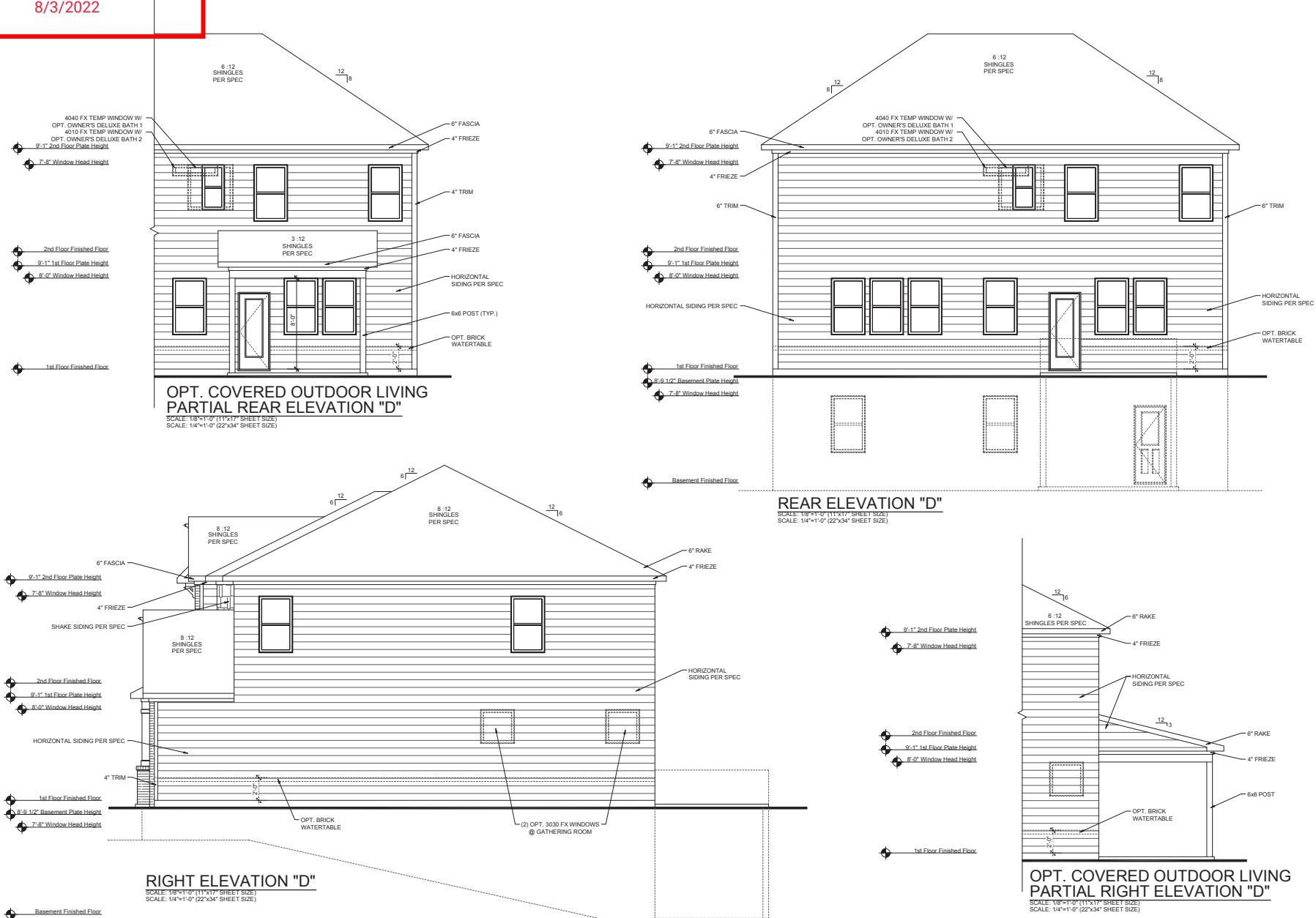
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3560

taylor morrison  
Homes Inspired by You  
Plan Name:  
ATWOOD  
Division:  
Atlanta  
Municipality:  
County  
Community:  
Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
A-3.00

RECEIVED

8/3/2022



**MAIN STREET**  
Design By: *John*  
Main Street Design of Georgia, LLC  
www.mainstreetdesignofgeorgia.com  
3000 Peachtree Road, Suite 100  
Alpharetta, GA 30022  
(404) 460-5222

Revised Date:  
8/18/2020

Model: Atwood  
Drawing Title: Elevations  
Drawing Description: Rear & Right

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3560

**taylor morrison**   
Homes Inspired by You

Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:  
\_\_\_\_\_

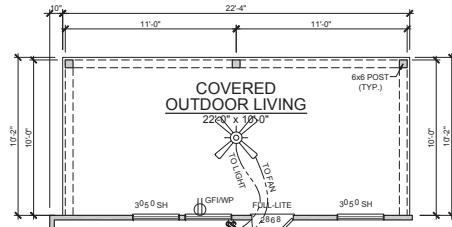
Lot Number:  
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
A-3.1D

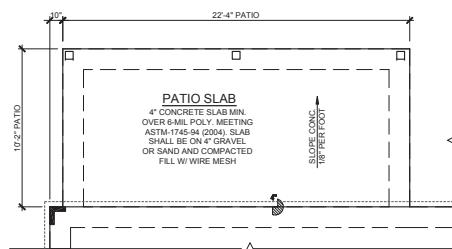
RECEIVED

8/3/2022



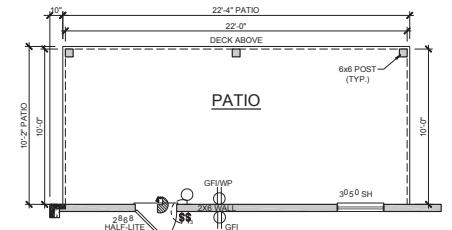
OPT. EXT. COVERED  
OUTDOOR LIVING

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
SLAB PARTIAL PLAN

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



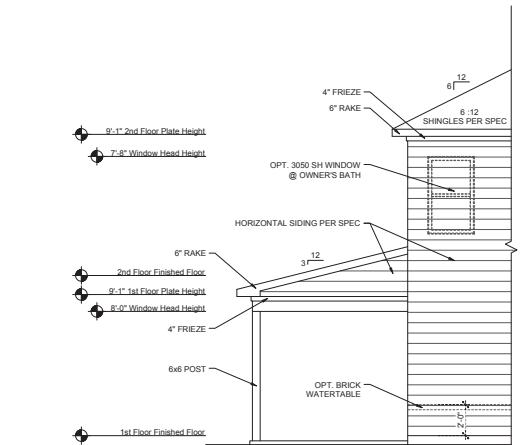
OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



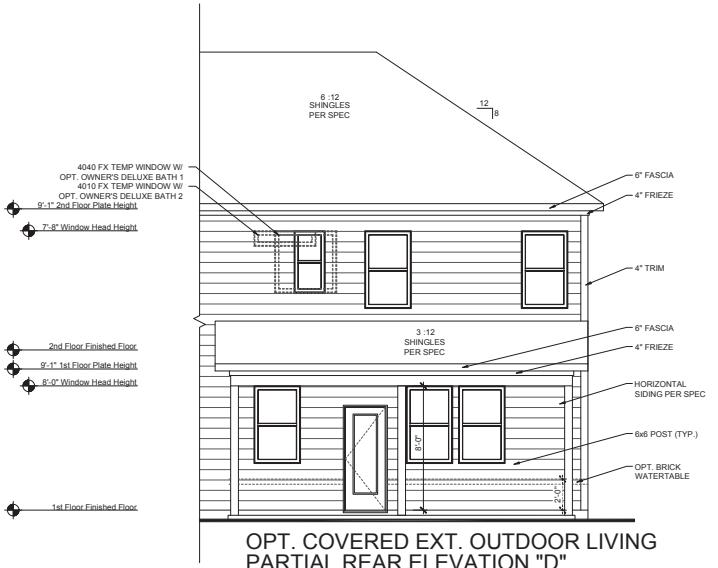
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL ROOF PLAN "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



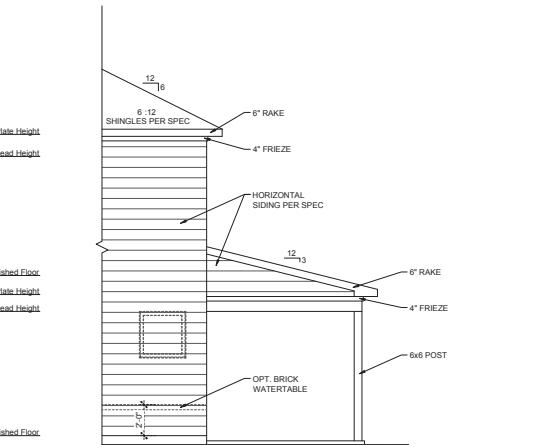
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL REAR ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

MAIN STREET  
Design By: *MAIN STREET*  
Main Street Design of Georgia, LLC  
www.mainstreetdesignofgeorgia.com  
3000 Peachtree Road, NE  
Atlanta, GA 30328  
(404) 460-3222

Revised Date:  
8/18/2020

Elevations - Opt. Ext.  
Cov. Outdoor Living

Model:  
Atwood

Drawing Title:  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

Open Description:  
taylor morrison   
Homes Inspired by You

Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

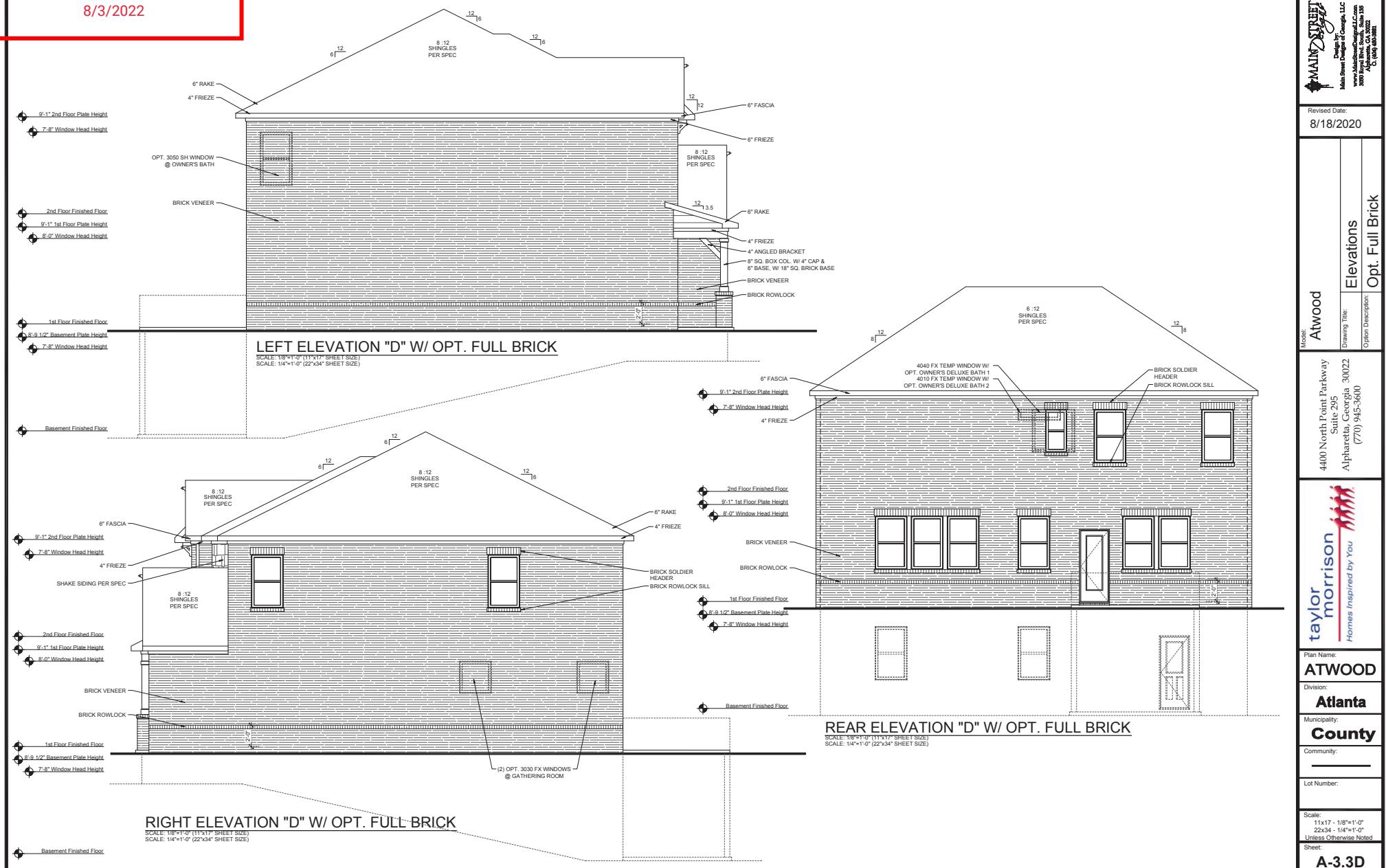
Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:

**A-3.2D**

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8/3/2022



**Exhibit D: Letter of Intent and Applicant's Response to Standards**

**[attached]**

**Exhibit E: Internal and External Agency Review Comments**

**RECEIVED**

8/3/2022

## **Applicant's Letter of Intent**

Rezoning R-100 to OSC

Parcel # 5182-035, 5183-431, 5203-221

The Applicant, H.S. Randall, requests a rezoning for the purpose of constructing a single-family detached residential subdivision. The approximately 53.46-acre site is located at the northeast corner of Sugarloaf Parkway and New Hope Road. There is roughly 7 acres of additional right-of-way adjacent to the site's southwest corner, which contains large ponds that encroach onto the subject site near Sugarloaf Parkway. Additionally, large streams and accompanying buffers bisect the site from its northern property line toward its southern property line. To develop the site as proposed, the applicant requests a rezoning from R-100 (Single-Family Residence District to OSC (Open Space Conservation District). The development will include up to 106 homes, amounting to a density of only 1.98 units per acre. Each unit will include a two-car garage, and will be constructed with a mixture of brick, stone, and fiber cement siding. The community will incorporate a main amenity area near the front of the site that will include a pool, cabana, and the resident's mail kiosk. The amenity area can be easily accessed by residents and guests by way of sidewalks on both sides of the internal streets. However, the amenity area will also feature a parking area for vehicular access. In addition to the main amenity area, a series of pocket parks will be provided throughout the community. All common areas will be maintained by an HOA. Adjacent to the Falls at Northcliff subdivision (R-100), the Applicant will provide a 50-foot conservation space strip, and a where adjacent to the Magnolia Place subdivision (R-75), the Applicant will provide a 25-foot conservation space strip. For further division between the subject site and the neighboring subdivisions, where applicable, a black coated chain-link fence will be provided along the exterior property lines adjacent to the R-100 and R-75 subdivisions. It should be noted that the Applicant will deliver a 10% rental cap on homes within the subdivision. In addition to being amongst other OSC or other conservation subdivisions in proximity, the subject site is Located within the Neighborhood Node character area, which lists single-family residential development as a potential development type. The proposed single-family community therefore meets the intent of and is the least intense use that is encouraged within the character area. The Neighborhood Node character area also encourages apartments, townhomes, senior living facilities, shopping plazas and mixed-residential developments, which would have a greater impact on the surrounding area. Concurrently with the rezoning request, the Applicant requests a variance to allow streets, including those with cul-de-sacs, to exceed 600 feet in length

The Applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide an exceptional residential community in a highly desirable section of the county.

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8/3/2022

## **Standards Governing the Exercise of the Zoning Power**

To further demonstrate that the proposed rezoning and land use is consistent with the intent of the UDO and 2040 Unified Plan, the applicant submits its response to the Standards Governing Exercise of the Zoning Power as follows:

**(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:**

Rezoning the subject site to OSC permits a use that is suitable in relation to the adjacent and nearby properties. The surrounding area is primarily single-family detached subdivisions, including other OSC subdivisions, which is consistent with the proposed use.

**(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:**

The proposed rezoning will not adversely affect the use of the surrounding properties as it will maintain a residential use and will maintain a significant amount of open space.

**(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:**

Due to the site constraints, including irregular topography, streams and location of the property, the applicant believes that the subject property does not have a reasonable economic use as currently zoned. The applicant submits the requested zoning would allow for a use more compatible with the pattern of development in the area.

**(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:**

The rezoning will not result in an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

**(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY ANDINTENT OF THE LAND USE PLAN:**

The proposed rezoning is in conformity with the intent of the 2040 Unified Plan. The subject property is located within the Neighborhood Node character area, which encourages single-family residential.

**(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:**

The pattern of residential infill development in the area and the proposed development's consistency with the land use of the adjacent properties are among reasons for the approval of the proposed rezoning.

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~~Based~~ upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

**Exhibit E: Internal and External Agency Review Comments**

**[attached]**

<b>TRC Meeting Date:</b>	2.16.22				
Department/Agency Name:	Transportation				
Reviewer Name:	Brent Hodges				
Reviewer Title:	Construction Manager 1				
Reviewer Email Address:	<a href="mailto:Brent.hodges@gwinnettcounty.com">Brent.hodges@gwinnettcounty.com</a>				
Case Number:	RZR2022-00009				
Case Address:	1210 New Hope Road				
<b>Comments:</b>		<input checked="" type="checkbox"/> <b>X</b>	<b>YES</b>	<input type="checkbox"/>	<b>NO</b>
<b>1</b>	New Hope Road is a Major Collector. ADT = 7,313. 4.7 miles to nearest Transit facility #2335042 Johnson Road & L&ing Plaza.				
<b>2</b>	Sidewalk required along entire frontage of New Hope Road and Service Road.				
<b>3</b>	Specify interior streets as private or right-of-way.				
<b>4</b>	Provide Traffic Calming for interior streets if they are classified as right-of-way.				
<b>5</b>	Developer to landscape frontage of New Hope Road at corner of Service Drive.				
<b>6</b>					
<b>7</b>					
<b>Recommended Zoning Conditions:</b>		<input checked="" type="checkbox"/> <b>X</b>	<b>YES</b>	<input type="checkbox"/>	<b>NO</b>
<b>1</b>	Applicant must provide a traffic impact study. Coordinate with GCDOT Director of Traffic Engineering to set up the parameters of the study.				
<b>2</b>	Applicant will accept GCDOT recommendations based on the results of the Impact study.				
<b>3</b>					
<b>4</b>					
<b>5</b>					
<b>6</b>					

<b>TRC Meeting Date:</b>		Wednesday, February 16, 2022		
Department/Agency Name:		DWR		
Reviewer Name:		Mike Pappas		
Reviewer Title:		GIS Planning Manager		
Reviewer Email Address:		<a href="mailto:Michael.pappas@gwinnettcounty.com">Michael.pappas@gwinnettcounty.com</a>		
Case Number:		RZR2022-00009		
Case Address:		1210 New Hope Road		
<b>Comments:</b>		<input checked="" type="checkbox"/> <b>X</b>	<b>YES</b>	<input type="checkbox"/> <b>NO</b>
<b>1</b>	WATER: The development may connect to an existing 12-inch water main located on the north right-of-way of Sugarloaf Pkwy.			
<b>2</b>	SEWER: A Sewer Capacity Certification is currently under evaluation by DWR due to limited capacity.			
<b>3</b>				
<b>4</b>				
<b>5</b>				
<b>6</b>				
<b>7</b>				
<b>Recommended Zoning Conditions:</b>		<input checked="" type="checkbox"/> <b>X</b>	<b>YES</b>	<input type="checkbox"/> <b>NO</b>
<b>1</b>	WATER: The existing 12-inch water main on Sugarloaf Pkwy must be extended across the frontage of the property.			
<b>2</b>	SEWER: Hydraulic model results indicate that approximately 2,500 feet of existing 8-inch sewer must be upsized to 12-inch from MH 224763 to MH 1166966.			
<b>3</b>				
<b>4</b>				

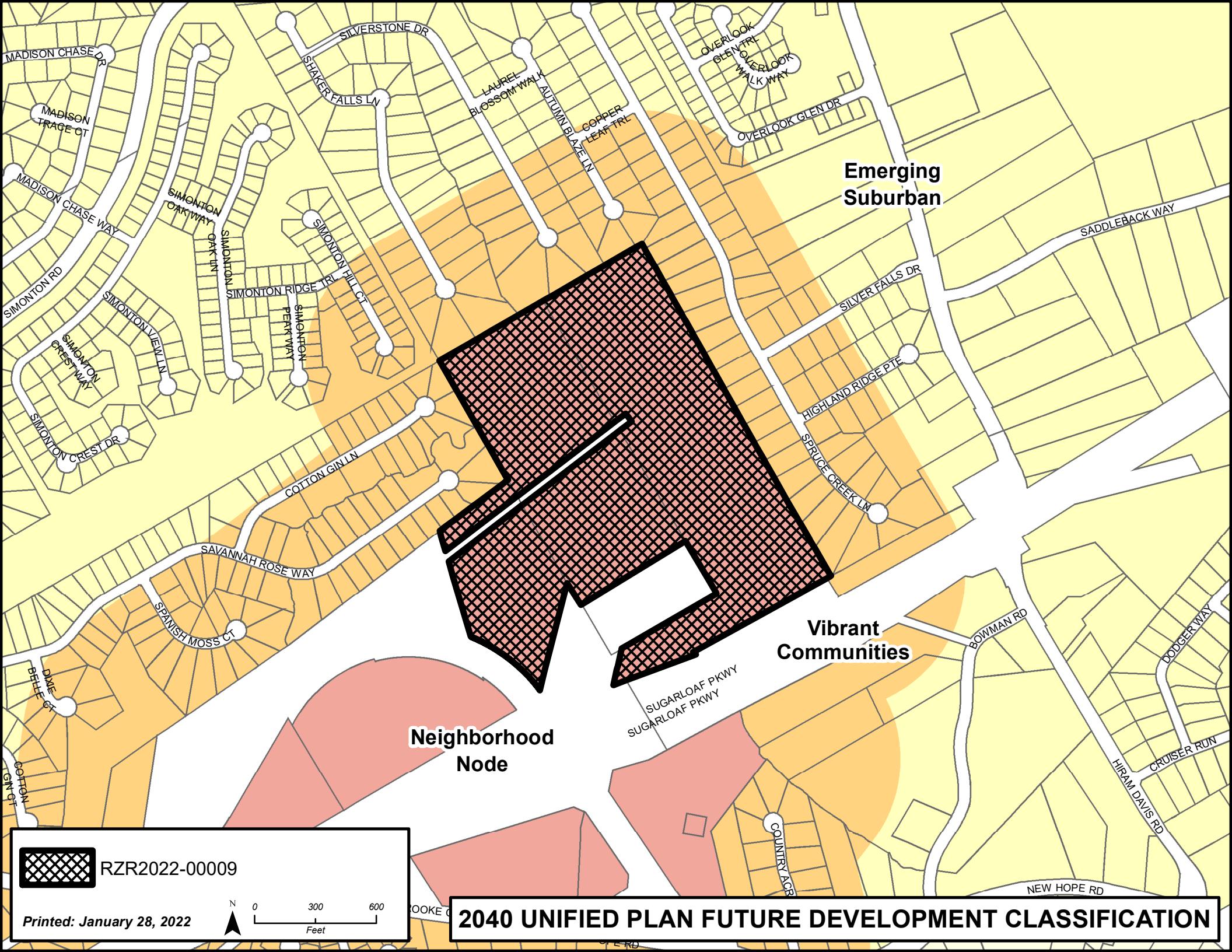
**Exhibit F: Maps**

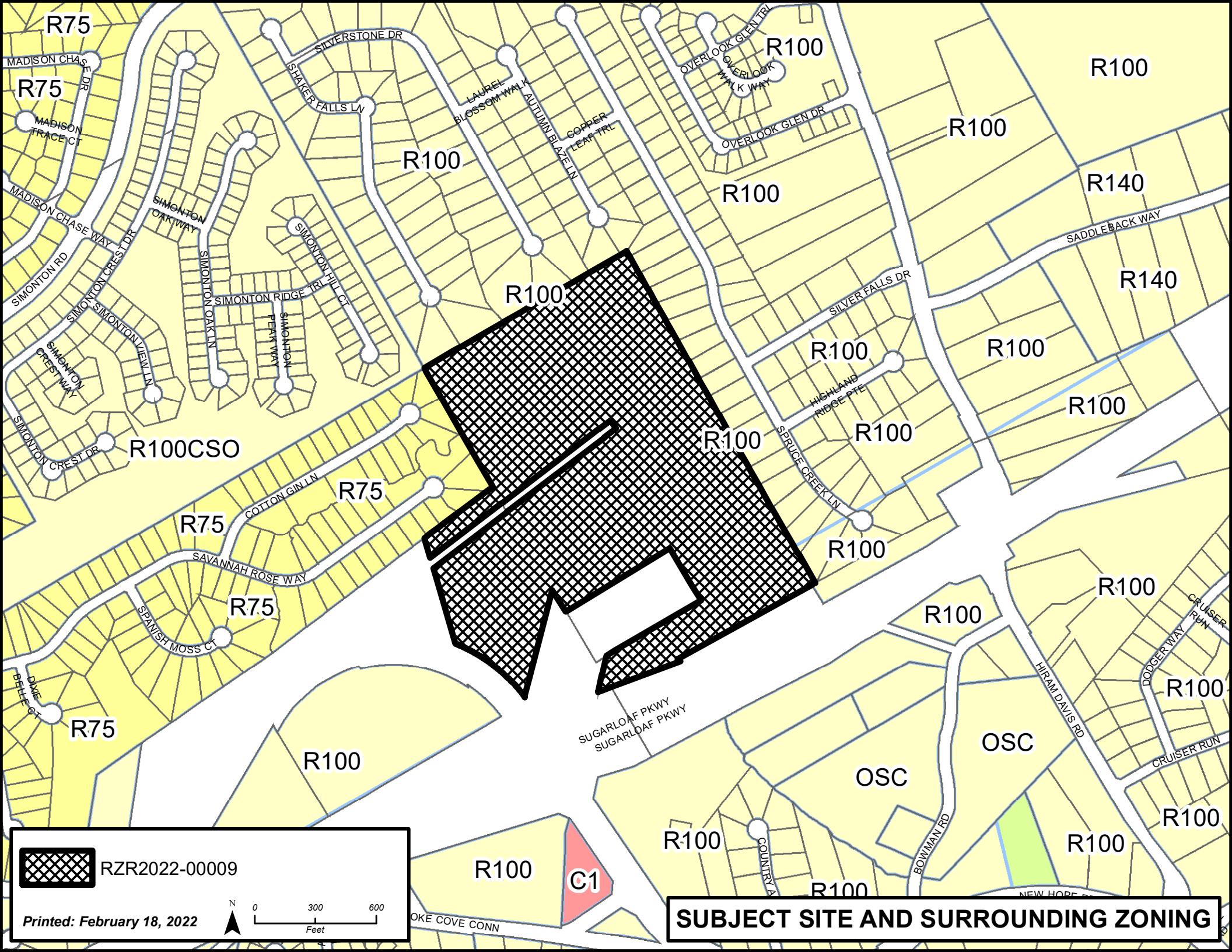
**[attached]**



RZR2022-00009

N  
0 200 400  
Feet





RZR2022-00009

2

A horizontal number line with arrows at both ends. The number 300 is at the left end, and 600 is at the right end. A tick mark is located halfway between 300 and 600, labeled 'East' below the line.

Printed: February 18, 2022

## **SUBJECT SITE AND SURROUNDING ZONING**

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6/10/2022

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*	
NAME: <u>H.S. Randall, c/o Alliance Engineering and Planning</u>	NAME: <u>Multiple - Please see attached</u>	
ADDRESS: <u>299 South Main Street</u>	ADDRESS: _____	
CITY: <u>Alpharetta</u>	CITY: _____	
STATE: <u>GA</u> ZIP: <u>30009</u>	STATE: _____ ZIP: _____	
PHONE: <u>770-225-4730 ext. 819</u>	PHONE: <u>770-225-4730 ext. 819</u>	
EMAIL: <u>Tylerl@allianceco.com</u>	EMAIL: _____	
CONTACT PERSON: <u>Tyler Lasser</u>	PHONE: <u>770-225-4730 ext. 819</u>	
CONTACT'S E-MAIL: <u>Tylerl@allianceco.com</u>	_____	
<b>APPLICANT IS THE:</b>		
<input type="checkbox"/> OWNER'S AGENT	<input type="checkbox"/> PROPERTY OWNER	<input checked="" type="checkbox"/> CONTRACT PURCHASER
PRESENT ZONING DISTRICTS(S): <u>R-100</u> REQUESTED ZONING DISTRICT: <u>TND</u>		
PARCEL NUMBER(S): <u>5182-035, 5183-431, 5203-221</u> ACREAGE: <u>53.458</u>		
ADDRESS OF PROPERTY: <u>1210 New Hope Road, Lawrenceville, GA 30034</u>		
PROPOSED DEVELOPMENT: <u>Single-Family Detached Subdivision</u>		

RESIDENTIAL DEVELOPMENT	NON-RESIDENTIAL DEVELOPMENT
No. of Lots/Dwelling Units <u>137</u>	No. of Buildings/Lots: _____
Dwelling Unit Size (Sq. Ft.): <u>MIN. 1,800 Sq Ft</u>	Total Building Sq. Ft. _____
Gross Density: <u>2.56</u>	Density: _____
Net Density: <u>2.56</u>	_____

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

**RECEIVED**

6/10/2022

**PROPERTY OWNER INFORMATION**

**5203 221**

Vicki Bowen St Clair  
365 THORNHILL DR  
BRASELTON GA 30517-4312

**5183 431**

DDW Real Estate Holdings LLC  
190 BUFORD DR  
LAWRENCEVILLE GA 30046-4500

**5182 035**

James Walton  
PO BOX 1285  
LAWRENCEVILLE GA 30046-1285

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6/10/2022

**REZONING APPLICANT'S RESPONSE**  
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached

---

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached

---

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached

---

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached

---

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached

---

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Please see attached

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RECEIVED

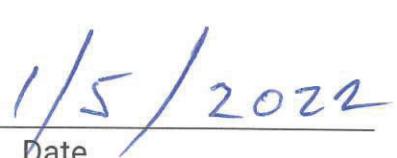
6/10/2022

REZONING APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



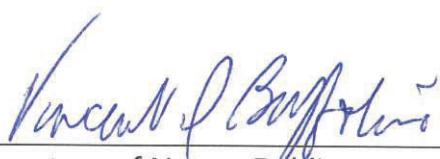
Signature of Applicant



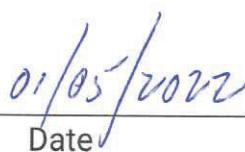
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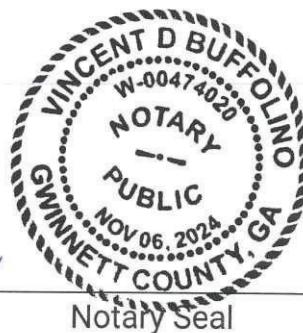
Type or Print Name and Title



Signature of Notary Public



Date



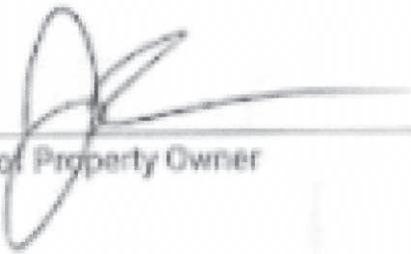
Notary Seal

RECEIVED

6/10/2022

**REZONING PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY  
CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION  
OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12  
MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS  
WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR  
REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST  
ACTION BY THE BOARD OF COMMISSIONERS.



Signature of Property Owner

1-6-22

Date

JASON BOWEN

OWNER

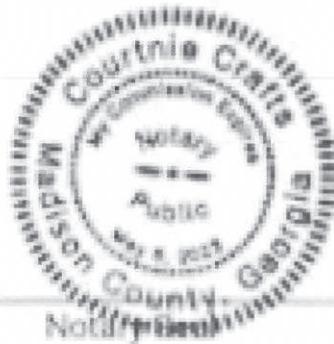
Type or Print Name and Title



Signature of Notary Public

1-6-22

Date

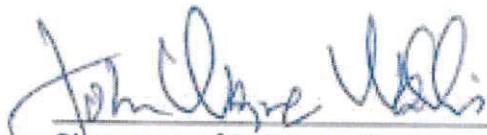


RECEIVED

6/10/2022

**REZONING PROPERTY OWNER'S CERTIFICATION**

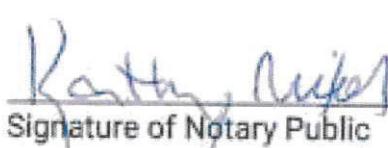
THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY  
CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION  
OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12  
MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS  
WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR  
REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST  
ACTION BY THE BOARD OF COMMISSIONERS.

  
Signature of Property Owner

12-21-21

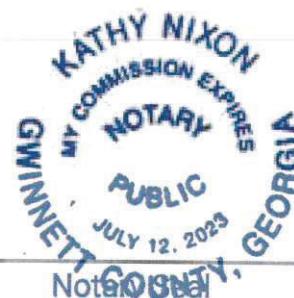
Date

John Wayne Wallis for DDW Real Estate Holdings, LLC  
Type or Print Name and Title

  
Signature of Notary Public

12-21-21

Date



RECEIVED

6/10/2022

**CONFlict OF INTEREST CERTIFICATION FOR REZONING**

The undersigned below, making application for a Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

*H.S. Randall*

*1/5/2022*

*H.S. Randall*

SIGNATURE OF APPLICANT

DATE

TYPE OR PRINT NAME AND TITLE

*Tyler Lasser*

*1/5/2021*

Alliance Engineering and Planning

SIGNATURE OF APPLICANT'S  
ATTORNEY OR REPRESENTATIVE

DATE

TYPE OR PRINT NAME AND TITLE

*Vincent J. Buffolino*

*01/05/2022*



DATE

SIGNATURE OF NOTARY PUBLIC

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES  NO

*H. S. Randall* *H.S. Randall*

YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

RECEIVED

6/10/2022

**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:** 5 - 203 - 221  
(Map Reference Number)      District      Land Lot      Parcel

  
Signature of Applicant

1/15/2022  
Date

H. S. Ronda H. H.  
Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Anita Flowers  
NAME

1-5-2022  
DATE

TAX SERVICES ASSOC. II  
TITLE

TAXES ARE CURRENT

RECEIVED

6/10/2022

## **VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:** 5 - 183 - 431  
(Map Reference Number)      District      Land Lot      Parcel

**Signature of Applicant**

1/5/2022  
Date

Type or Print Name and Title

\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 Langley Drive, FOR THEIR APPROVAL BELOW.\*\*\*

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL  
HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Ante Flores  
NAME

TAX SERVICES ASSOC - II

1-5-2022

Taxes are current

RECEIVED

6/10/2022

**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:**  
(Map Reference Number) 5 - 182 - 035  
District Land Lot Parcel

Signature of Applicant

Date



1/5/2022

Type or Print Name and Title



**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Anita Flowers  
NAME

Tax Services Associate  
TITLE

1-5-2022

DATE

TAXES ARE CURRENT

RECEIVED

6/10/2022

## Applicant's Letter of Intent

Rezoning R-100 to TND

Parcel # 5182-035, 5183-431, 5203-221

The Applicant, H.S. Randall, requests a rezoning for the purpose of constructing a single-family detached residential subdivision. The approximately 53.46-acre site is located at the northeast corner of Sugarloaf Parkway and New Hope Road. There is roughly 7 acres of additional right-of-way adjacent to the site's southwest corner, which contains large ponds that encroach onto the subject site near Sugarloaf Parkway. Additionally, large streams and accompanying buffers bisect the site from its northern property line toward its southern property line. To develop the site as proposed, the applicant requests a rezoning from R-100 (Single-Family Residence District) to TND (Traditional Neighborhood Development District).

The development will include up to 137 homes, amounting to a density of only 2.56 units per acre. 21 homes will be on large lots ( $\geq 9,500$  sq. ft.), 17 homes will be on mid-sized lots (9,499 - 7,500 sq. ft.), and the remaining homes will be on small lots (5,000 – 7,499 sq. ft.). No townhomes are proposed for this development. Each unit will include a two-car garage, and will be constructed with a mixture of brick, stone, and fiber cement siding. The community will incorporate a main amenity area near the front of the site that will include a pool, cabana, and the resident's mail kiosk. The amenity area can be easily accessed by residents and guests by way of sidewalks on both sides of the internal streets. However, the amenity area will also feature a parking area for vehicular access. In addition to the main amenity area, a series of pocket parks will be provided throughout the community. All common areas will be maintained by an HOA. Adjacent to the Falls at Northcliff subdivision (R-100), the Applicant will provide a 30-foot undisturbed buffer, and where adjacent to the Magnolia Place subdivision (R-75), the Applicant will provide a 25-foot undisturbed buffer. For further division between the subject site and the neighboring subdivisions, where applicable, a black coated chain-link fence will be provided along the exterior property lines adjacent to the R-100 and R-75 subdivisions. It should be noted that the Applicant will deliver a 10% rental cap on homes within the subdivision. The subject site is located within the Neighborhood Node character area, which lists single-family residential development as a potential development type. The proposed single-family community therefore meets the intent of and is the least intense use that is encouraged within the character area. The Neighborhood Node character area also encourages apartments, townhomes, senior living facilities, shopping plazas and mixed-residential developments, which would have a greater impact on the surrounding area. Concurrently with the rezoning request, the Applicant requests the following variances:

- Allow streets, including those with cul-de-sacs, to exceed 600 feet in length
- Allow individual lot access from internal streets on blocks where a majority of lots are less than 60 feet wide
- Allow sidewalks to be installed on one side of the internal street (as illustrated on the submitted site plan)

The Applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide an exceptional residential community in a highly desirable section of the county.

RECEIVED

6/10/2022

## Standards Governing the Exercise of the Zoning Power

To further demonstrate that the proposed rezoning and land use is consistent with the intent of the UDO and 2040 Unified Plan, the applicant submits its response to the Standards Governing Exercise of the Zoning Power as follows:

**(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:**

Rezoning the subject site to TND permits a use that is suitable in relation to the adjacent and nearby properties. The surrounding area is primarily single-family detached subdivisions, which is consistent with the proposed use.

**(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:**

The proposed rezoning will not adversely affect the use of the surrounding properties as it will maintain a residential use and will maintain significantly more open space than the adjacent subdivisions.

**(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:**

Due to the site constraints, including irregular topography, streams and location of the property, the applicant believes that the subject property does not have a reasonable economic use as currently zoned. The applicant submits the requested zoning would allow for a use more compatible with the pattern of development in the area.

**(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:**

The rezoning will not result in an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

**(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY ANDINTENT OF THE LAND USE PLAN:**

The proposed rezoning is in conformity with the intent of the 2040 Unified Plan. The subject property is located within the Neighborhood Node character area, which encourages single-family residential.

**(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:**

The pattern of residential infill development in the area and the proposed development's consistency with the land use of the adjacent properties are among reasons for the approval of the proposed rezoning.

**RECEIVED**

*6/10/2022*  
Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

RECEIVED

6/10/2022

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**RECEIVED**

*6/10/2022*  
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RECEIVED

6/16/2020 A parcel of land lying in land lots 182, 183, 202, and 203 of the 5<sup>th</sup> District, Gwinnett County, Georgia and being more particularly described as follows:

Begin at easterly corner of Lot 80 of Magnolia Place subdivision, Unit 5, as recorded in Plat Book 87, Page 124, Gwinnett County Clerk of Superior Court records; Thence run the following courses and distances along the northeasterly line of said Magnolia Place Unit 5: North 29 Degrees 52 Minutes 07 Seconds West for a distance of 307.96 feet to a point; Thence run North 29 Degrees 47 Minutes 54 Seconds West for a distance of 183.88 feet to a point; Thence run North 29 Degrees 59 Minutes 36 Seconds West for a distance of 186.04 feet to a point; Thence leaving the northeasterly line of Magnolia Place Unit 5 run North 59 Degrees 59 Minutes 45 Seconds East along the southeasterly line of The Falls at Northcliff subdivision (Phase 4, as recorded in Plat Book 82, Page 106, Phase 3, as recorded in Plat Book 84, Page 137, and Phase 2, as recorded in Plat Book 99, Page 21, aforementioned records) for a distance of 1153.23 feet to a point; Thence leaving said southeasterly line run South 29 Degrees 26 Minutes 24 Seconds East along the southwesterly line of The Falls at Northcliff subdivision (Phase 1, as recorded in Plat Book 113, Page 225, aforementioned records) for a distance of 1453.49 feet to a point; Thence run South 30 Degrees 15 Minutes 40 Seconds East along said southwesterly line for a distance of 430.15 feet to a point; Thence leaving said southwesterly line run South 60 Degrees 58 Minutes 38 Seconds West for a distance of 23.30 feet to a point on the northwesterly right of way of Sugarloaf Parkway (having a variable public right of way); Thence run the following courses and distances along the northwesterly right of way of said Sugarloaf Parkway: South 60 Degrees 58 Minutes 38 Seconds West for a distance of 754.48 feet along said right of way to a point; Thence run South 63 Degrees 26 Minutes 05 Seconds East for a distance of 5.59 feet to a point; Thence run South 58 Degrees 23 Minutes 38 Seconds East for a distance of 3.82 feet to a point; Thence run South 53 Degrees 07 Minutes 22 Seconds East for a distance of 4.37 feet to a point; Thence run South 45 Degrees 49 Minutes 33 Seconds East for a distance of 4.90 feet to a point; Thence run South 69 Degrees 45 Minutes 42 Seconds West for a distance of 419.19 feet to a point; Thence run South 67 Degrees 07 Minutes 29 Seconds West for a distance of 15.68 feet to a point; Thence run North 12 Degrees 49 Minutes 38 Seconds East for a distance of 184.63 feet to a point; Thence run North 59 Degrees 49 Minutes 51 Seconds East for a distance of 540.96 feet to a point; Thence run North 30 Degrees 42 Minutes 02 Seconds West for a distance of 300.91 feet to a point; Thence run South 58 Degrees 34 Minutes 28 Seconds West for a distance of 603.14 feet to a point; Thence run North 32 Degrees 14 Minutes 03 Seconds West for a distance of 126.34 feet to a point; Thence run South 14 Degrees 30 Minutes 22 Seconds West for a distance of 451.13 feet to a point; Thence run South 13 Degrees 28 Minutes 01 Seconds West for a distance of 93.36 feet to a point on the northeasterly right of way of New Hope Road (having a variable public right of way); Thence leaving the aforementioned northwesterly right of way of Sugarloaf Parkway and running the following courses and distances along the northeasterly right of way of said New Hope Road: North 37 Degrees 59 Minutes 57 Seconds West for a distance of 33.37 feet to a point; Thence run North 40 Degrees 23 Minutes 15 Seconds West for a distance of 33.37 feet to a point; Thence run North 42 Degrees 46 Minutes 33 Seconds West for a distance of 33.37 feet to a point; Thence run North 45 Degrees 24 Minutes 29 Seconds West for a distance of 41.82 feet to a point; Thence run North 48 Degrees 23 Minutes 11 Seconds West for a distance of 41.82 feet to a point; Thence run North 51 Degrees 21 Minutes 53 Seconds West for a distance of 41.82 feet to a point; Thence run North 54 Degrees 20 Minutes 35 Seconds West for a distance of 41.82 feet to a point; Thence run North 57 Degrees 19 Minutes 17 Seconds West for a distance of 41.82 feet to a point; Thence run North 60 Degrees 17 Minutes 59 Seconds West for a distance of 41.82 feet to a point;

**RECEIVED**

6/10/2022 Thence run North 63 Degrees 16 Minutes 40 Seconds West for a distance of 41.82 feet to a point;

Thence run North 66 Degrees 20 Minutes 13 Seconds West for a distance of 43.59 feet to a point;

Thence leaving the northeasterly right of way of New Hope Road run North 16 Degrees 27 Minutes 14 Seconds West for a distance of 310.46 feet to a point; Thence run North 16 Degrees 09 Minutes 43 Seconds West for a distance of 232.68 feet to a point on the southeasterly line of aforementioned Magnolia Place Unit 5; Thence run North 53 Degrees 10 Minutes 40 Seconds East for a distance of 420.07 feet to the Point of Beginning.

Said parcel containing 2,328,611 Square Feet, or 53.458 Acres

## GWINNETT COUNTY PLANNING AND DEVELOPMENT

RECEIVED

6/10/2022



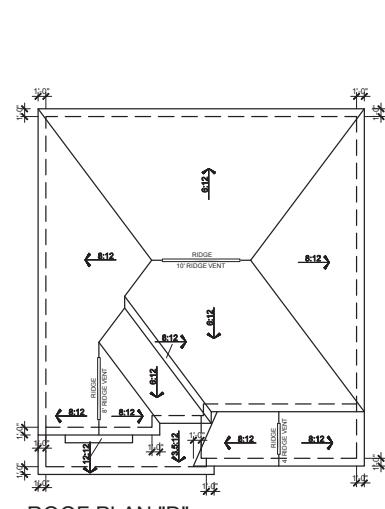




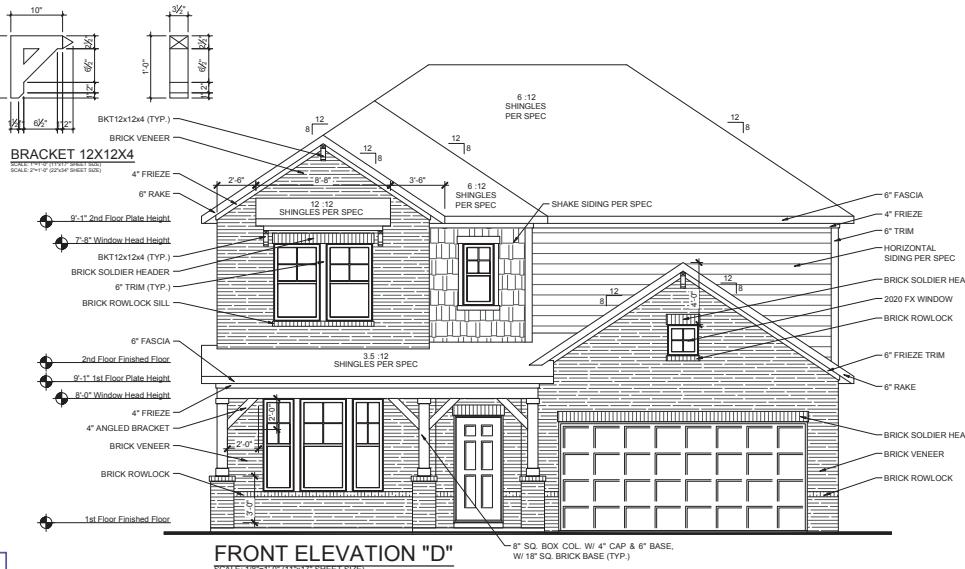
GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

RECEIVED

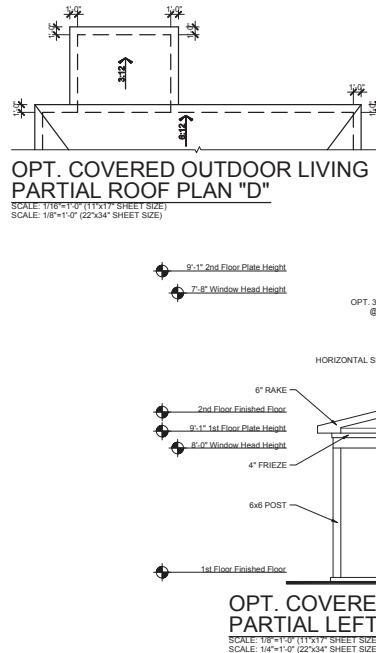
ATTIC VENTILATION	
ROOF "D"	
300 SQ FT / 1 SQ FT	5.10 SQ FT VENTILATION
ROOF VENTS 18 SQ IN = 1.125 SQ FT	
SOFFIT VENTS 6 SQ IN = 0.0625 SQ FT	
BOX VENTS 50 SQ IN = 0.375 SQ FT	
5.10 SQ FT / 1 SQ FT = 40% 2.041 SQ FT OF RIDGE	
10 SQ FT / 1 SQ FT = 60% 3.062 SQ FT OF SOFFIT	
RIDGE VENT	
2.041 SQ FT = 16.3 FEET OF RIDGE VENT	
0.0625 SQ FT = 4.90 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	18 FEET
ACTUAL SOFFIT VENT PROVIDED	144 FEET
NUMBER OF VENTS NEEDED	0.2 COUNT (NEGATIVE = 0)
(REQD - ACTUAL x 347)	
PORCH ROOF "D"	
251 SQ FT UNDER ROOF ATIC	0.84 SQ FT VENTILATION
ROOF VENTS 18 SQ IN = 1.125 SQ FT	
SOFFIT VENTS 9 SQ IN = 0.0625 SQ FT	
BOX VENTS 50 SQ IN = 0.375 SQ FT	
0.84 SQ FT x 50% = 0.418 SQ FT OF RIDGE	
0.84 SQ FT x 50% = 0.418 SQ FT OF SOFFIT	
RIDGE VENT	
0.418 SQ FT = 3.3 FEET OF RIDGE VENT	
0.125 SQ FT = 6.7 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	4 FEET
ACTUAL SOFFIT VENT PROVIDED	27 FEET
NUMBER OF BOX VENTS NEEDED	0.2 COUNT (NEGATIVE = 0)
(REQD - ACTUAL x 347)	
COVD OUTDOOR LIVING ROOF	
120 SQ FT / 1 SQ FT	0.80 SQ FT VENTILATION
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.800 SQ FT = 12.8 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET



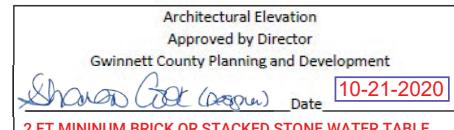
ALCOVY CREEK



FRONT ELEVATION "D"

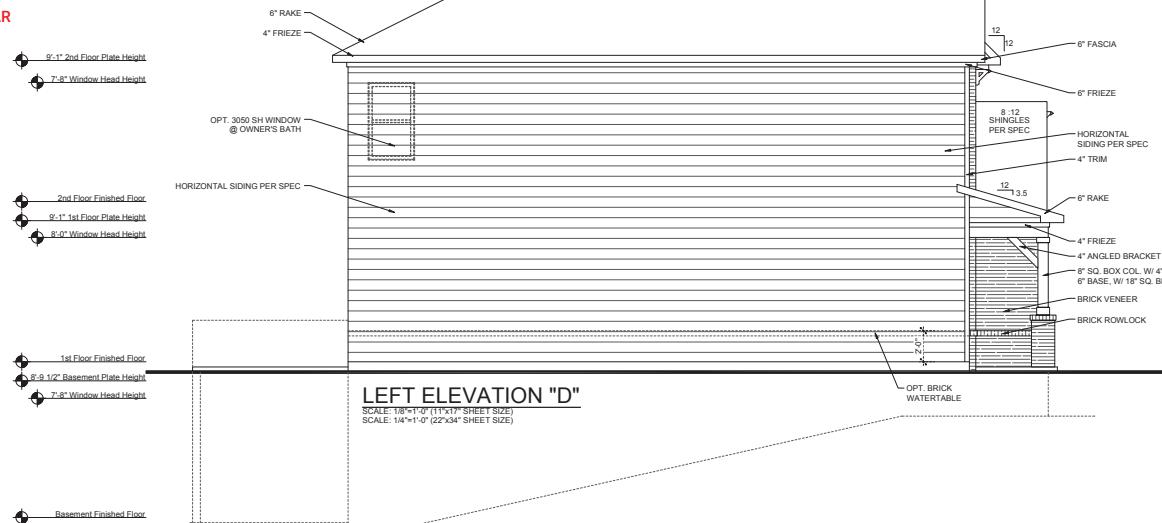


OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "D"



2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE

ON SIDES AND REAR

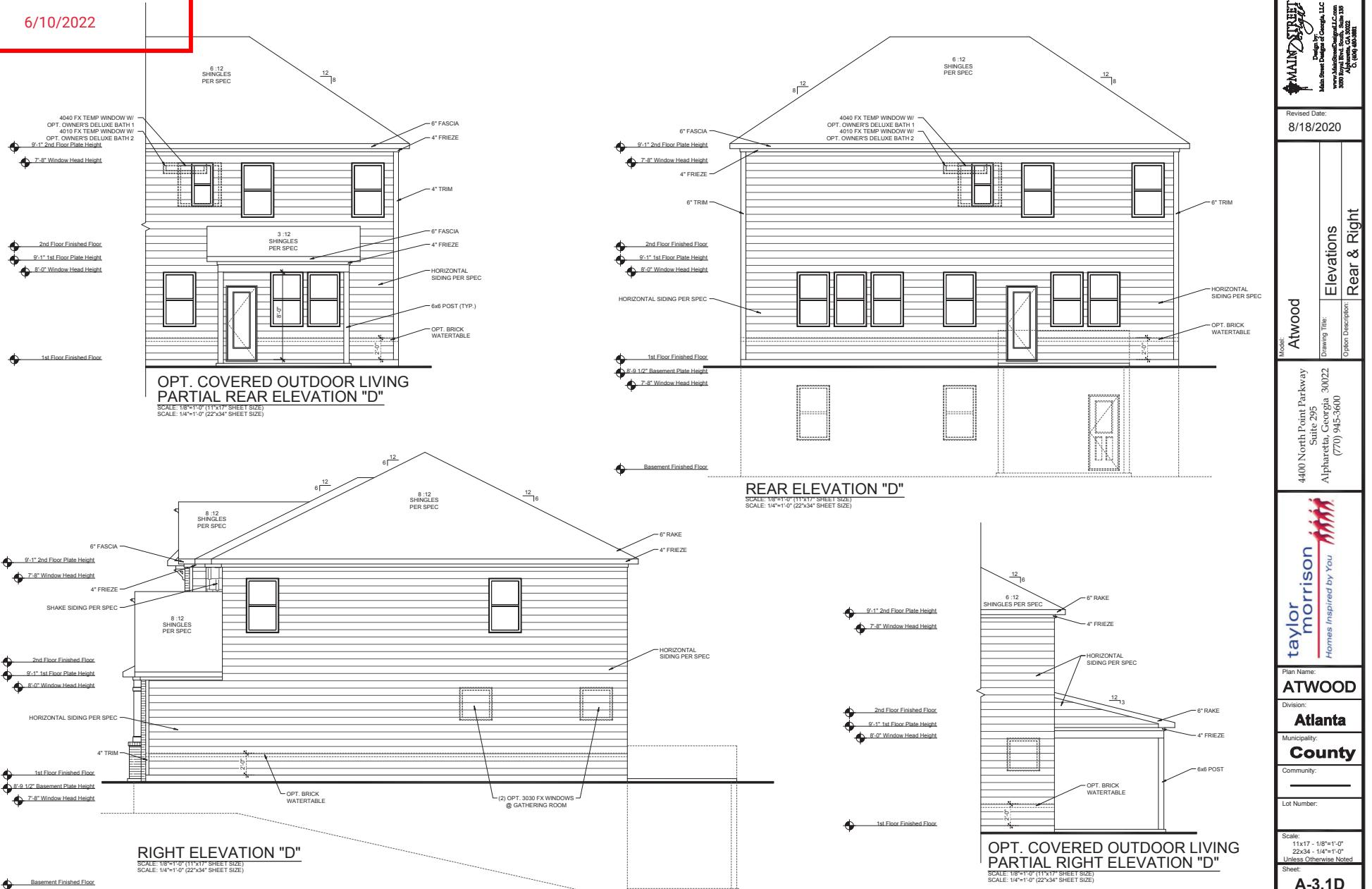


LEFT ELEVATION "D"

Model:	Atwood
Revised Date:	8/18/2020
Drawing Title:	Elevations / Roof Plan
Open Description:	Front & Left
4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 945-3560	taylor morrison  Homes Inspired by You
Plan Name: <b>ATWOOD</b>	Community: _____
Division: <b>Atlanta</b>	Lot Number: _____
Municipality: <b>County</b>	Scale: 11x17 - 1/8"=1'-0" 22x34 - 1/4"=1'-0" Unless Otherwise Noted
Community: _____	Sheet: <b>A-3.00</b>

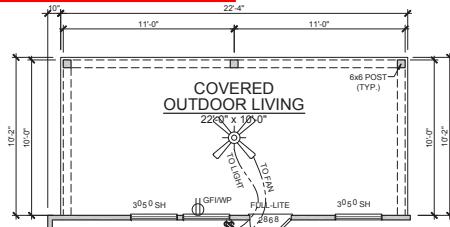
RECEIVED

6/10/2022



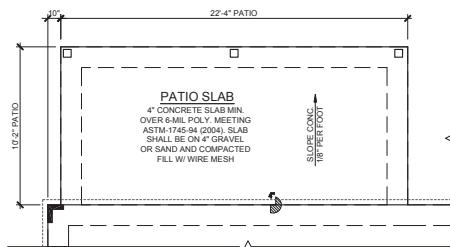
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6/10/2022



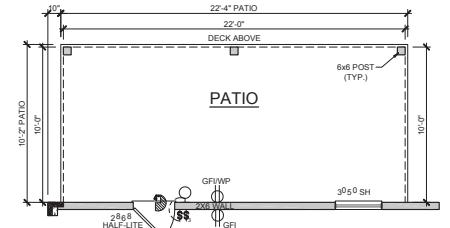
OPT. EXT. COVERED  
OUTDOOR LIVING

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
SLAB PARTIAL PLAN

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



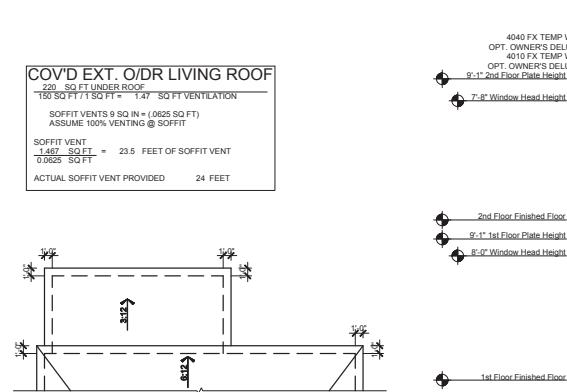
OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



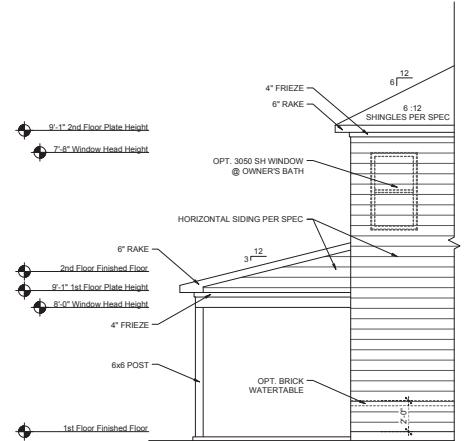
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL ROOF PLAN "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



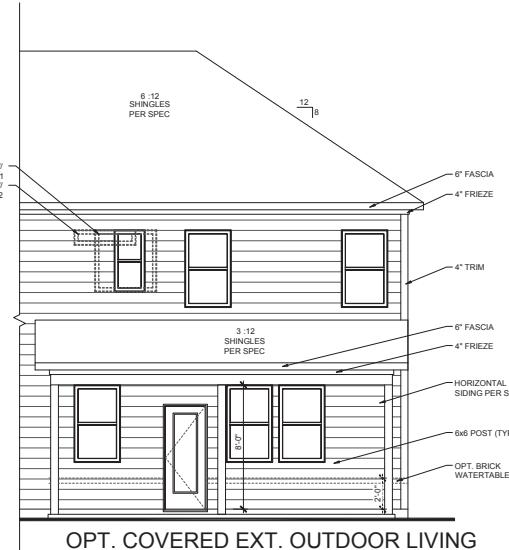
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL ROOF PLAN "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



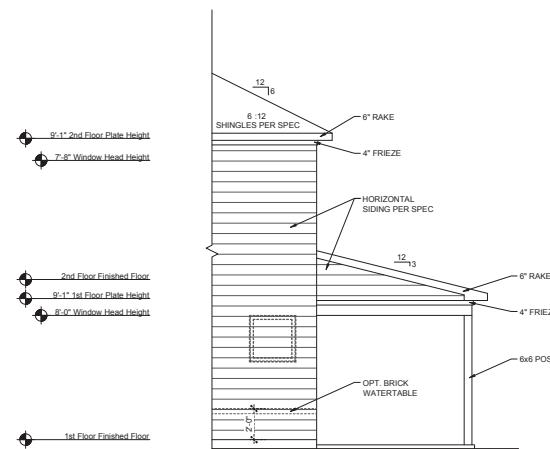
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL REAR ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "D"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

MAIN STREET  
Design By: Main Street Design of Georgia, LLC  
Main Street Design of Georgia, LLC  
3000 Peachtree Industrial Blvd., Suite 100  
Alpharetta, GA 30022  
(404) 460-3222

Revised Date:  
8/18/2020

Elevations - Opt. Ext.  
Cov. Outdoor Living

Model:  
Atwood

Drawing Title:  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

Open Description:  
taylor morrison  
Homes Inspired by You

Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:  
\_\_\_\_\_

Lot Number:  
\_\_\_\_\_

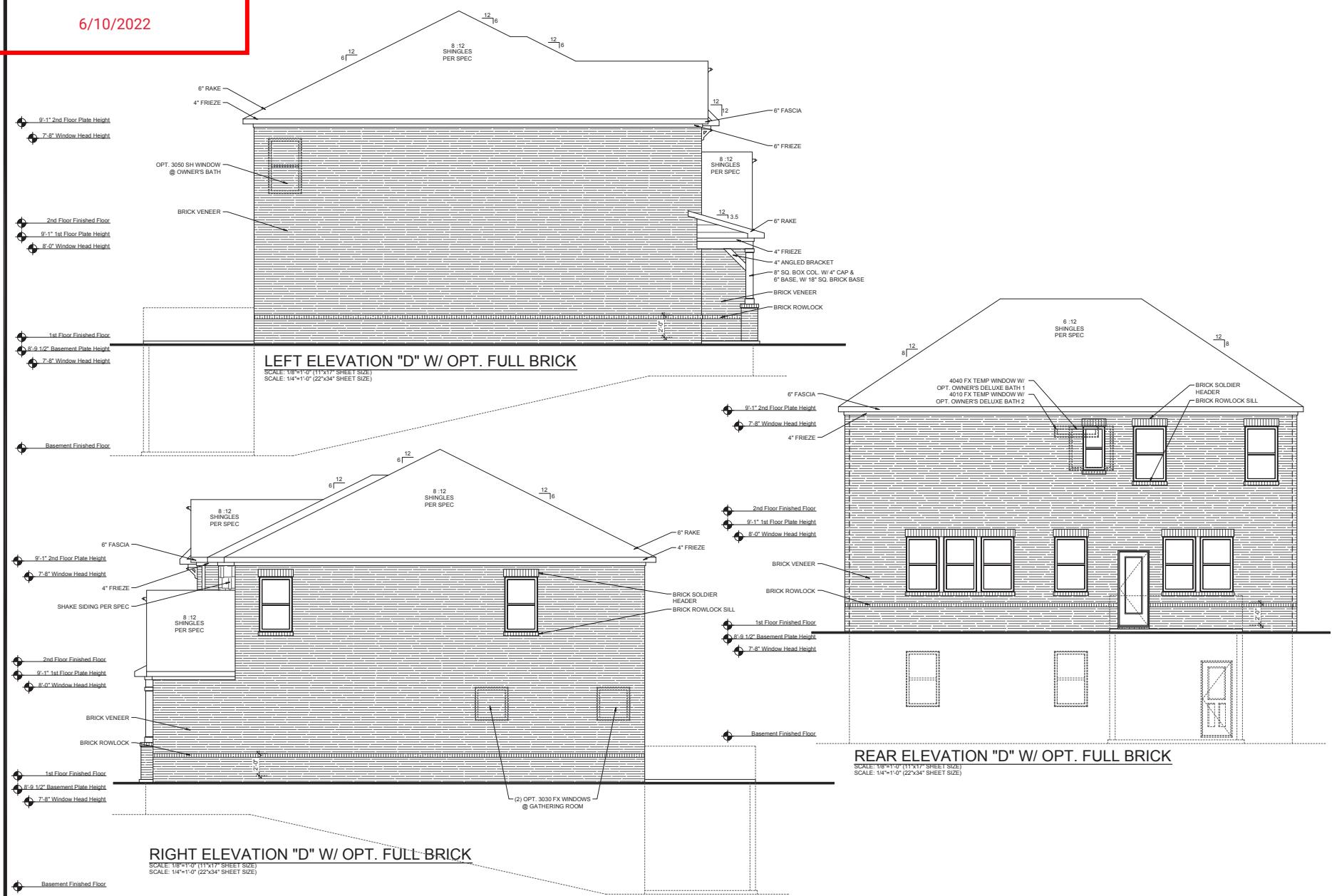
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:

**A-3.2D**

## GWINNETT COUNTY PLANNING AND DEVELOPMENT

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Revised Date:  
8/18/2020

Elevations  
Ort Full Brick

Model: Atwood

44400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

**taylor morrison**  
Homes Inspired by You

Plan Name: **ATWOOD**

**Division:**

Atlanta

## County

**Community:**

— 1 —

Lot Number:

10

Scale:

Scale:

22x34 - 1/4 -1-0  
Unless Otherwise Noted

Sheet:

A-3.3D





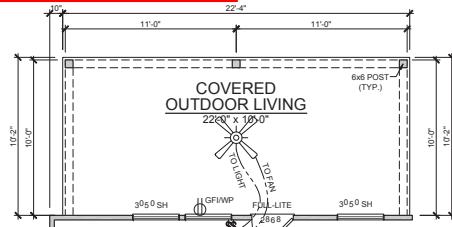
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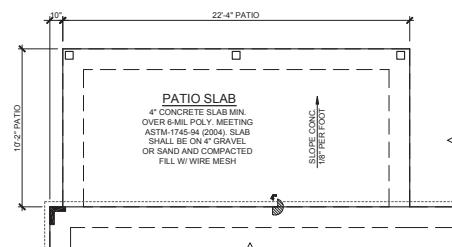
RECEIVED

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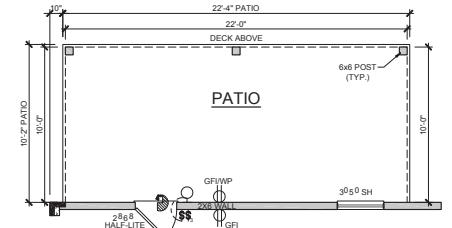
OPT. EXT. COVERED  
OUTDOOR LIVING

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
SLAB PARTIAL PLAN

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



COVD EXT. O/DR LIVING ROOF

150 SQ FT / 1 SQ FT = 1.41 SQ FT VENTILATION

ASSUME 100% VENTING @ SOFFIT

SOFFIT VENT = 1.467 SQ FT = 23.5 FEET OF SOFFIT VENT

0.0625 SQ FT

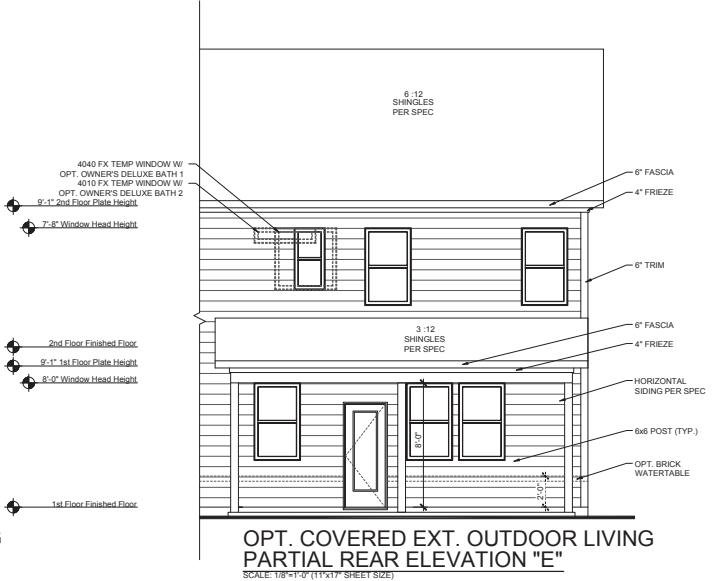
ACTUAL SOFFIT VENT PROVIDED = 24 FEET

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



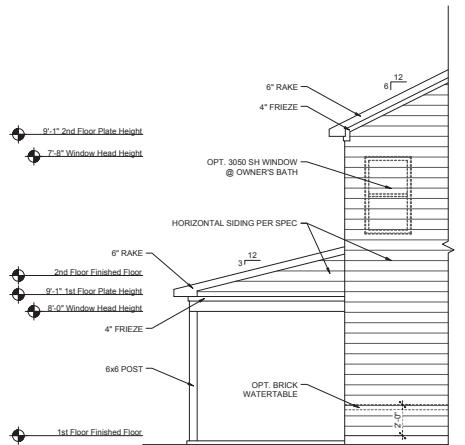
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL ROOF PLAN "E"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



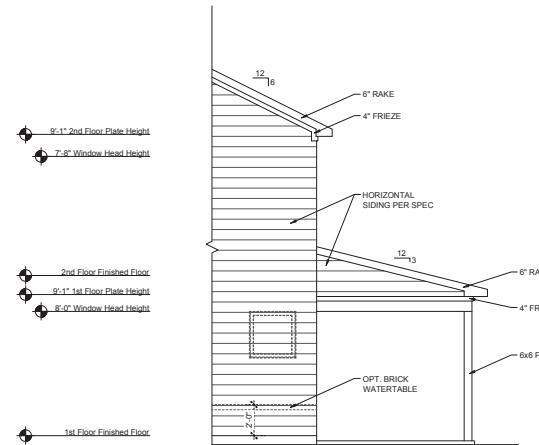
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL REAR ELEVATION "E"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



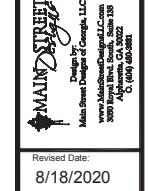
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "E"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "E"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model:	Atwood	Elevations - Opt. Ext. Cov. Outdoor Living
Drawing Title:		
Open Description:		

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Homes Inspired by You

Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:  
\_\_\_\_\_

Lot Number:  
\_\_\_\_\_

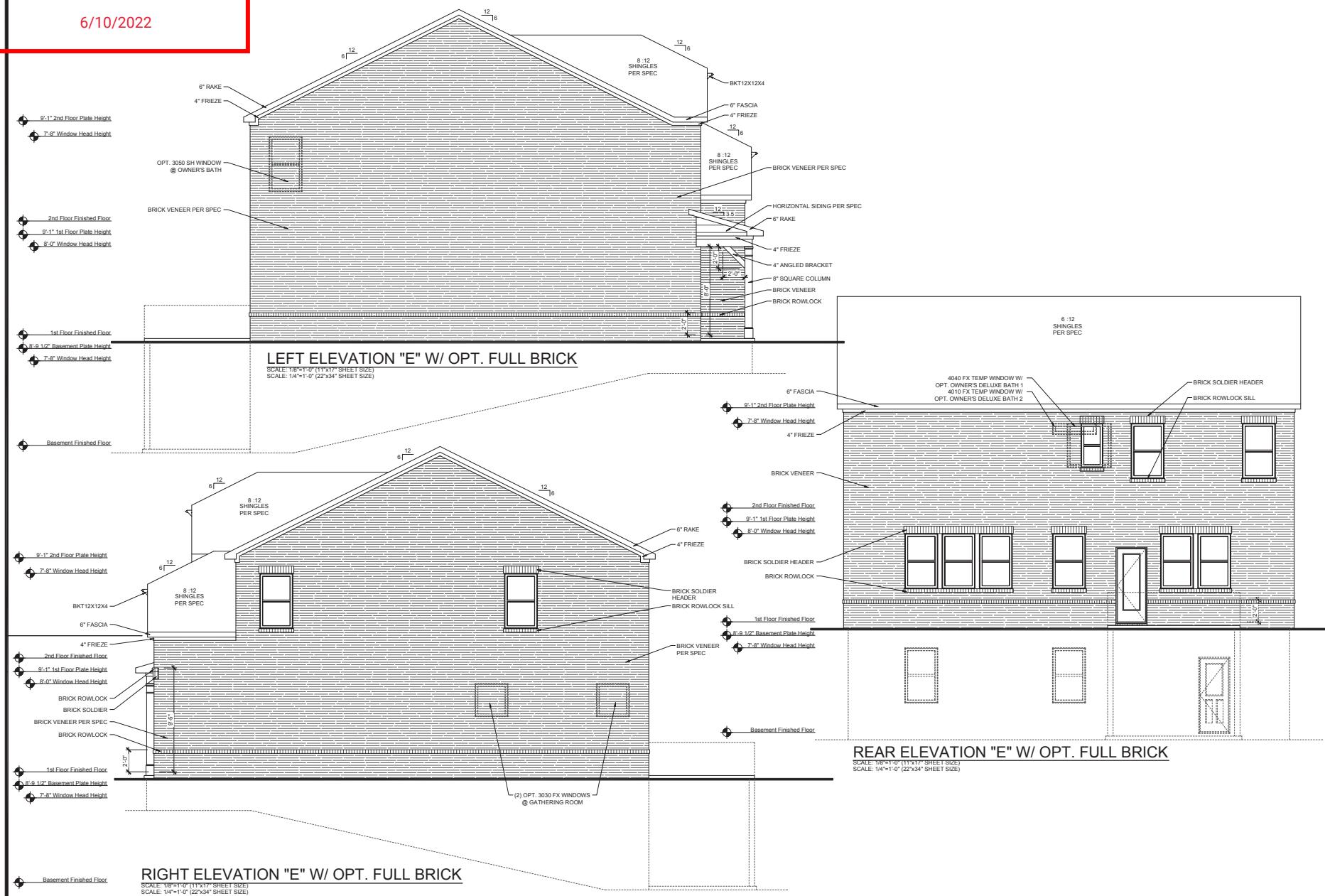
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22x34 - 1/4=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.2E**

## GWINNETT COUNTY PLANNING AND DEVELOPMENT

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6/10/2022



MAIN STREET  
Design by:  
Street Design of Georgia, LLC  
www.MainStreetDesignsLLC.com  
5 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
(678) 450-3800

Revised Date:  
8/18/2020

Elevations  
Opt. Full Brick

Model:	Atwood		
Drawing Title:			
Option Description:			
4400 North Point Parkway			
Suite 295			
Alpharetta, Georgia 30022			
(770) 945-3600			

taylor  
morrison  
  
Homes Inspired by You

Plan Name: **AMERICAN**

ATWOOD

**Atlanta**

Municipality:

## County

### Community:

Page 10

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:

A-3.3E



GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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ATTIC VENTILATION

ROOF "F"

300 SQ FT / 1 SQ FT = 5.10 SOFT VENTILATION

RIDGE VENTS 18 SQ IN = (125 SQ FT)

SOFFIT VENTS 3 SQ IN = (2025 SQ FT)

BOX VENTS 50 SQ IN = (347 SQ FT)

5.10 SQ FT X 50% = 2.552 SQ FT OF RIDGE

5.10 SQ FT X 50% = 2.552 SQ FT OF SOFFIT

RIDGE VENT = 2.552 SQ FT = 20.4 FEET OF RIDGE VENT

SOFFIT VENT = 2.552 SQ FT = 40.8 FEET OF SOFFIT VENT

0.0828 SQ FT

ACTUAL RIDGE VENT PROVIDED = 22 FEET

ACTUAL SOFFIT VENT PROVIDED = 81 FEET

NUMBER OF VENTS PROVIDED = 60 COUNT

(REQ. ACTUAL X .347)

ACTUAL RIDGE VENT PROVIDED = 22 FEET

ACTUAL SOFFIT VENT PROVIDED = 81 FEET

NUMBER OF VENTS PROVIDED = 60 COUNT

(REQ. ACTUAL X .347)

POORCH / GARAGE ROOF "F"

300 SQ FT / 1 SQ FT = 0.57 SOFT VENTILATION

RIDGE VENTS 18 SQ IN = (125 SQ FT)

SOFFIT VENTS 3 SQ IN = (0625 SQ FT)

BOX VENTS 50 SQ IN = (347 SQ FT)

0.57 SQ FT X 50% = 0.283 SQ FT OF RIDGE

0.57 SQ FT X 50% = 0.283 SQ FT OF SOFFIT

RIDGE VENT = 0.283 SQ FT = 2.3 FEET OF RIDGE VENT

SOFFIT VENT = 0.283 SQ FT = 4.5 FEET OF SOFFIT VENT

0.0828 SQ FT

ACTUAL RIDGE VENT PROVIDED = 4 FEET

ACTUAL SOFFIT VENT PROVIDED = 10 FEET

NUMBER OF VENTS PROVIDED = 6 COUNT

(NEGATIVE = 0)

COVD OUTDOOR LIVING ROOF

120 SQ FT UNDER ROOF

150 SQ FT / 1 SQ FT = 0.80 SOFT VENTILATION

SOFFIT VENTS 9 SQ IN = (0625 SQ FT)

ASSUME 100% VENTING @ SOFFIT

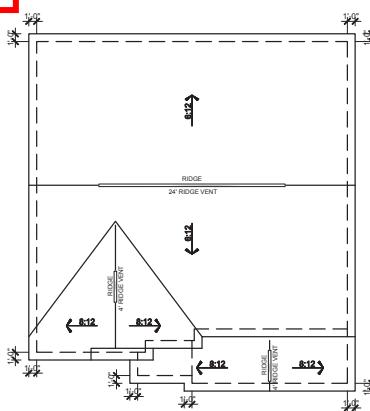
SOFFIT VENT = 0.800 SQ FT

0.0625 SQ FT

ACTUAL SOFFIT VENT PROVIDED = 12.8 FEET OF SOFFIT VENT

0.0625 SQ FT

ACTUAL SOFFIT VENT PROVIDED = 14 FEET



ROOF PLAN "F"

SCALE: 1/10=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8=1'-0" (22x34" SHEET SIZE)

ALCOVY CREEK

Architectural Elevation

Approved by Director

Gwinnett County Planning and Development

*Shawn Gier (sgier)* Date 10-21-2020

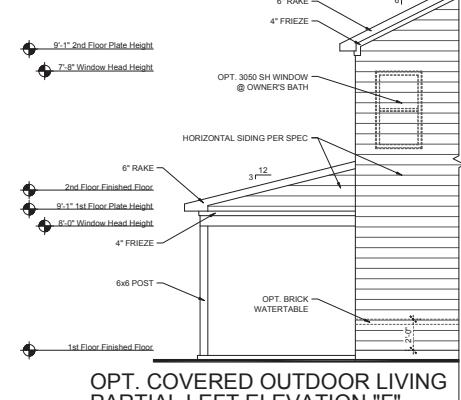
2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE ON  
REAR AND SIDES



OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "F"

SCALE: 1/10=1'-0" (11x17" SHEET SIZE)

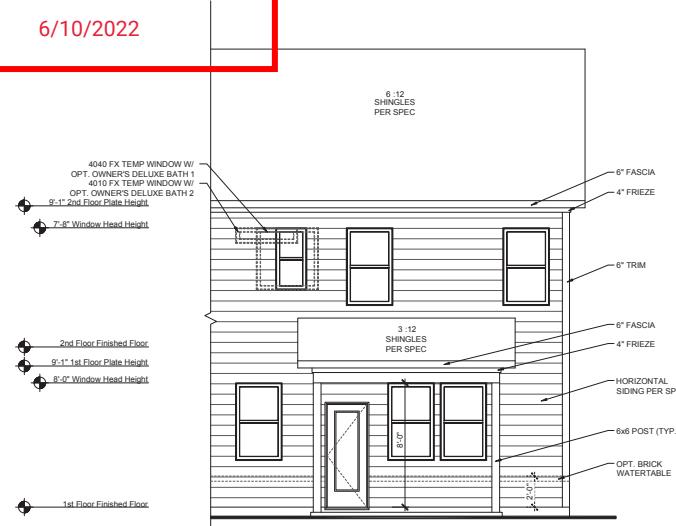
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## GWINNETT COUNTY PLANNING AND DEVELOPMENT

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OPT. COVERED OUTDOOR LIVING  
PARTIAL REAR ELEVATION "F"

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)

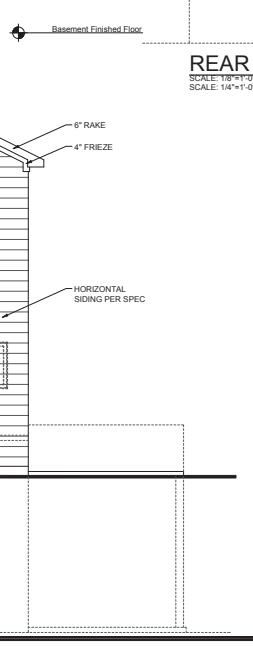
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)



REAR ELEVATION "F"

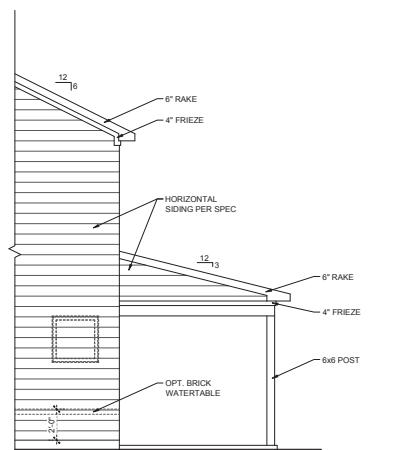
SCALE: 1/8" = 1'-0" (11" x 17" SHEET SIZE)

SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



## RIGHT ELEVATION "F"

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "F"

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)

MAIN STREET  
Design by:  
Main Street Designs of Georgia, LLC  
[MainStreetDesignsLLC.com](http://MainStreetDesignsLLC.com)  
Royal Blvd. Sowth. Suite 135  
Alpharetta, GA 30022

Revised Date:  
8/18/2020

Elevations  
Bear & Right

Model: Atwood

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

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Homes Inspired by You

Plan Name: **ATWOOD**

**Division:**

## Atlanta

## County

Community:

\_\_\_\_\_

Lot Number:

1000-10000

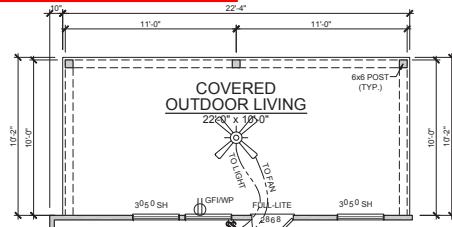
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet: 131E

A-3.11

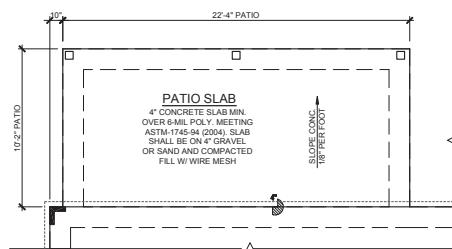
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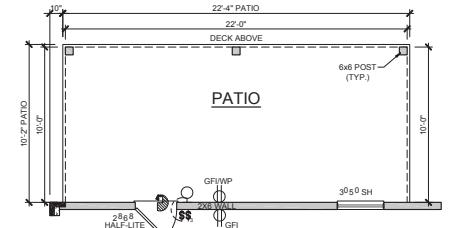
OPT. EXT. COVERED  
OUTDOOR LIVING

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
SLAB PARTIAL PLAN

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



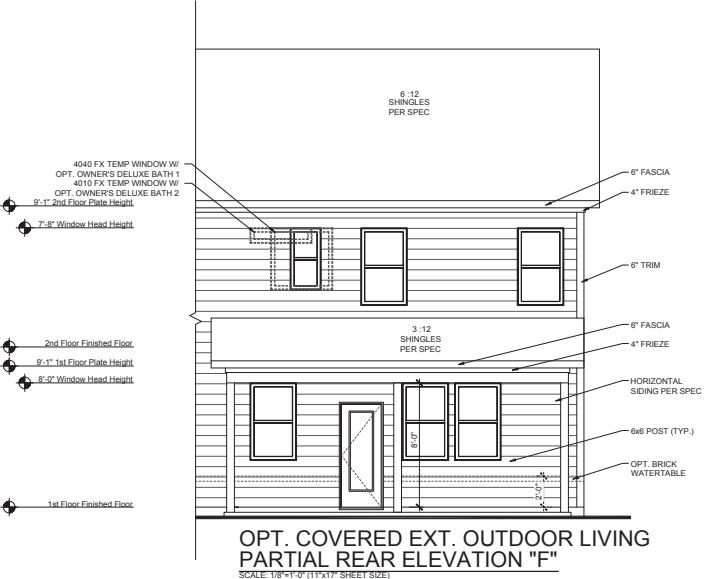
OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



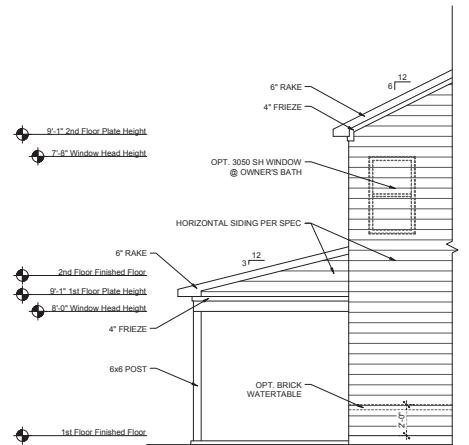
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL ROOF PLAN "F"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



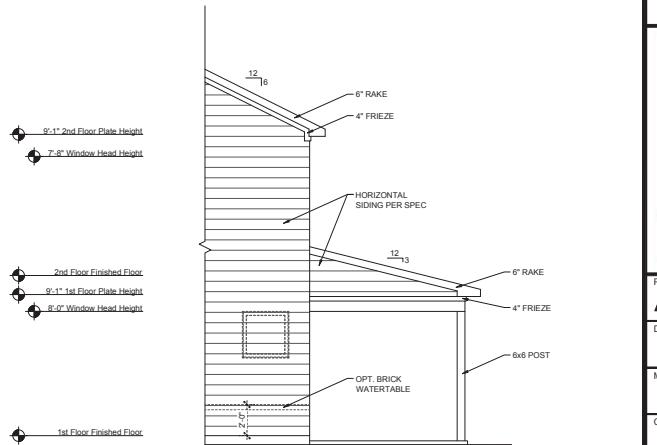
OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL REAR ELEVATION "F"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "F"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



OPT. COVERED EXT. OUTDOOR LIVING  
PARTIAL RIGHT ELEVATION "F"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Elevations - Opt. Ext.  
Cov. Outdoor Living

Model:  
Atwood

Drawing Title:  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3660

Open Description:  
taylor morrison   
Homes Inspired by You

Plan Name:  
**ATWOOD**

Division:  
**Atlanta**

Municipality:  
**County**

Community:  
\_\_\_\_\_

Lot Number:  
\_\_\_\_\_

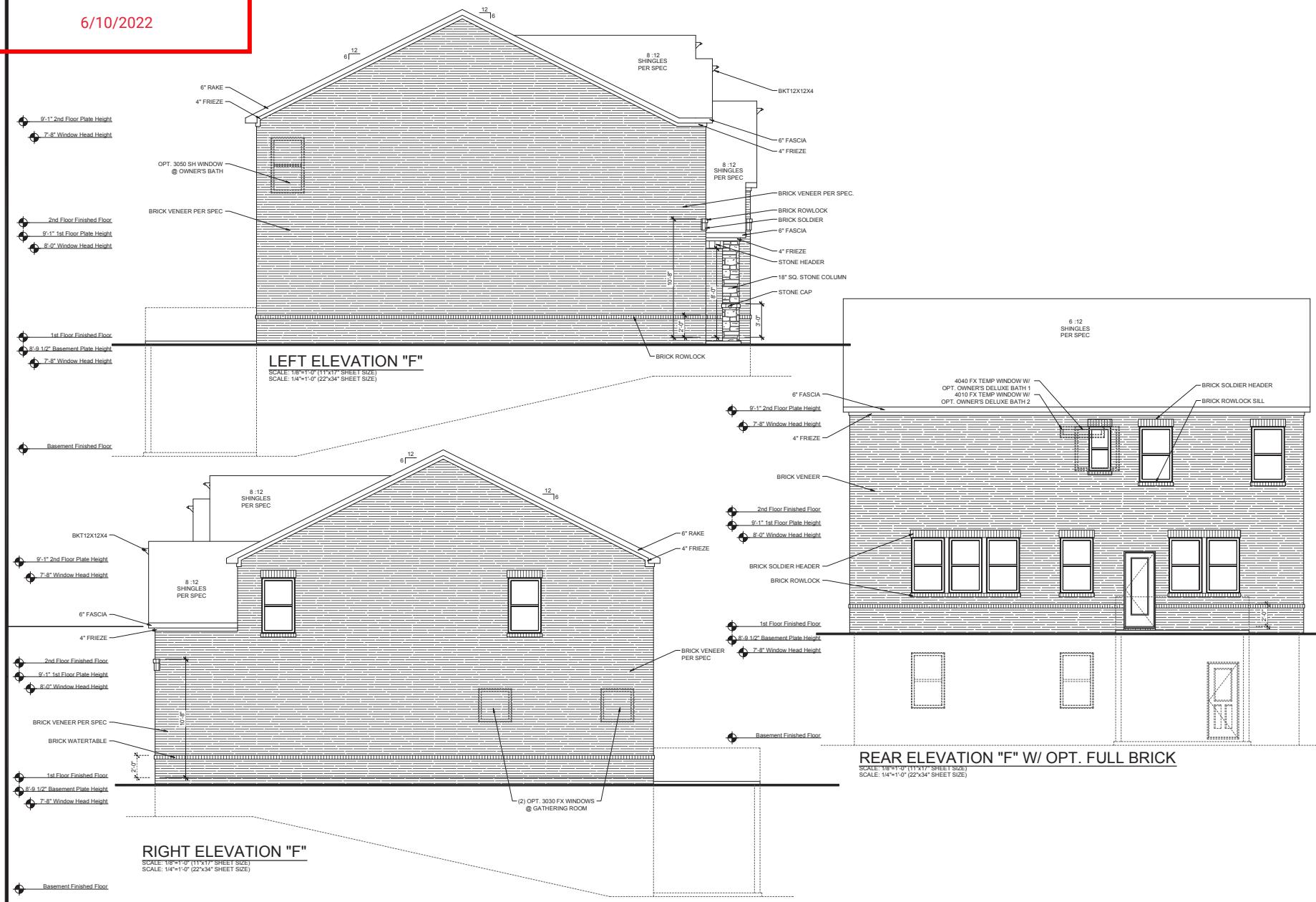
Scale:  
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22x34 - 1/4=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.2F**

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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MAIN STREET  
Design by: Main Street Design Group, LLC  
www.mainstreetdesigngroup.com  
3000 Peachtree Road, Atlanta, GA 30324  
C: (404) 450-3222

Revised Date:  
8/18/2020

Model: Atwood  
Drawing Title: Elevation  
Open Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3660

taylor morrison   
Homes Inspired by You

Plan Name: ATWOOD  
Division: Atlanta  
Municipality: County  
Community: \_\_\_\_\_  
Lot Number: \_\_\_\_\_

Scale: 11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:

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GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ HOUSE ASSEMBLY: 5/8" TYPE "X" GYPSUM BD. CEILING W/ 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD:  
LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

- 1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

- FRAMING:  
 1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.  
 2) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.  
 3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.  
 4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.  
 5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R802.8, R802.7.

THERMAL & MOISTURE PROTECTION:

- 1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150TH OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
- 4) PROVIDE ICE-SHIELD PER CODE.
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

DOORS & WINDOW:

- 1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.
- 2) REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.
- 4) FRONT DOOR WIDTH AS REQUIRED BY CODE.
- 5) GARAGE DOOR AS REQUIRED BY CODE.
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATT'S MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATT'S MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATT'S MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATT'S MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATT'S MINIMUM. VERIFY

PREScott  
ELEVATION "D"



APPLICABLE CODES

THE GEORGIA STATE MINIMUM STANDARDS CODES:

- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
- NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

MAIN STREET  
DESIGNS OF GEORGIA, LLC  
Main Street Designs of Georgia, LLC  
3050 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
(404) 480-3881

Revised Date:  
8/18/2020

Prescott  
Sheet List  
Drawing Title:  
Prescott  
Option Description:

Sheet List

Sheet # Description

CS-1.0D Cover Sheet - General Notes

F-0.0D Slab Plan

F-0.1D Basement Plan

A-1.0D First Floor Plan & Options

A-2.0D Second Floor Plan & Options

A-3.0D Front & Left Elevation / Roof Plan

A-3.1D Rear & Right Elevation

A-3.2D Opt. Ext. Covered Outdoor Living

A-3.3D Opt. Full Brick

A-4.0D Building Section

A-4.1D Building Section W/ Basement

E-0.1D Basement Electrical Plan

E-1.0D First Floor Electrical Plan

E-2.0D Second Floor Electrical Plan

Opt. Basement

Opt. Ext. Covered Outdoor Living

AREA CALCULATIONS:

Square Footages	
Area	Elevation D
First Floor	1106 SF
Second Floor	1394 SF
Total Living	2500 SF
Garage	405 SF
Porch	159 SF
Patio	120 SF
Total Under Roof	3064
Opt. Basement	1099 SF
Opt. Ext. Covered Outdoor Living	220 SF

REVISIONS:

NUMBER: DATE: DESCRIPTION:

- - - - -

Plan Name:

Prescott

Division:

Atlanta

Municipality:

County

Community:

Lot Number:

Scale:

11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"

Unless Otherwise Noted

Sheet:

CS-1.0D

Designer:

Main Street Designs of Georgia, LLC  
www.MainStreetDesignsLLC.com  
3050 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
(404) 480-3881

Builder:

Taylor Morrison  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

## GWINNETT COUNTY PLANNING AND DEVELOPMENT

RECEIVED

**ATTIC VENTILATION**  
**6100002**

1444 SF ETLER ROOF VENT  
 300 SQ FT 1 SF SOFT VENT = 1 SF SOFT VENTILATION

ROOF VENTS = 1 SF = 1444 SQ FT  
 ROOF VENTS 60 SQ IN = (0.025 SQ FT)  
 BOX VENTS 60 SQ IN = (.347 SQ FT)

4.81 SF TOX = 207.40 SF SOFT OF RIDGE  
 4.81 SF TOX = 500 2.407 SF QT OF SOFFIT

ROOF VENT  
 2.407 SF QT = 19.3 FEET OF RIDGE VENT  
 0.025 SF = 1.347 FEET OF SOFFIT VENT  
 2.407 SF QT = 38.5 FEET OF SOFFIT VENT  
 0.025 SF = 1.347 FEET OF SOFFIT VENT

ACTUAL SOFFIT VENT PROVIDED = 66 FEET  
 ACTUAL SOFFIT VENT PROVIDED = 123 FEET  
 NUMBER OF BOX VENTS NEEDED = 3.2 COUNT  
 (REQ - ACTUAL x .347) (NEGATIVE = 0)

**PORCH ROOF "D"**

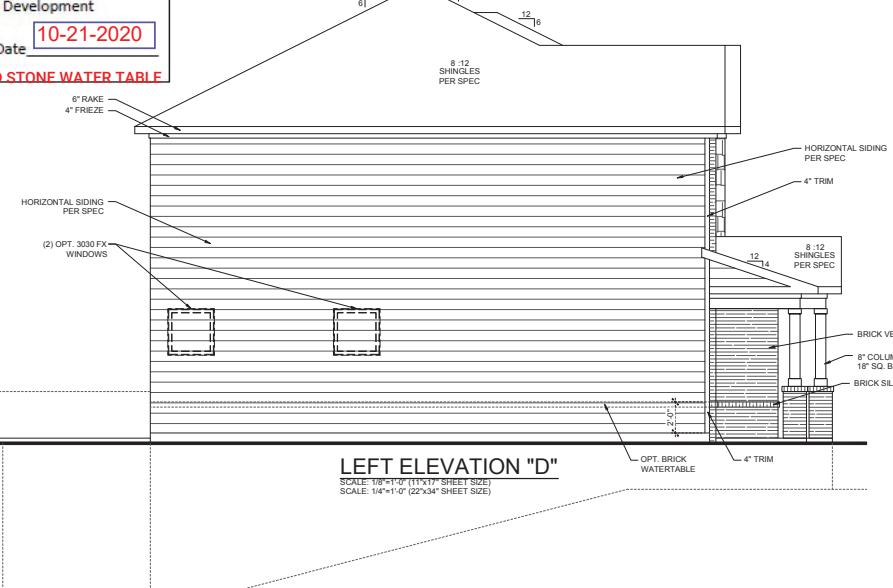
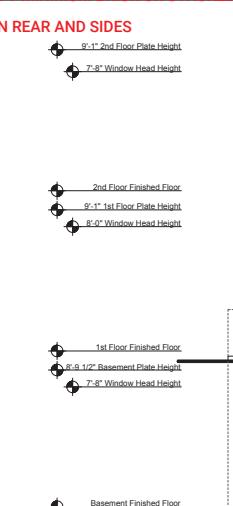
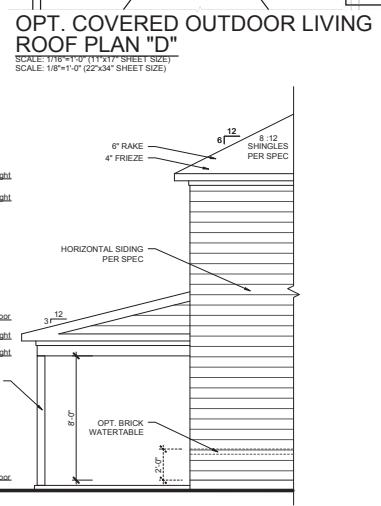
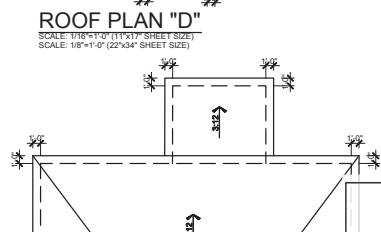
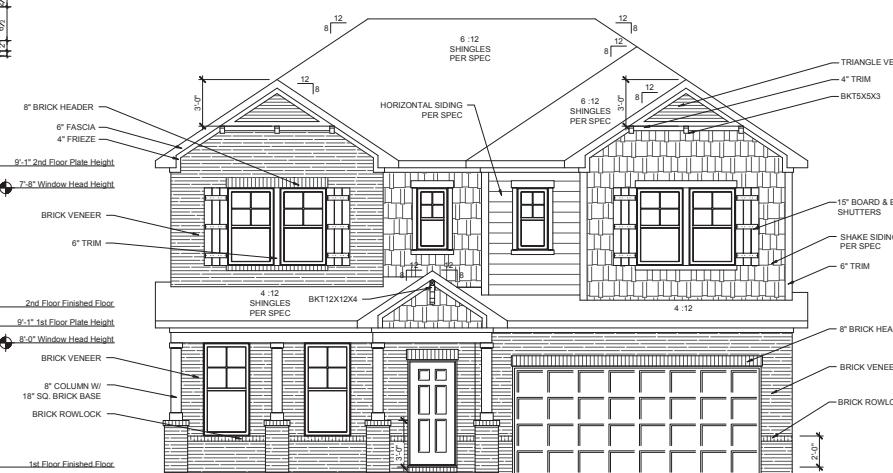
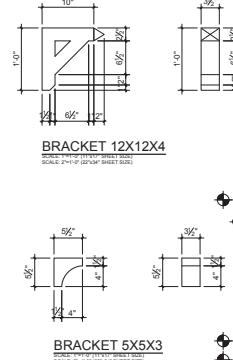
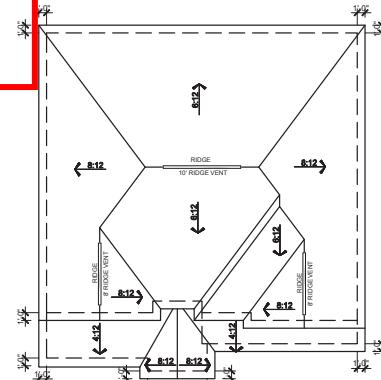
140 SF QT UNDER ROOF

150 SQ FT TO SF = 1.93 SF SOFT VENTILATION

SOFFIT VENTS 60 SQ IN = (0.025 SF QT)  
 ASSUME 100% VENTING @ SOFFIT

SOFFIT VENT  
 0.933 SF QT = 1.49 FEET OF SOFFIT VENT  
 0.025 SF QT = 0.347 FEET OF SOFFIT VENT

ACTUAL SOFFIT VENT PROVIDED = 37 FEET



Revised Date:

tt

Model: **Prescot** Drawing Title:  Option Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

**taylor  
morrison**   
homes Inspired by You

Plan Name: **Project A**

Division:  
**Atlanta**

Municipality:

Community

10

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:

**A-3.0D**

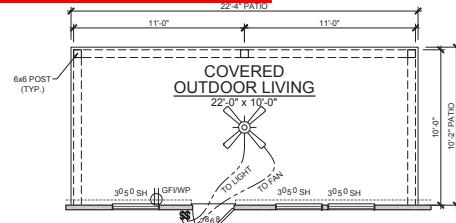
RECEIVED

6/10/2022

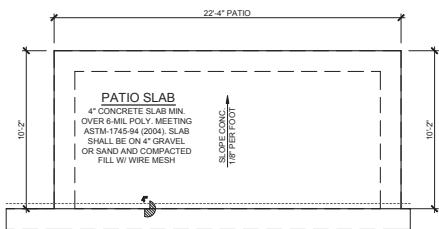


RECEIVED

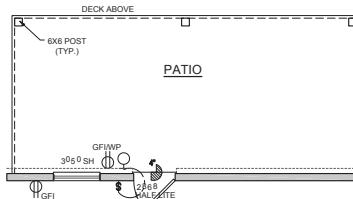
6/10/2022



OPTIONAL EXTENDED  
COVERED OUTDOOR LIVING



OPTIONAL EXTENDED COVERED OUTDOOR LIV  
PARTIAL SLAB PLAN



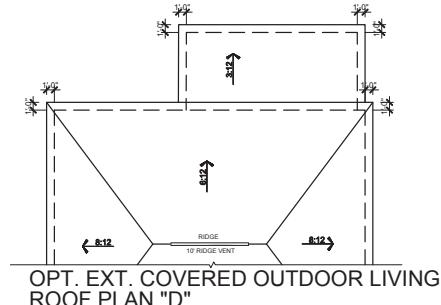
OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN

**COV'D EXT. O/DR LIVING ROOF**

180 SOFFIT VENTS 9 SQ IN = 0.0625 SQ FT  
ASSUME 100% VENTING @ SOFFIT

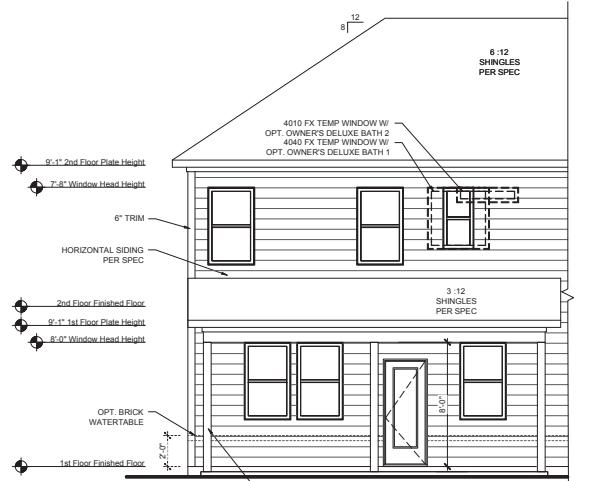
SOFFIT VENT  
1.467 SQ FT = 23.5 FEET OF SOFFIT VENT  
0.0625 SQ FT

ACTUAL SOFFIT VENT PROVIDED 24 FEET



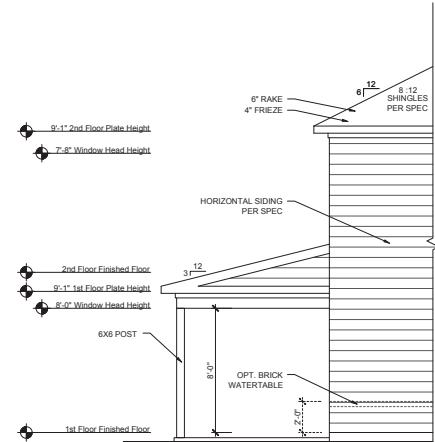
**OPT. EXT. COVERED OUTDOOR LIVING  
ROOF PLAN "D"**

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



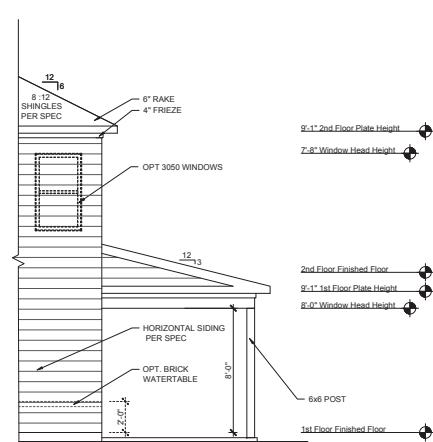
**OPT. EXT. COVERED OUTDOOR LIVING  
REAR ELEVATION "D"**

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



**OPT. EXT. COVERED OUTDOOR LIVING  
LEFT ELEVATION "D"**

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



**OPT. EXT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION "D"**

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)

**MAIN STREET**  
Design by: Design Group, LLC  
Main Street Design Group, LLC  
3000 Southpointe Drive, Suite 100  
Alpharetta, GA 30022  
(404) 460-3222

Revised Date:  
8/18/2020

**Elevations - Opt. Ext.  
Cov. Outdoor Living**

**Prescott**  
Drawing Title:  
Elevations - Opt. Ext.  
Cov. Outdoor Living

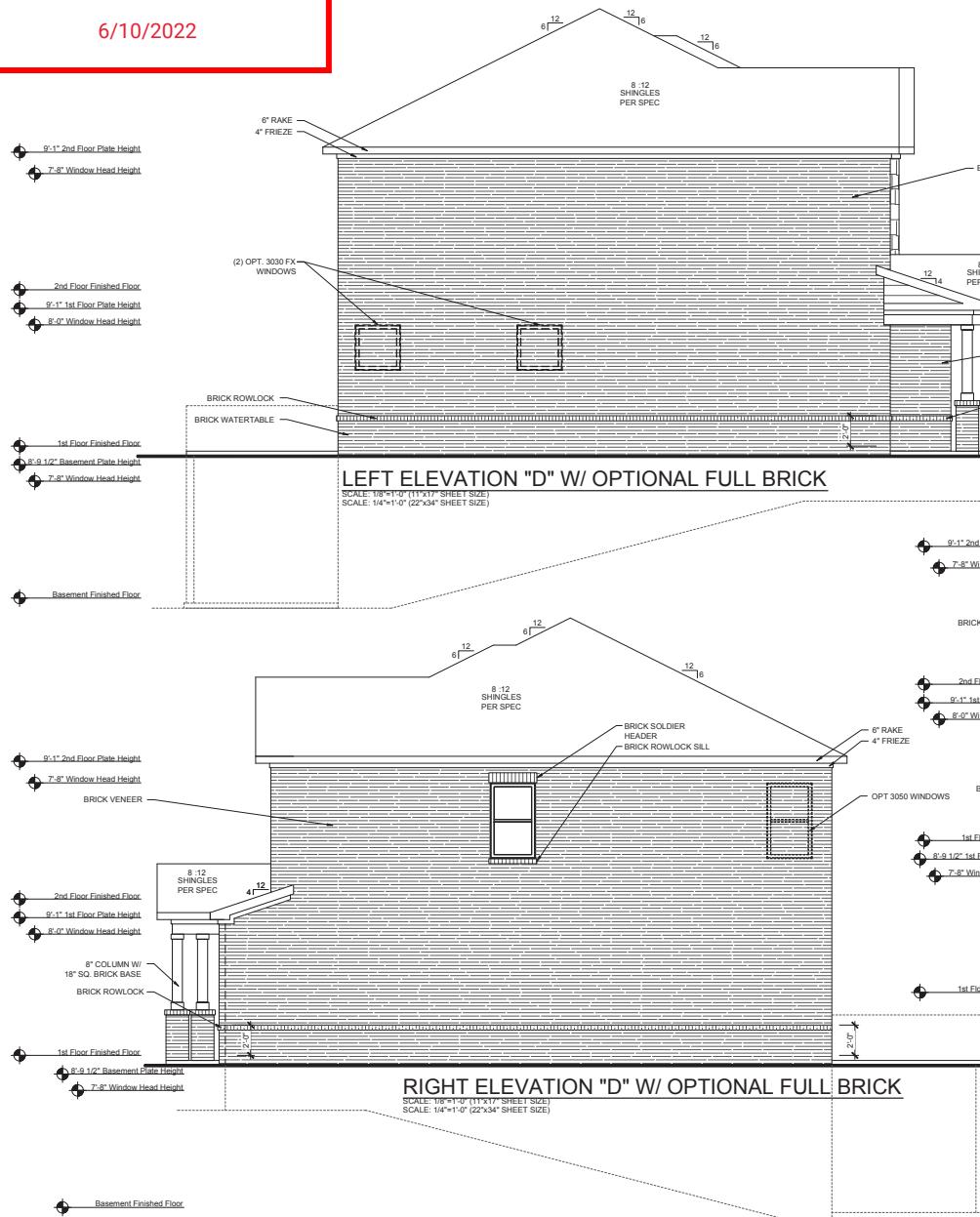
**Prescott**  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3560

**taylor morrison**  
Homes Inspired by You  
Plan Name:  
**Prescott**  
Division:  
**Atlanta**  
Municipality:  
**County**  
Community:  
\_\_\_\_\_  
Lot Number:  
\_\_\_\_\_  
Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:  
**A-3.2D**

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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6/10/2022



REAR ELEVATION "D" W/ OPTIONAL FULL BRICK

MAIN STREET  
Design by:  
MainStreetDesigns LLC  
3 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
(404) 640-3801

Revised Date:

Elevations  
Opt. Full Brick

Model:	Prescot	Drawing Title:	Option Description:
	4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 945-3600		

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morrison  
Homes Inspired by You

Plan Name:  
**Prescott**  
Division:  
**Atlanta**  
Municipality:  
**County**

Community:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

**A-3.3D**



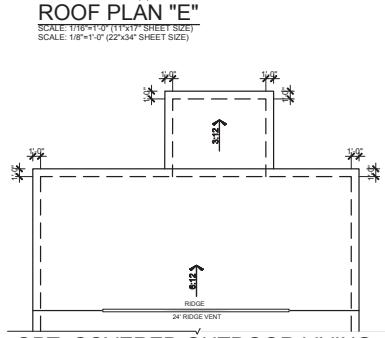
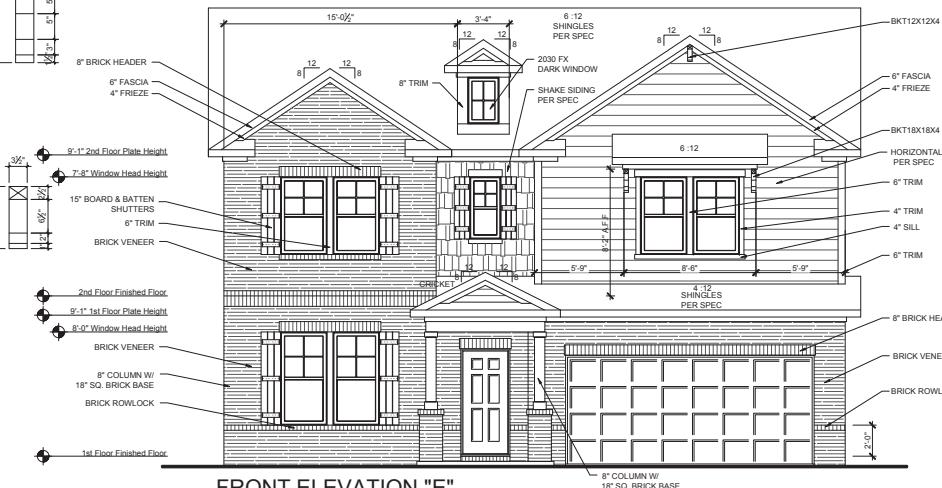
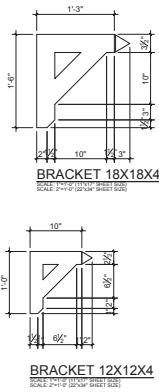
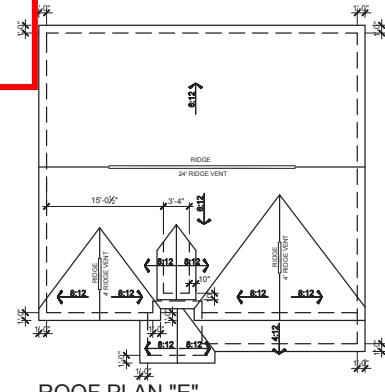
GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

RECEIVED

ATTIC VENTILATION	
6/12 ROOF E	
1430 SQ FT UNDER ROOF	300 SQ FT VENT
300 SQ FT / 1430 SQ FT = 4.77	4.77 SQ FT VENTILATION
ROOF VENTS 5.754 SQ FT (125 SQ FT)	SOFFIT VENTS 5 SQ IN = (0.625 SQ FT)
SOFFIT VENTS 5 SQ IN = (0.625 SQ FT)	BOX VENTS 50 SQ IN = (.347 SQ FT)
4.77 SQ FT x 50% = 2.383 SQ FT OF RIDGE	4.77 SQ FT x 50% = 2.383 SQ FT OF SOFFIT
RIDGE VENT	SOFFIT VENT
0.125 SQ FT = 19.1 FEET OF RIDGE VENT	0.0625 SQ FT = 38.1 FEET OF SOFFIT VENT
ACTUAL RIDGE VENT PROVIDED	32 FEET
ACTUAL SOFFIT VENT PROVIDED	58 FEET
NUMBER OF BOX VENTS NEEDED (REQ ACTUAL x 347)	4.5 COUNT (NEGATIVE = 0)

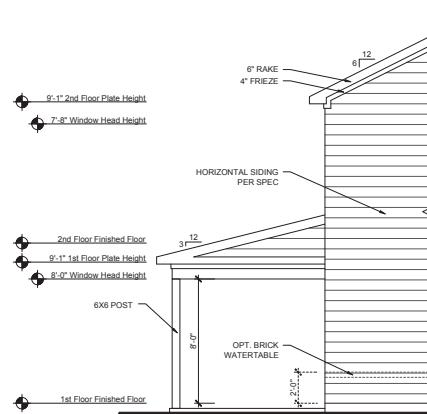
PORCH ROOF "E"	
148 SQ FT UNDER ROOF	148 SQ FT VENTILATION
SOFFIT VENTS 5 SQ IN = (0.625 SQ FT)	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT	0.320 SQ FT = 5.1 FEET OF SOFFIT VENT
0.0625 SQ FT	ACTUAL SOFFIT VENT PROVIDED 29 FEET

COV'D OUTDOOR LIVING ROOF	
120 SQ FT UNDER ROOF	0.60 SQ FT VENTILATION
150 SQ FT / 120 SQ FT = 0.60	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT	0.0625 SQ FT = 12.8 FEET OF SOFFIT VENT
0.0625 SQ FT	ACTUAL SOFFIT VENT PROVIDED 14 FEET



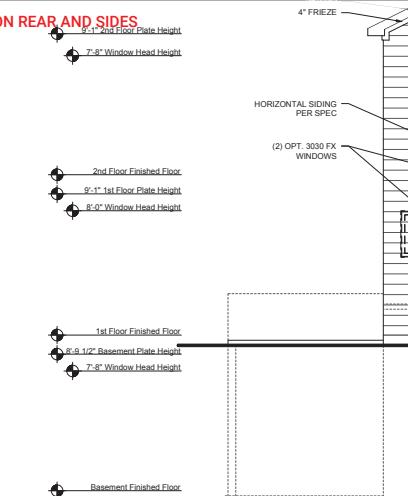
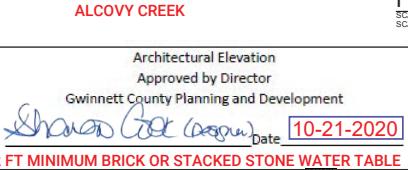
OPT. COVERED OUTDOOR LIVING  
ROOF PLAN "E"

SCALE: 1/16=1'-0" (11x17" SHEET SIZE)  
SCALE: 18x1'-0" (22x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
LEFT ELEVATION "E"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
2014 I-Codes, ASCE 7-16, ASCE 31-16



LEFT ELEVATION "E"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)

MAIN STREET  
Design by Design Group, LLC  
Main Street Design Group, LLC  
3000 North Point Parkway, Suite 295  
Alpharetta, Georgia 30022  
(678) 450-3522

Revised Date:  
8/18/2020

Model: Prescott  
Drawing Title: Elevation / Roof Plan  
Open Description: Front & Left

taylor morrison  
Homes Inspired by You

Plan Name: Prescott

Division: Atlanta

Municipality: County  
Community: \_\_\_\_\_

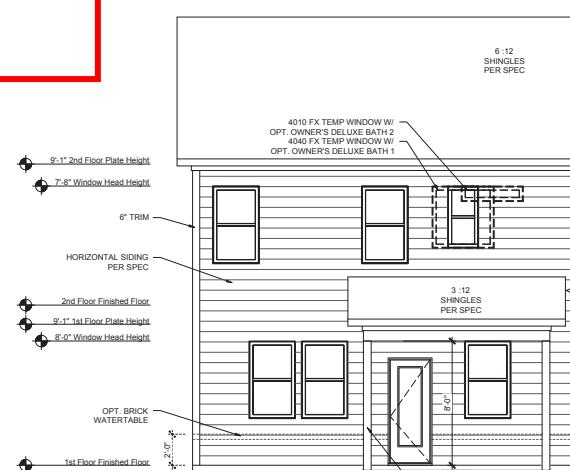
Lot Number: \_\_\_\_\_

Scale: 11x17 - 1/8=1'-0"  
22x34 - 1/4=1'-0"  
Unless Otherwise Noted  
Sheet:

A-3.00

RECEIVED

6/10/2022



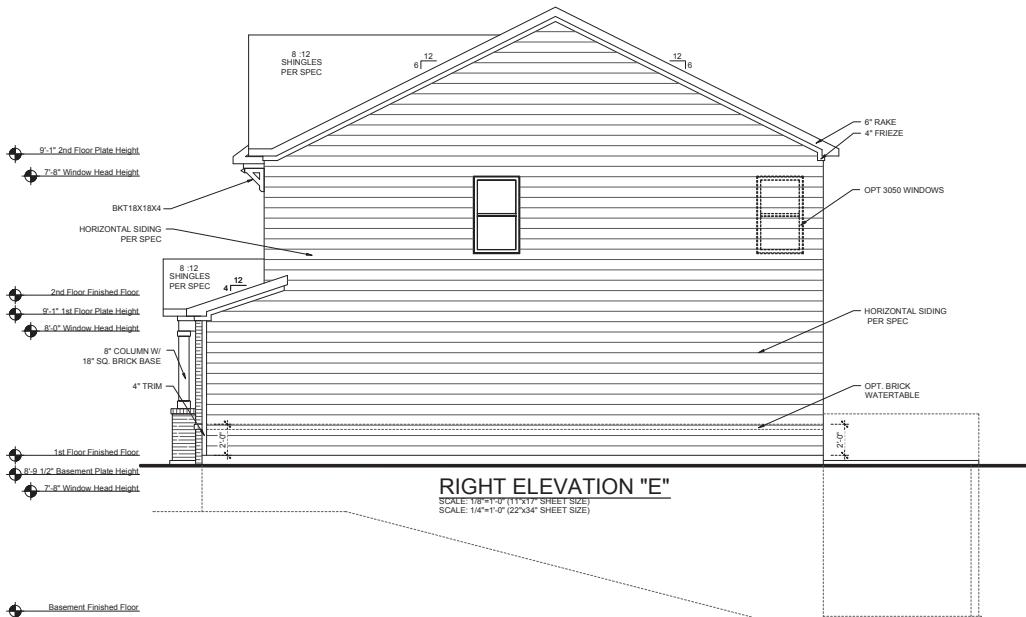
OPT. COVERED OUTDOOR LIVING  
REAR ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



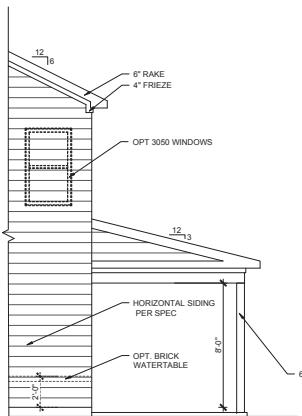
REAR ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



RIGHT ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

MAIN STREET  
Design By: Design Group, LLC  
Main Street Design Group, LLC  
3000 Peachtree Road, Suite 202  
Alpharetta, GA 30022  
(404) 460-5222

Revised Date:  
8/18/2020

Model:  
Prescott  
Drawing Title:  
Elevations  
Open Description:  
Rear & Right

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3560

taylor morrison  
Homes Inspired by You

Plan Name:  
**Prescott**

Division:  
**Atlanta**

Municipality:  
**County**

Community:  
\_\_\_\_\_

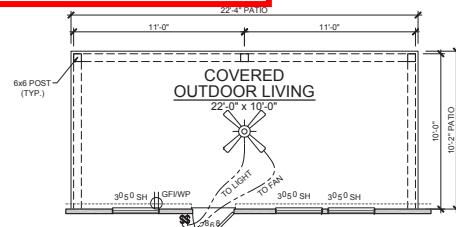
Lot Number:  
\_\_\_\_\_

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:

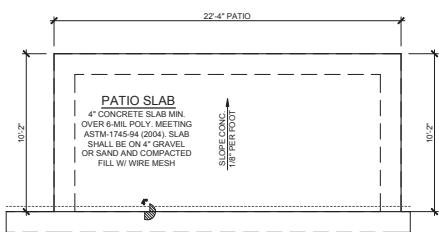
**A-3.1E**

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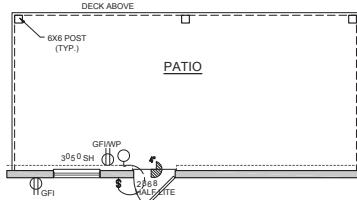
6/10/2022



OPTIONAL EXTENDED  
COVERED OUTDOOR LIVING



OPTIONAL EXTENDED COVERED OUTDOOR LIVING  
PARTIAL SLAB PLAN



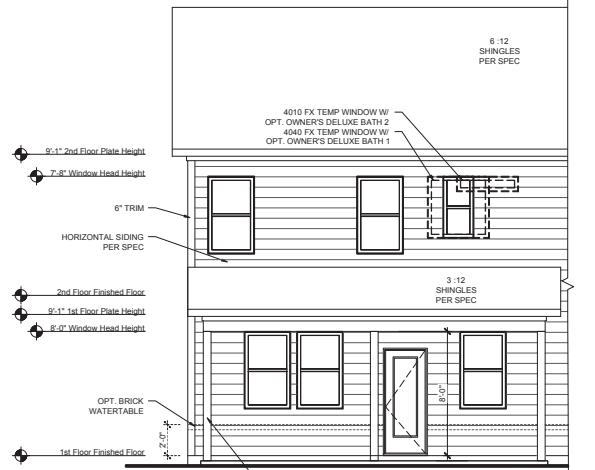
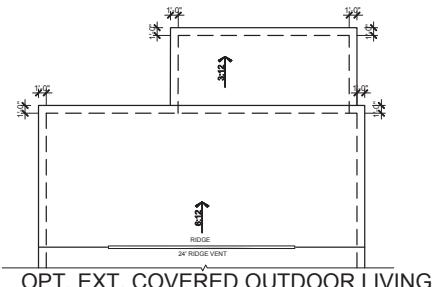
OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN

**COV'D EXT. O/DR LIVING ROOF**

180 SOFFIT VENTS SQ FT = 1.47 SQ FT VENTILATION  
ASSUME 100% VENTING @ SOFFIT

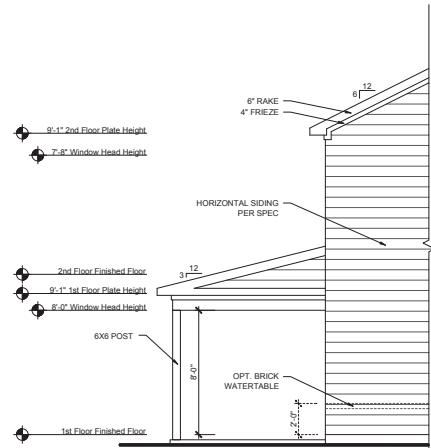
SOFFIT VENT  
1.467 SQ FT = 23.5 FEET OF SOFFIT VENT  
0.0625 SQ FT

ACTUAL SOFFIT VENT PROVIDED 24 FEET



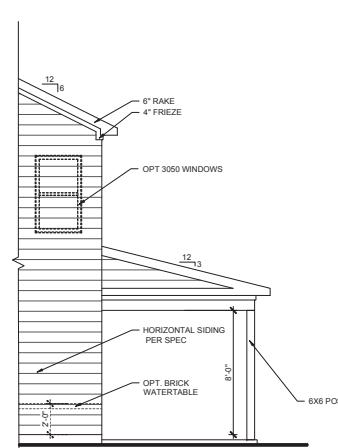
OPT. EXT. COVERED OUTDOOR LIVING  
REAR ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 14"=1'-0" (22x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
LEFT ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 14"=1'-0" (22x34" SHEET SIZE)



OPT. EXT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION "E"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 14"=1'-0" (22x34" SHEET SIZE)

**MAIN STREET**  
Design by *Georges LLC*  
Main Street Design, LLC  
3000 Southpointe Drive, Suite 100  
Alpharetta, Georgia 30022  
(678) 450-3222

Revised Date:  
8/18/2020

**Elevations - Opt. Ext.  
Cov. Outdoor Living**

**Prescott**

Model:

Drawing Title:

Open Description:

**taylor morrison**  
*Homes Inspired by You*

Plan Name:

**Prescott**

Division:

**Atlanta**

Municipality:

**County**

Community:

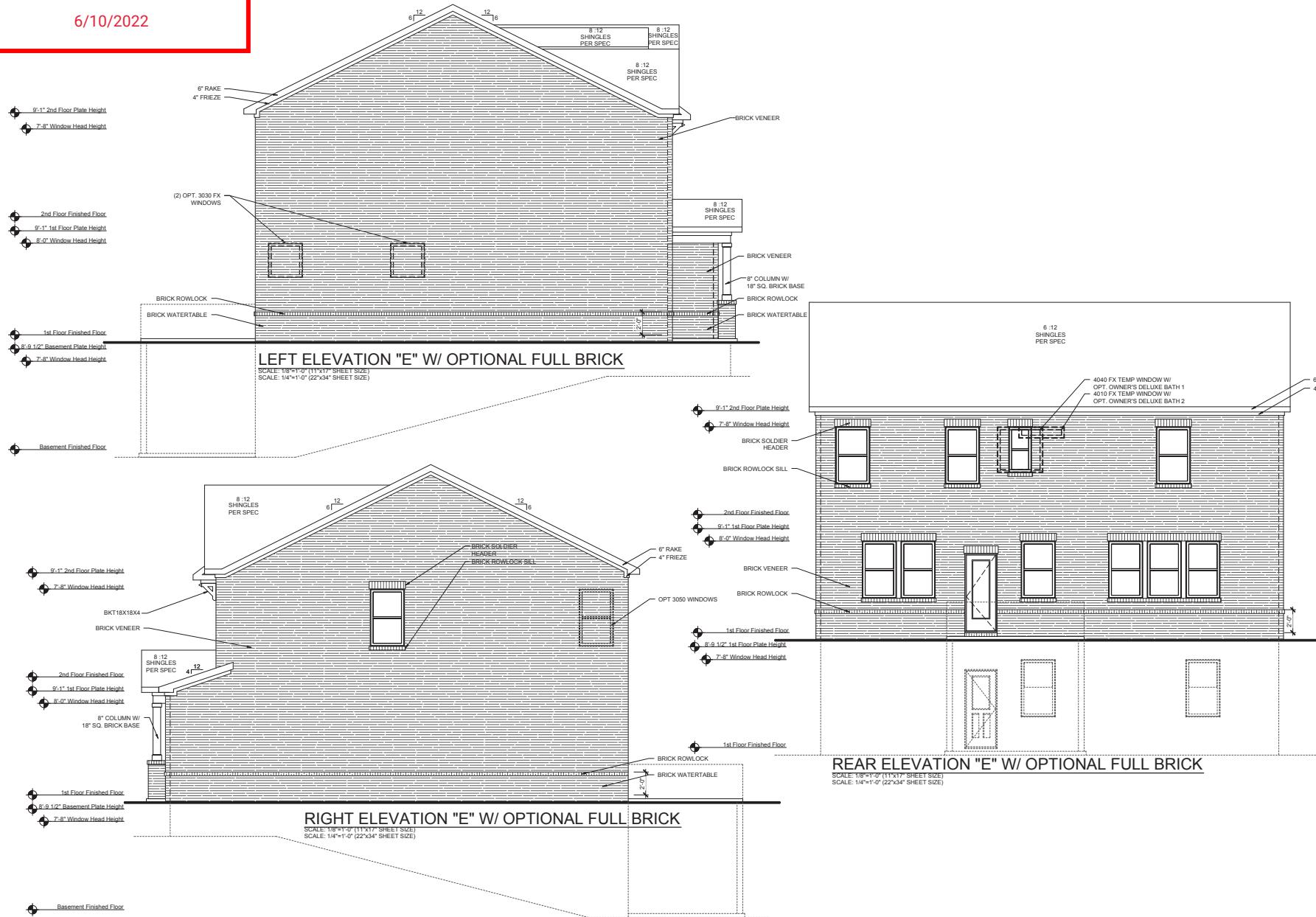
Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:

**A-3.2E**

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6/10/2022



MAIN STREET  
Design by: Design Group, LLC  
Main Street Design Group, LLC  
3000 Peachtree Road, Suite 200  
Atlanta, GA 30328  
(404) 460-3222

Revised Date:  
8/18/2020

Model: Prescott  
Drawing Title: Elevation  
Open Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3660

taylor morrison   
Homes Inspired by You

Plan Name:  
**Prescott**  
Division:  
**Atlanta**  
Municipality:  
**County**

Community: \_\_\_\_\_

Lot Number: \_\_\_\_\_

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet: A-3.3E

RECEIVED

BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ HOUSE ASSEMBLY: 5/8" TYPE "X" GYPSUM BD. CEILING W/ 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD:  
LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

- 1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

- FRAMING:  
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.  
2) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.  
3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.  
4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.  
5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R802, R802.7.

THERMAL & MOISTURE PROTECTION:

- 1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150TH OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
- 4) PROVIDE ICE-SHIELD PER CODE.
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

DOORS & WINDOW:

- 1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.
- 2) REVIEW ALL WINDOW HEADER HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.
- 4) FRONT DOOR WIDTH AS REQUIRED BY CODE.
- 5) GARAGE DOOR AS REQUIRED BY CODE.
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATT'S MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATT'S MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATT'S MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATT'S MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATT'S MINIMUM. VERIFY

PREScott  
ELEVATION "F"



APPLICABLE CODES

THE GEORGIA STATE MINIMUM STANDARDS CODES:

- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
- NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

MAIN STREET  
DESIGNS OF GEORGIA, LLC.  
Main Street Designs of Georgia, LLC  
3000 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
(404) 480-3881

Revised Date:  
8/18/2020

Prescott  
Drawing Title:  
Prescott

Model:  
Drawing Date:  
Option Description:

Sheet List

Sheet #	Description
CS-1.0F	Cover Sheet - General Notes
F-0.0F	Slab Plan
F-0.1F	Basement Plan
A-1.0F	First Floor Plan & Options
A-2.0F	Second Floor Plan & Options
A-3.0F	Front & Left Elevation / Roof Plan
A-3.1F	Rear & Right Elevation
A-3.2F	Opt. Ext. Covered Outdoor Living
A-3.3F	Opt. Full Brick
A-4.0F	Building Section
A-4.1F	Building Section W/ Basement
E-0.1F	Basement Electrical Plan
E-1.0F	First Floor Electrical Plan
E-2.0F	Second Floor Electrical Plan
Opt. Basement	1099 SF
Opt. Ext. Covered Outdoor Living	220 SF

AREA CALCULATIONS:

Square Footages	
Area	Elevation F
First Floor	1106 SF
Second Floor	1393 SF
Total Living	2499 SF
Garage	405 SF
Porch	146 SF
Patio	120 SF
Total Under Roof	3050
Opt. Basement	1099 SF
Opt. Ext. Covered Outdoor Living	220 SF

REVISIONS:

NUMBER:	DATE:	DESCRIPTION:
-	---	-

Designer:

Main Street Designs of Georgia, LLC  
www.MainStreetDesignsLLC.com  
3050 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
O. (404) 480-3881

Builder:

Taylor Morrison  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

Plan Name:

Prescott

Division:

Atlanta

Municipality:

County

Community:

Lot Number:

Scale:

11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"

Unless Otherwise Noted

Sheet:

CS-1.0F

11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"

Unless Otherwise Noted

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

RECEIVED

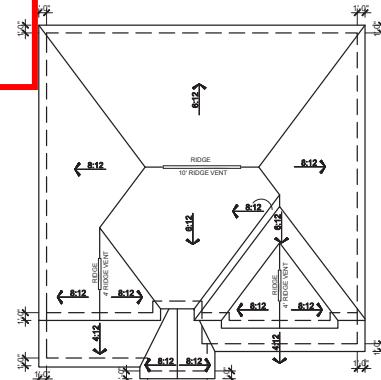
ATTIC VENTILATION  
6/16/2020

1444 SQ FT UNDER ROOF ATTIC	300 SQ FT / SQ FT = 4.81 SQ FT VENTILATION
ROOF VENTS 16.52 SQ FT (175 SQ FT)	SOFFIT VENTS 8 SQ IN = (0.625 SQ FT)
SOFFIT VENTS 8 SQ IN = (0.625 SQ FT)	BOX VENTS 30 SQ IN = (347 SQ FT)
4.81 SQ FT x 50% = 2.407 SQ FT OF RIDGE	4.81 SQ FT x 50% = 2.407 SQ FT OF SOFFIT
RIDGE VENT 0.125 SQ FT = 19.3 FEET OF RIDGE VENT	
SOFFIT VENT 0.0625 SQ FT = 36.5 FEET OF SOFFIT VENT	
ACTUAL RIDGE VENT PROVIDED 18 FEET	
ACTUAL SOFFIT VENT PROVIDED 118 FEET	
NUMBER OF BOX VENTS NEEDED 0.4 COUNT (REQ ACTUAL x 347) (NEGATIVE = 0)	

PORCH ROOF "F"  
207 SQ FT OF SOFFIT ROOF = 38 SQ FT VENTILATION  
SOFFIT VENTS 8 SQ IN = (0.625 SQ FT)  
ASSUME 100% VENTING @ SOFFIT

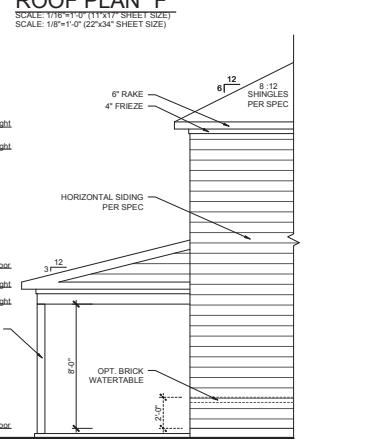
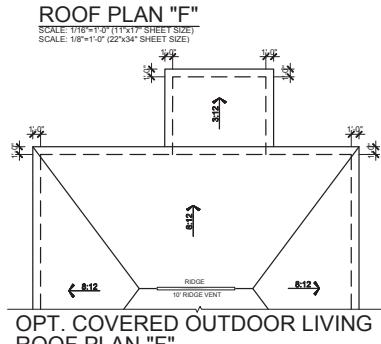
SOFFIT VENT 1.380 SQ FT = 22.1 FEET OF SOFFIT VENT  
0.0625 SQ FT

ACTUAL SOFFIT VENT PROVIDED 42 FEET



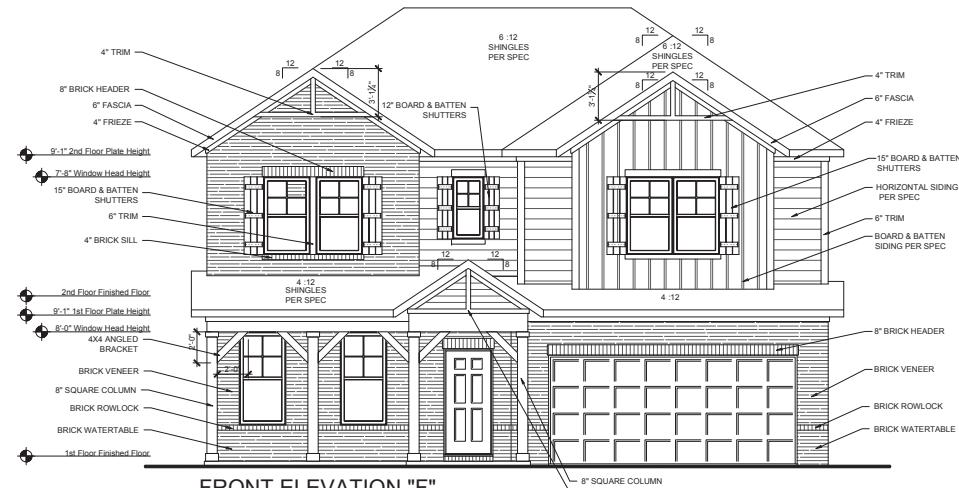
COVD OUTDOOR LIVING ROOF  
120 SQ FT UNDER ROOF  
150.30717 SQ FT / SQ FT = 0.80 SQ FT VENTILATION

SOFFIT VENTS 8 SQ IN = (0.625 SQ FT)	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT 0.800 SQ FT = 12.8 FEET OF SOFFIT VENT	
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED 14 FEET	



OPT. COVERED OUTDOOR LIVING  
LEFT ELEVATION "F"

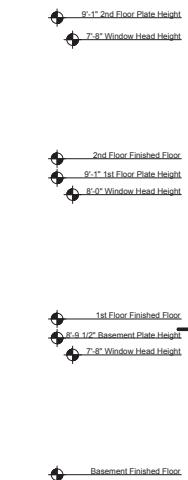
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SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



ALCOVY CREEK

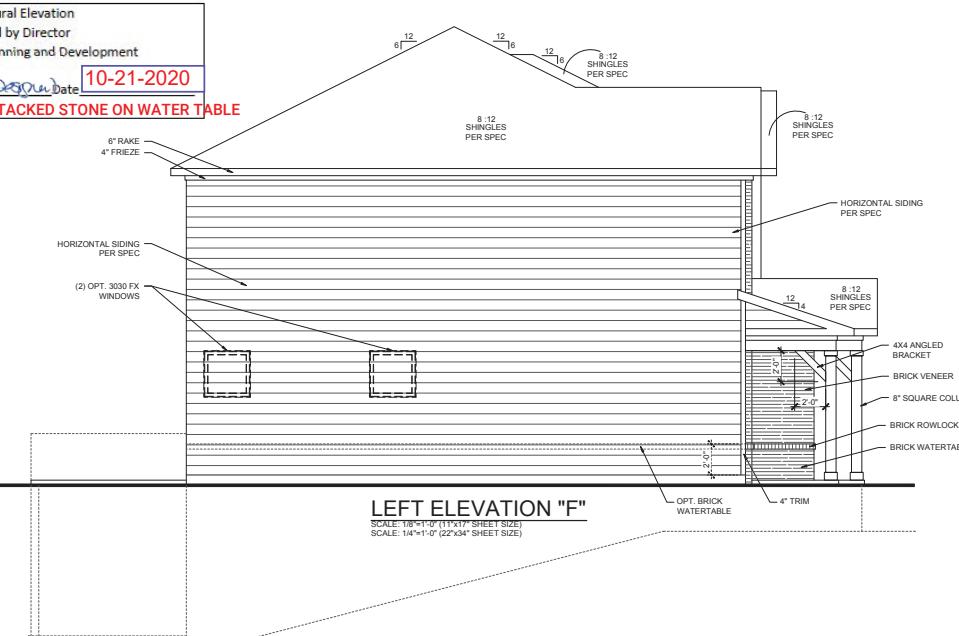
Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
Signature: [Signature] Date: 10-21-2020  
2 FT MINIMUM BRICK OR STACKED STONE ON WATER TABLE

ON REAR AND SIDES



FRONT ELEVATION "F"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



LEFT ELEVATION "F"

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

MAIN STREET  
Design By: Design Group, LLC  
Main Street Design Group, LLC  
3000 North Point Parkway, Suite 200  
Alpharetta, Georgia 30022  
(404) 460-3222

Revised Date:  
8/18/2020

Model: Prescott  
Drawing Title: Elevation / Roof Plan  
Open Description: Front & Left

4400 North Point Parkway  
Suite 205  
Alpharetta, Georgia 30022  
(770) 945-3560

taylor morrison  
Homes Inspired by You

Plan Name:  
**Prescott**

Division:  
**Atlanta**

Municipality:  
**County**

Community:  
[Redacted]

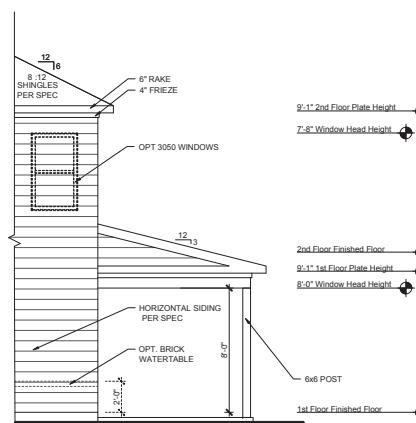
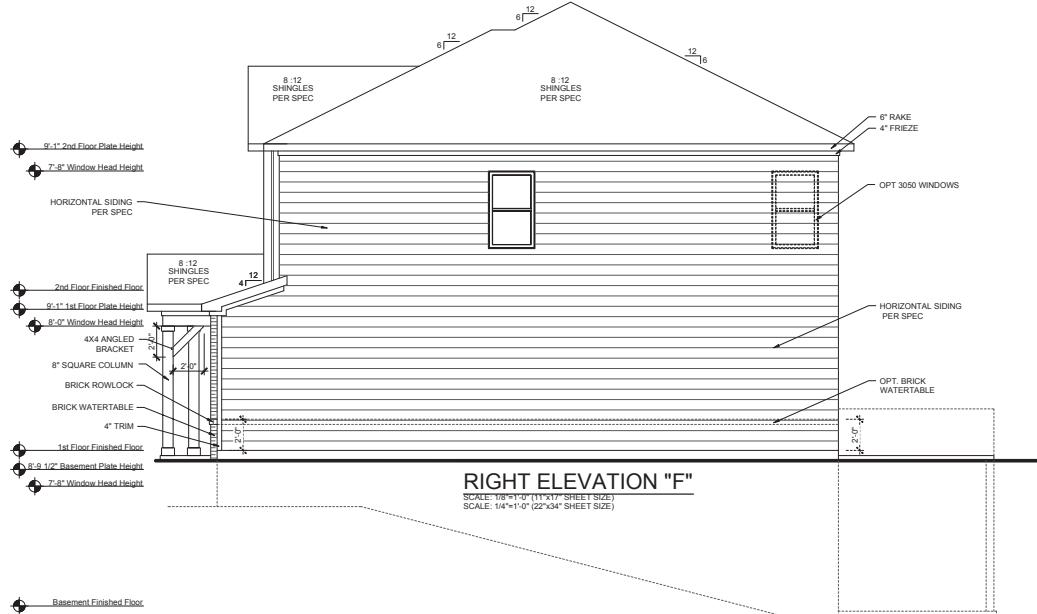
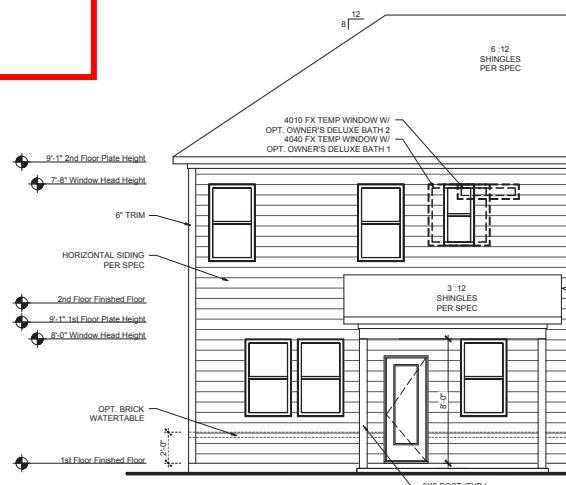
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[Redacted]

Scale:  
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.00**

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6/10/2022



MAIN STREET  
Design By: Main Street Design Group, LLC  
Main Street Design Group, LLC  
3000 Peachtree Road, Suite 200  
Atlanta, GA 30328  
(404) 460-3222

Revised Date:  
8/18/2020

Prescott  
Elevations  
Rear & Right

Model:  
Prescott  
Drawing Title:  
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3560

taylor morrison  
Homes Inspired by You

Plan Name:  
**Prescott**

Division:  
**Atlanta**

Municipality:  
**County**

Community:  
\_\_\_\_\_

Lot Number:  
\_\_\_\_\_

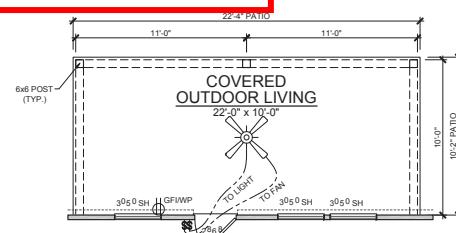
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.1F**

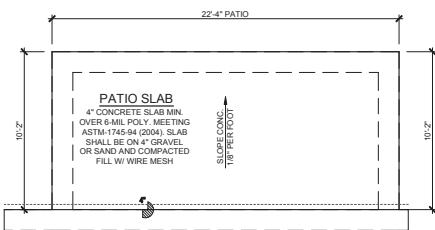
## GWINNETT COUNTY PLANNING AND DEVELOPMENT

RECEIVED

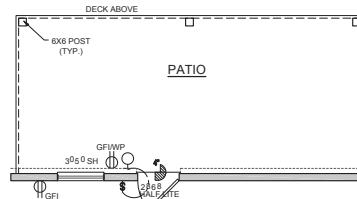
6/10/2022



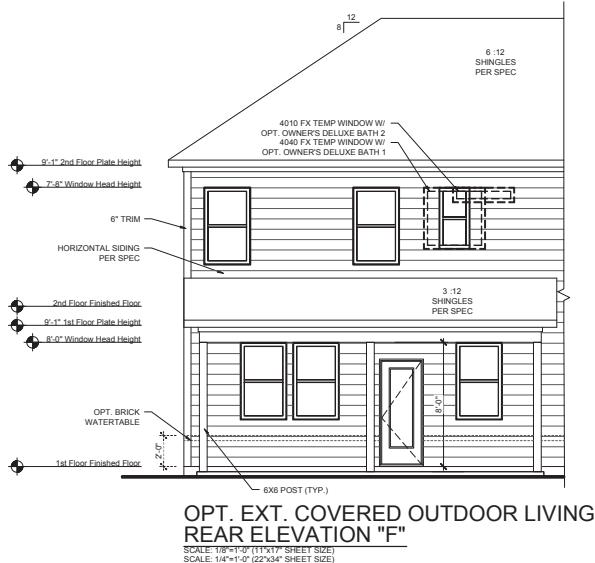
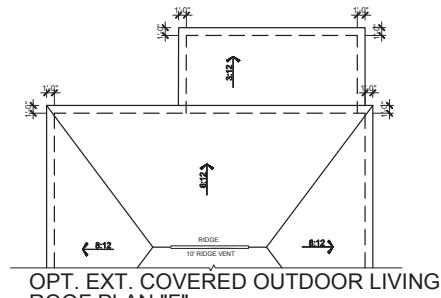
## OPTIONAL EXTENDED COVERED OUTDOOR LIVING



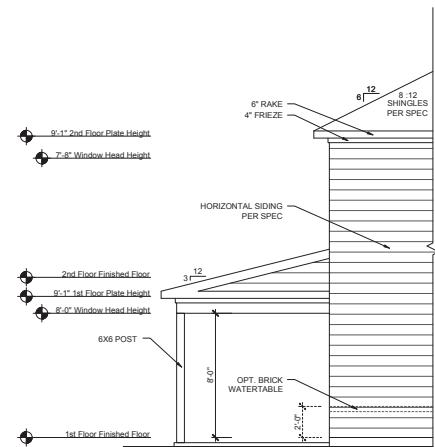
## OPTIONAL EXTENDED COVERED OUTDOOR LIVING PARTIAL SLAB PLAN



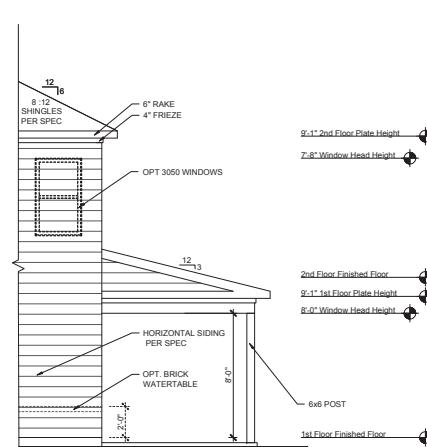
OPT. EXT. COVERED OUTDOOR LIVING  
BASEMENT PARTIAL PLAN



**OPT. EXT. COVERED OUTDOOR LIVING  
REAR ELEVATION "F"**



OPT. EXT. COVERED OUTDOOR LIVING  
LEFT ELEVATION "F"



OPT. EXT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION "F"

**MAIN STREET**  
Design by:  
Main Street Design of Georgia, LLC  
100 Royal Blvd. South, Suite 300  
Alpharetta, GA 30022

Revised Date:  
8/18/2020

Elevations - Opt. Ext.  
Cav. Outdoor living

11

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

**taylor morrison**   
*Homes Inspired by You*

Plan Name:

## Prescott

## Atlanta

Municipality:

## Community-

Last Number:

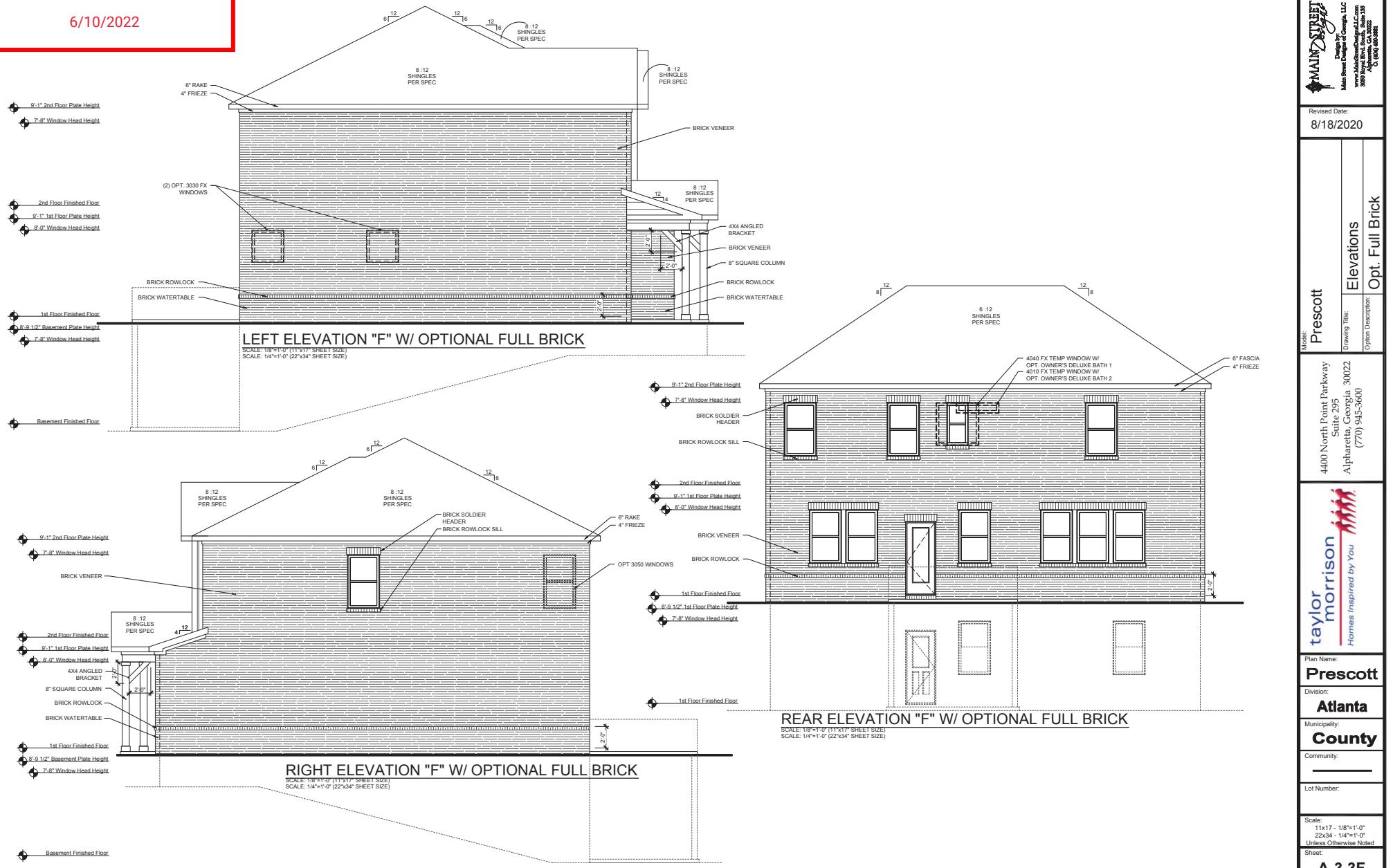
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11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet: A 3.2E

A-3.21

RECEIVED

6/10/2022



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BUILDING CODE ANALYSIS

6/10/2022

USER GROUP: SINGLE FAMILY  
CONSTRUCTION CLASS: UNPROTECTED  
HEIGHT LIMITATION: 3 STORY MAXIMUM  
EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

GARAGE / HOUSE CEILING/ HOUSE ASSEMBLY: 5/8" TYPE "X" GYPSUM BD. CEILING W/ 20 MINUTE GARAGE / HOUSE DOOR

DESIGN LOAD:  
LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 90 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

NOTE: VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION

GENERAL NOTES:

SITE CONSTRUCTION:

- 1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN. REFER TO THE FOUNDATION/FOOTING SCHEDULE.
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMP PROOFING MATERIALS.

- FRAMING:  
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.  
2) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.  
3) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.  
4) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.  
5) PROVIDE CUTTING, NOTCHING, NAILING REQUIREMENTS PER 2018-IRC SECTIONS R502.8 R802.8, R802.7.

THERMAL & MOISTURE PROTECTION:

- 1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150TH OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
- 4) PROVIDE ICE-SHIELD PER CODE.
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DOORS & WINDOW:

- 1) WINDOW CALL OUT PER PLAN. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.
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- 4) FRONT DOOR WIDTH AS REQUIRED BY CODE.
- 5) GARAGE DOOR AS REQUIRED BY CODE.
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

INSULATION:

EXTERIOR WALLS ZONE 3:  
R-13 BATT'S MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:  
R-38 BATT'S MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):  
R-30 BATT'S MINIMUM. VERIFY

FLOOR OVER GARAGE:  
R-19 BATT'S MINIMUM. VERIFY

ATTIC KNEEWALL:  
R-19 BATT'S MINIMUM. VERIFY

SHERIDAN  
ELEVATION "E"



APPLICABLE CODES

THE GEORGIA STATE MINIMUM STANDARDS CODES:

- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GA AMENDMENTS
- INTERNATIONAL FIRE CODE 2018 EDITION WITH GA AMENDMENTS
- NATIONAL ELECTRICAL CODE (NFPA) 2017 EDITION

MAIN STREET  
DESIGNS OF GEORGIA, LLC  
Design by: Main Street Designs of Georgia, LLC  
www.MainStreetDesignsLLC.com  
3050 Royal Blvd. South, Suite 135  
Alpharetta, GA 30022  
(404) 480-3881

Revised Date:  
8/18/2020

SHERIDAN  
Sheet List  
Drawing Title:  
Option Description:

Sheet List

Sheet # Description

CS-1.0E Cover Sheet - General Notes

F-0.0E Slab Plan

F-0.1E Basement Plan

A-1.0E First Floor Plan & Options

A-2.0E Second Floor Plan & Options

A-3.0E Front & Left Elevation / Roof Plan

A-3.1E Rear & Right Elevation

A-3.2E Opt. Ext. Covered Outdoor Living

A-3.3E Opt. Full Brick Elevations

A-4.0E Building Sections

A-4.1E Building Sections W/ Basement

E-0.1E Basement Electrical Plan

E-1.0E First Floor Electrical Plan

E-2.0E Second Floor Electrical Plan

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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6/10/2020

AIRC VENTILATION  
ROOF "E"

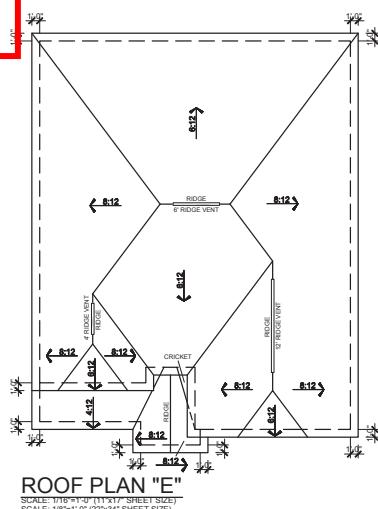
150 SQ FT / 150 FT = 1.00% SOFT VENTILATION  
ROOF VENTS 18 SQ IN = 1.12 SOFT VENTS  
SOFFIT VENTS 9 SQ IN = 0.025 SQ FT  
BOX VENTS 50 SQ IN = 3.47 SQ FT  
6.22 SQ FT x 50% = 3.112 SQ FT OF RIDGE  
6.22 SQ FT x 50% = 3.112 SQ FT OF SOFFIT  
RIDGE VENT  
3.112 SQ FT = 24.9 FEET OF RIDGE VENT  
SOFFIT VENT  
3.112 SQ FT = 48.8 FEET OF SOFFIT VENT  
0.0625 SQ FT

ACTUAL RIDGE VENT PROVIDED = 26 FEET  
ACTUAL SOFFIT VENT PROVIDED = 16.8 FEET  
NUMBER OF BOX VENTS NEEDED (REQD - ACTUAL x 347) = 0.4 COUNT (NEGATIVE = 0)

PORCH ROOF "E"  
138 SQ FT UNDER ROOF  
150 SQ FT / 1 SQ FT = 0.90 SOFT VENTILATION  
SOFFIT VENTS 9 SQ IN = 0.025 SQ FT  
ASSUME 100% VENTING @ SOFFIT  
SOFFIT VENT  
0.0625 SQ FT = 14.4 FEET OF SOFFIT VENT  
0.0625 SQ FT  
ACTUAL SOFFIT VENT PROVIDED = 19 FEET

COVD OUTDOOR LIVING ROOF

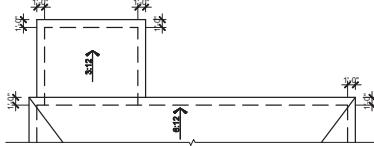
150 SQ FT / 150 SQ FT = 1.00% SOFT VENTILATION  
SOFFIT VENTS 9 SQ IN = 0.025 SQ FT  
ASSUME 100% VENTING @ SOFFIT  
SOFFIT VENT  
0.0625 SQ FT = 12.8 FEET OF SOFFIT VENT  
0.0625 SQ FT  
ACTUAL SOFFIT VENT PROVIDED = 14 FEET



ROOF PLAN "E"

SCALE: 1/16=1'-0" (11x17" SHEET SIZE)

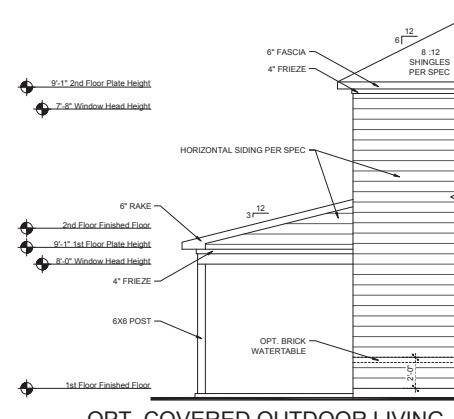
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OPT. COVERED OUTDOOR LIVING  
PARTIAL ROOF PLAN "E"

SCALE: 1/16=1'-0" (11x17" SHEET SIZE)

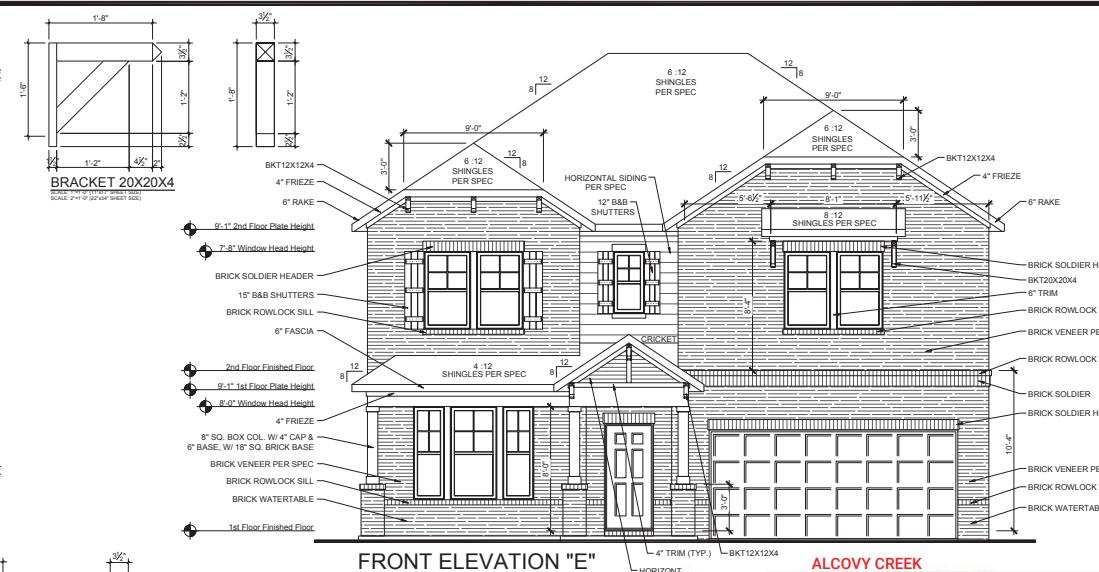
SCALE: 1/8=1'-0" (22x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING  
PARTIAL LEFT ELEVATION "E"

SCALE: 1/16=1'-0" (11x17" SHEET SIZE)

SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



FRONT ELEVATION "E"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)

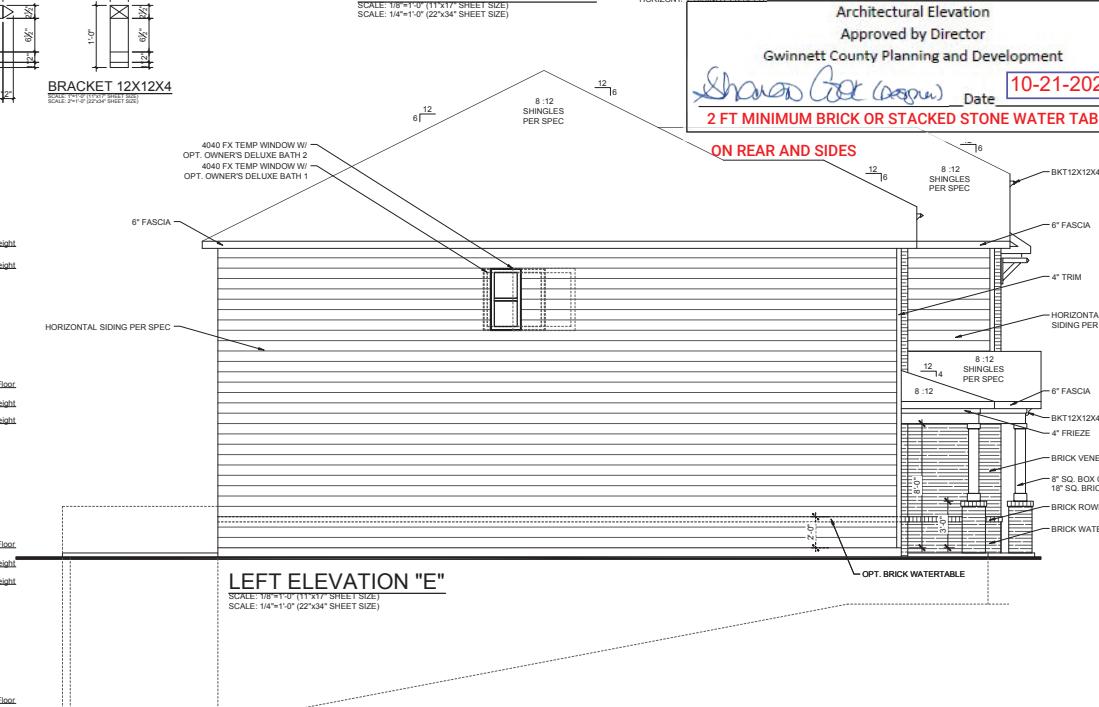
SCALE: 1/4=1'-0" (22x34" SHEET SIZE)

ALCOVY CREEK

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development

*Shawn Galt (Signature)* Date **10-21-2020**  
2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE

ON REAR AND SIDES



LEFT ELEVATION "E"

SCALE: 1/8=1'-0" (11x17" SHEET SIZE)

SCALE: 1/4=1'-0" (22x34" SHEET SIZE)



Revised Date:  
8/18/2020

Model:	SHERIDAN	Elevations / Roof Plan
Drawing Title:		
Open Description:		

4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 945-3560
--

*taylor morrison*  
Homes Inspired by You

Plan Name:

**SHERIDAN**

Division:

**Atlanta**

Municipality:

**County**

Community:

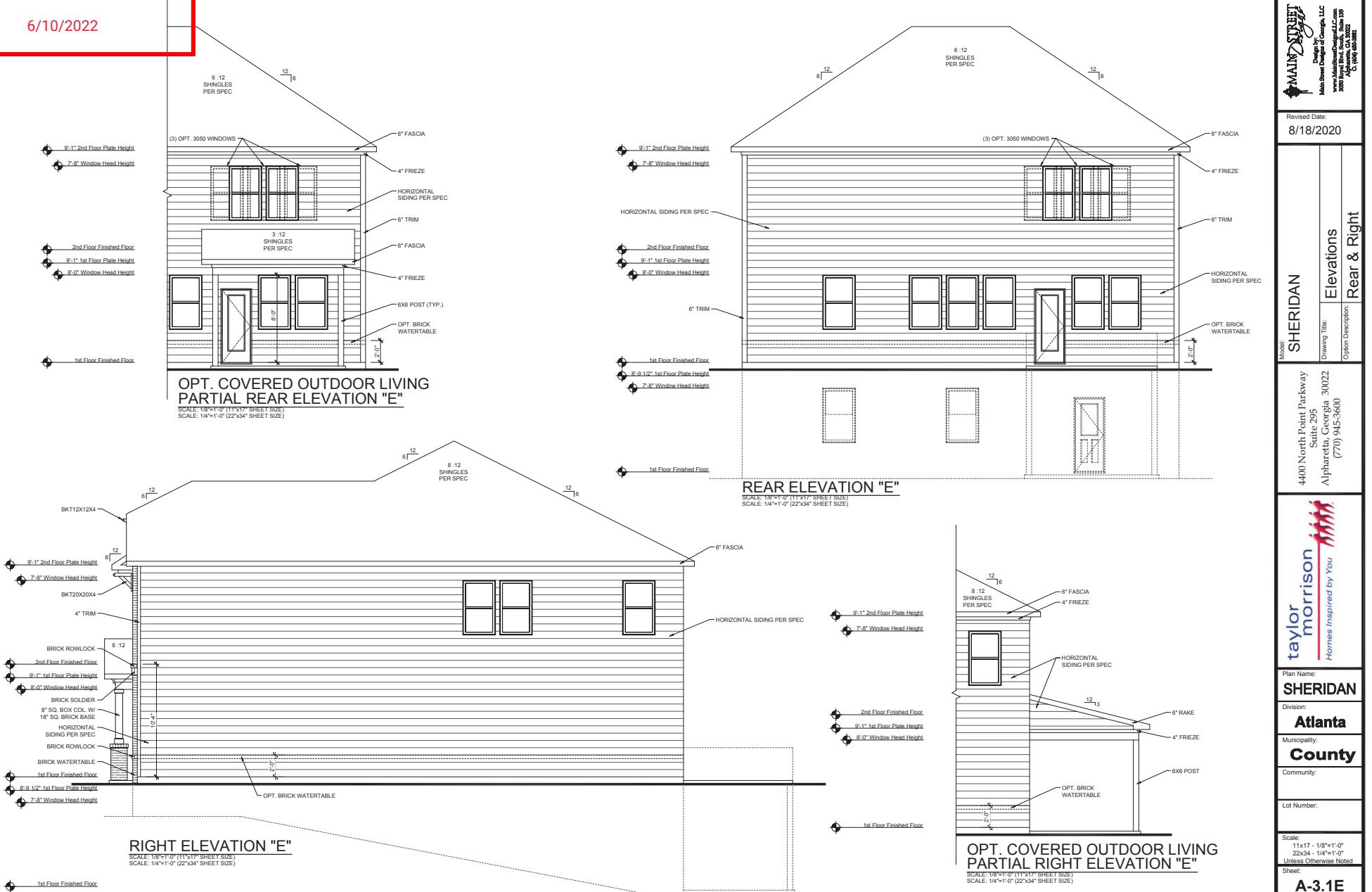
Lot Number:

Scale:  
11x17 - 1/8=1'-0"  
22x34 - 1/4=1'-0"  
Unless Otherwise Noted  
Sheet:

**A-3.0E**

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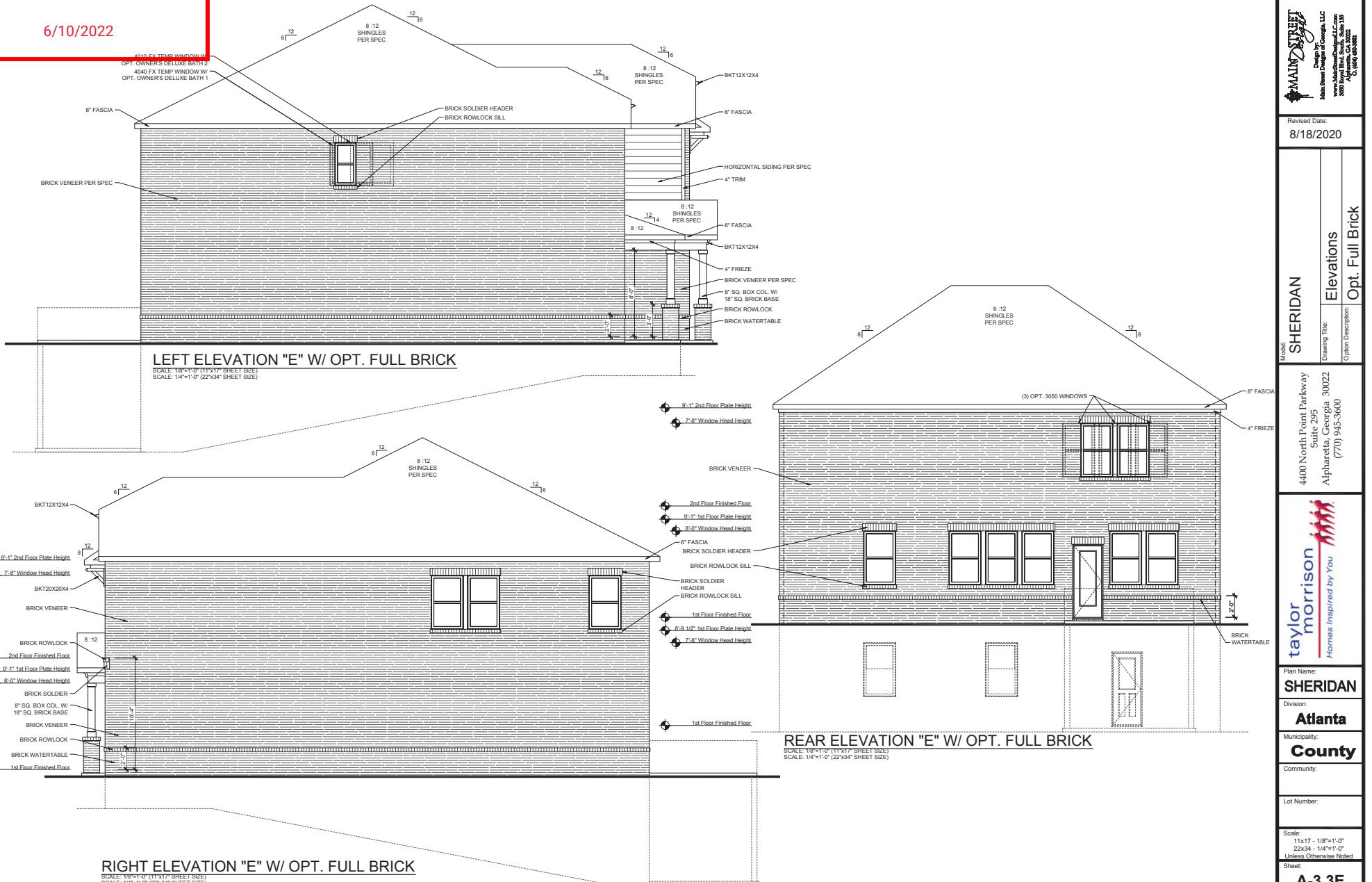
6/10/2022





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MAIN STREET  
Design by  
Main Street Design, LLC  
www.mainstreetdesigngroup.com  
3000 Peachtree Rd NE  
Atlanta, GA 30328  
(404) 465-3222

Revised Date:  
8/18/2020

Model: SHERIDAN  
Drawing Title: Elevation  
Open Description: Opt. Full Brick

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3660

taylor morrison   
Homes Inspired by You

Plan Name:  
**SHERIDAN**

Division:  
**Atlanta**

Municipality:  
**County**

Community:

Lot Number:

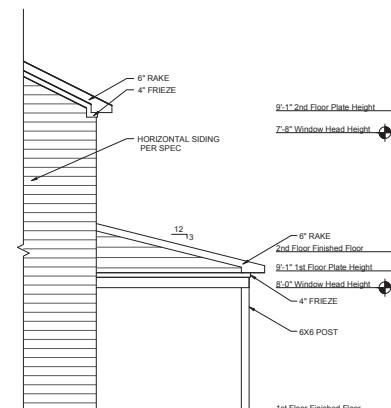
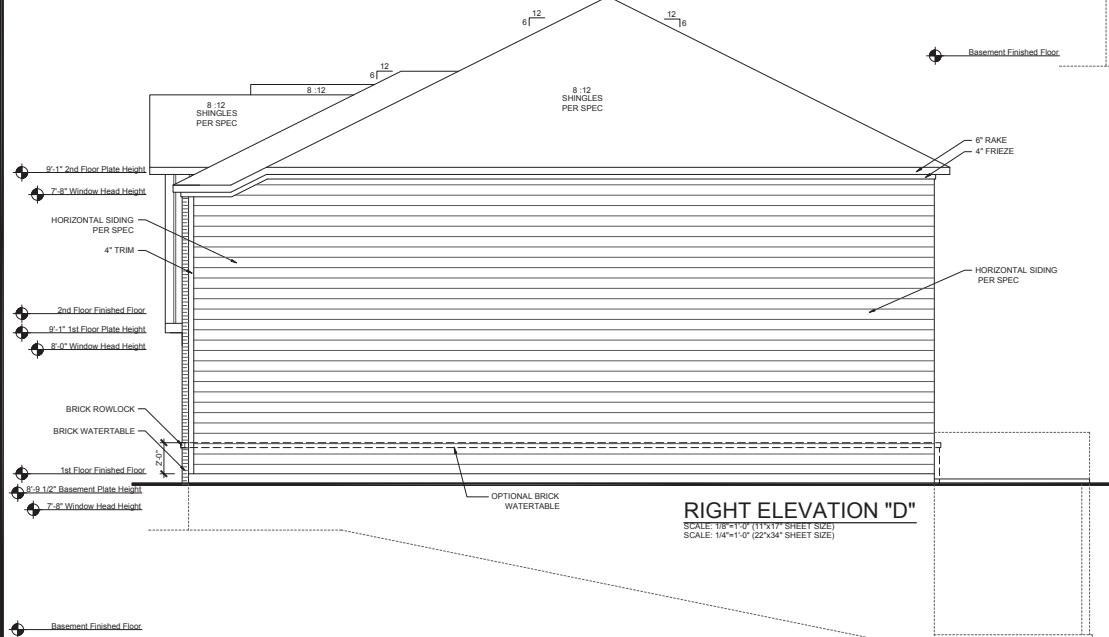
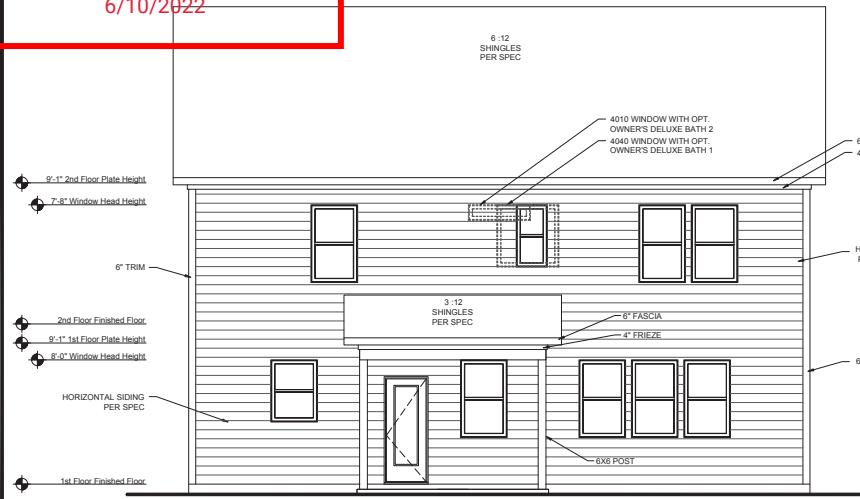
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22x34 - 1/4=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.3E**



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MAIN STREET  
Design By: Design of Georgia, LLC  
Main Street Design of Georgia, LLC  
3000 Peachtree Road, NE, Suite 100  
Atlanta, GA 30328  
(404) 460-3222

Revised Date:  
8/18/2020

Model: WAKEHURST  
Drawing Title: Elevations  
Open Description: Rear & Right

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3560

taylor morrison   
Homes Inspired by You

Plan Name: WAKEHURST

Division: Atlanta

Municipality: County  
Community:

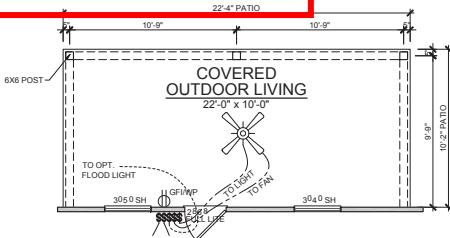
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Unless Otherwise Noted  
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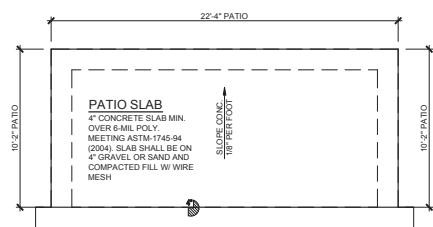
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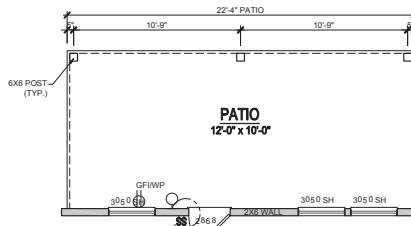
6/10/2022



OPTIONAL EXTENDED  
COVERED OUTDOOR LIVING

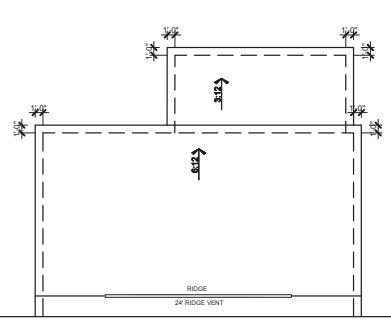


OPT. EXT. COVERED OUTDOOR LIVING  
PARTIAL SLAB PLAN

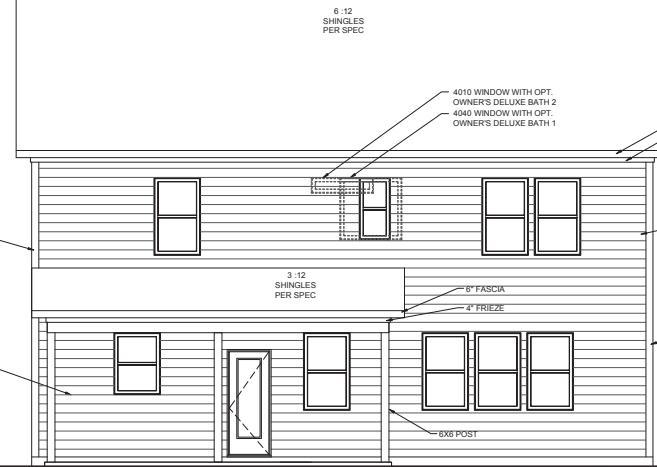


OPT. EXT. OUTDOOR LIVING  
PARTIAL BASEMENT PLAN

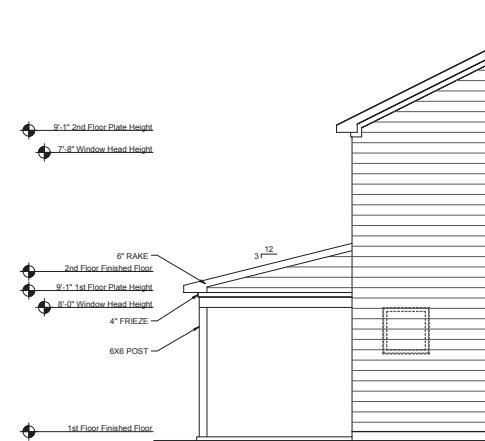
EXT. COVD O/DR LIVING ROOF  
150 SQ FT UNDER ROOF  
150 SQ FT / 1 SQ FT = 1.47 SQ FT VENTILATION  
SOFFIT VENTS 9 SQ IN = (0.025 SQ FT)  
ASSUME 100% VENTING @ SOFFIT  
SOFFIT VENT 1.467 SQ FT = 23.5 FEET OF SOFFIT VENT  
0.025 SQ FT = 24 FEET  
ACTUAL SOFFIT VENT PROVIDED



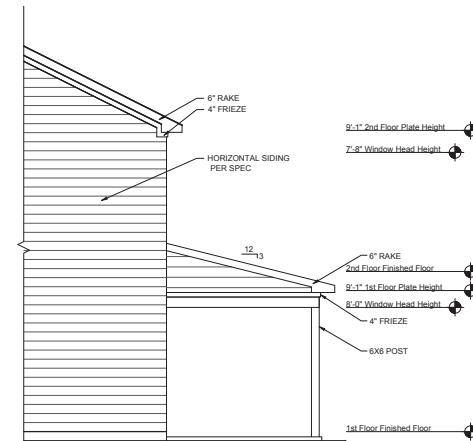
EXT. COVERED OUTDOOR LIVING ROOF PLAN  
SCALE: 1/8"=1'-0" (11'x17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22'x34' SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING REAR ELEVATION  
SCALE: 1/8"=1'-0" (11'x17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22'x34' SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING  
LEFT ELEVATION  
SCALE: 1/8"=1'-0" (11'x17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22'x34' SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION  
SCALE: 1/8"=1'-0" (11'x17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22'x34' SHEET SIZE)

MAIN STREET  
Design By: Design Group, LLC  
Main Street Design Group, LLC  
3000 Southpointe Drive, Suite 100  
Alpharetta, GA 30022  
(404) 460-3222

Revised Date:  
8/18/2020

Model: WAKEHURST  
Drawing Title: Elevations - Opt. Ext. Cov. Outdoor Living  
Open Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3560

taylor morrison  
Homes Inspired by You

Plan Name: WAKEHURST  
Division: Atlanta  
Municipality: County  
Community:

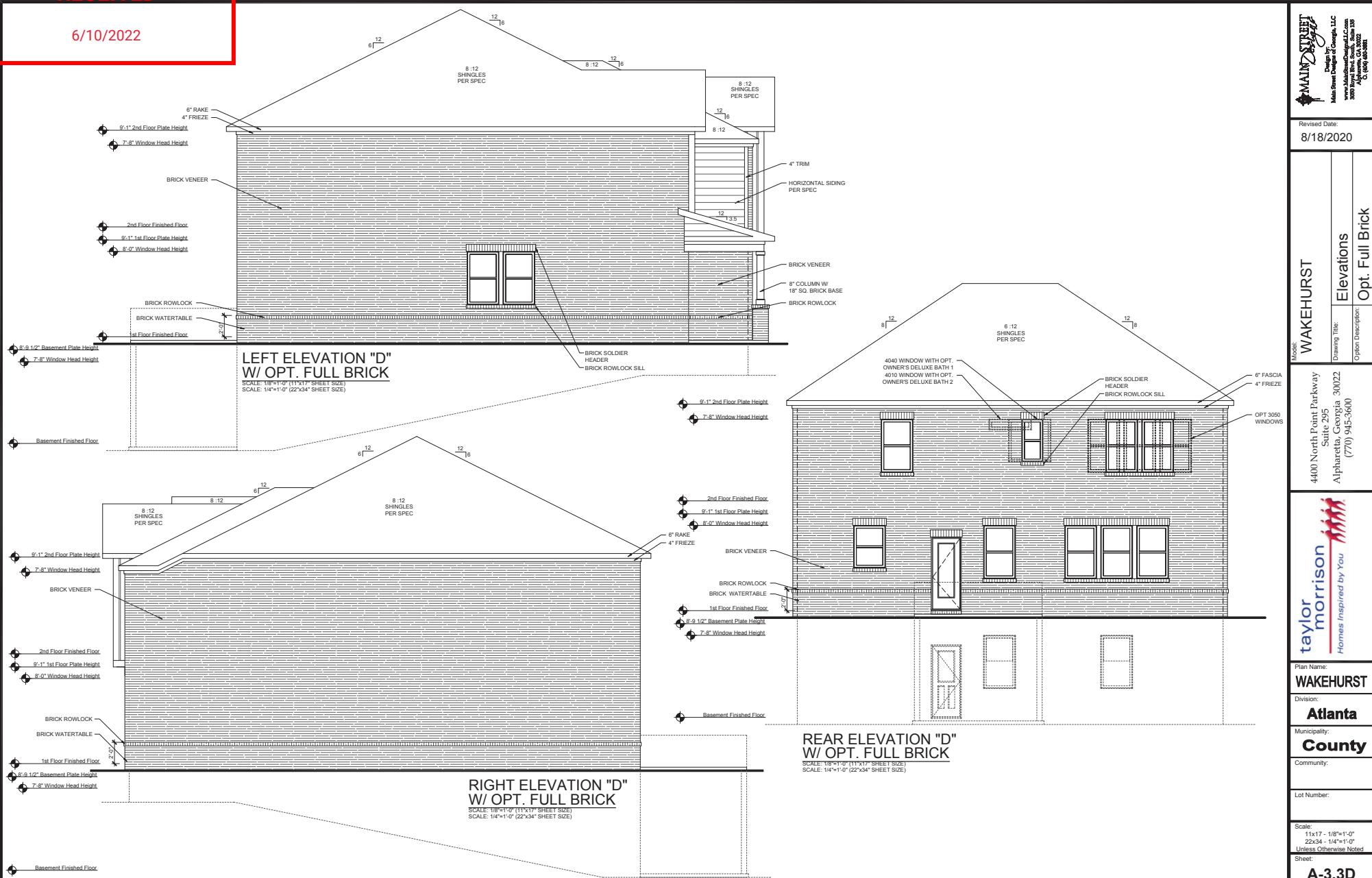
Lot Number:

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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet:

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## GWINNETT COUNTY PLANNING AND DEVELOPMENT

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**0/2022 ATTIC VENTILATION**  
**ROOF "E"**  
**150 SQ FT UNDER ROOF**  
**1.01 SOFT VENTILATION**  
**SOFT VENT SFT = 1.01 SOFT VENT**  
**ROOF VENTS 16 SQ IN = {1.025 SQ FT}**  
**SOFT VENTS 8 SQ IN = {1.025 SQ FT}**  
**BOX VENTS 50 SQ IN = {347 SQ FT}**  
  
**6.02 SQ FT x 50% = 3.012 SQ FT OF RIDGE**  
**6.02 SQ FT x 50% = 3.012 SQ FT OF SOFFIT**  
  
**RIDGE VENT**  
**3.012 SQ FT = 24.1 FEET OF RIDGE VENT**  
**0.726 SQ FT = 6.0 FEET OF SOFFIT VENT**  
**SOFFIT VENT**  
**3.012 SQ FT = 48.2 FEET OF SOFFIT VENT**  
**0.0625 SQ FT =**  
  
**ACTUAL SOFT VENT PROVIDED** 32 FEET  
**ACTUAL SOFT VENT PROVIDED** 60 FEET  
**NUMBER OF BOX VENTS NEEDED** -7 COUNT  
**(REQ - ACTUAL x .347** (NEGATIVE = 0)

**PORCH ROOF "E"**  
**152 SQ FT UNDER ROOF**  
**150 SQ FT = 1.01 SOFT VENTILATION**  
**SOFT VENT SFT = 1.01 SOFT VENT**  
**ASSUME 100% VENTING @ SOFFIT**  
  
**SOFFIT VENT**  
**1.013 SQ FT = 16.2 FEET OF SOFFIT VENT**  
**0.0625 SQ FT =**  
  
**ACTUAL SOFT VENT PROVIDED** 8 FEET

**COV'D OUTDOOR LIVING ROOM**  
120 SQ FT UNDER ROOF  
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION  
 SOFFIT VENTS 9 SQ IN = (0.0625 SQ FT)  
 ASSUME 100% VENTING @ SOFFIT  
 SOFFIT VENT  

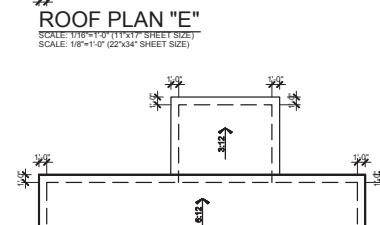
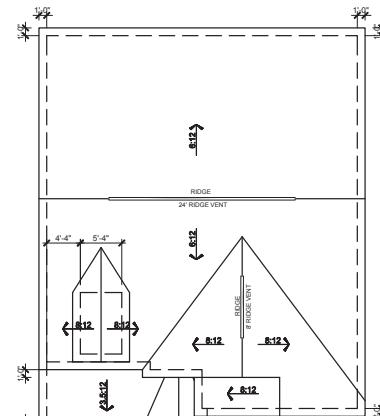
$$\frac{0.800 \text{ SQ FT}}{0.0625 \text{ SQ FT}} = 12.8 \text{ FEET OF SOFFIT VENT}$$
  
 ACTUAL SOFFIT VENT PROVIDED 14 FEET

## ALCOVY CREEK

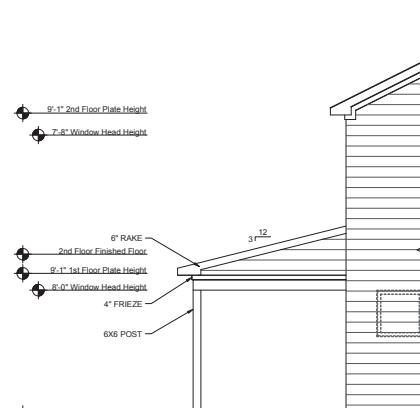
Architectural Elevation  
Approved by Director  
County Planning and Development

Shawn Goh (sign) Date 10-21-2020

#### ON REAR AND SIDES



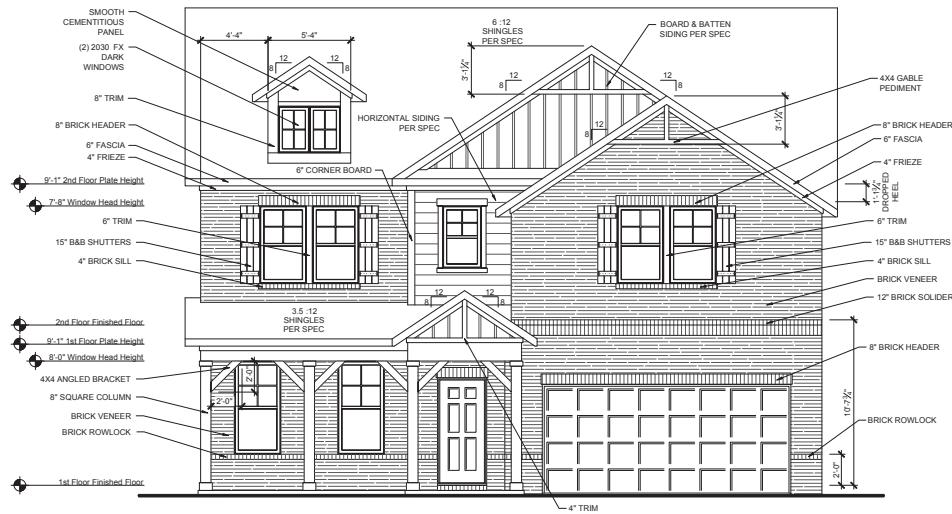
**TABLE 11** COVERED OUTDOOR LIVING ROOF PLAN



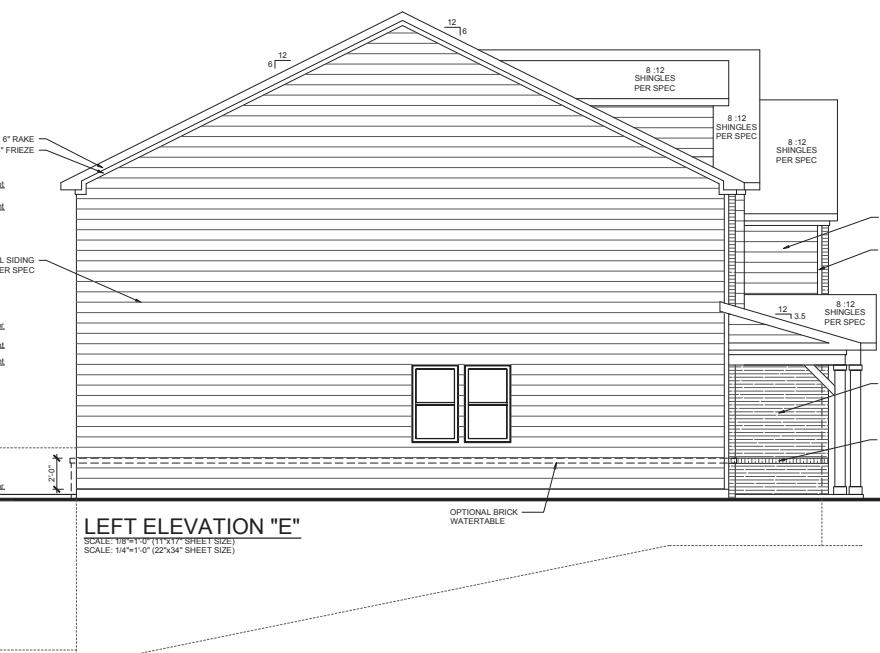
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OPTIONAL COVERED OUTDOOR LIVING  
LEFT ELEVATION

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)



### FRONT ELEVATION "E"



LEFT ELEVATION "E"

Revised Date:

HURST

WAKEHIBST model:

4400 North Point Parkway  
Suite 295

**taylor  
morrison**   
Homes Inspired by You

Plan Name: **MAESTRO**

**WAKEFORST**

Atlanta

Municipality:

Community:

Lot Number:

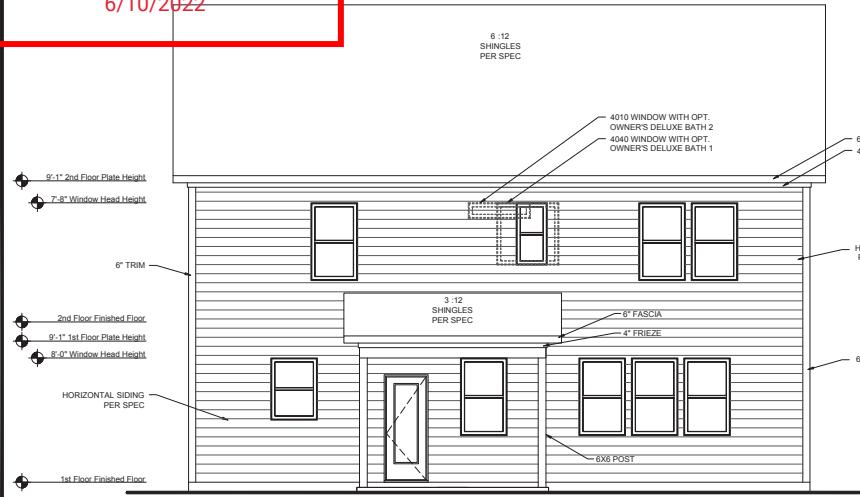
Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

A-3.0E

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

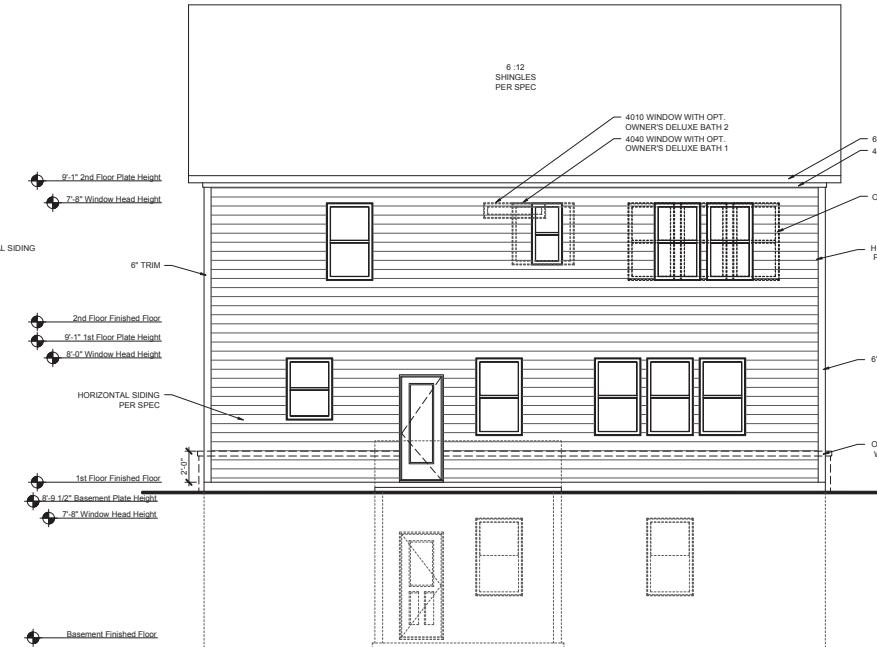
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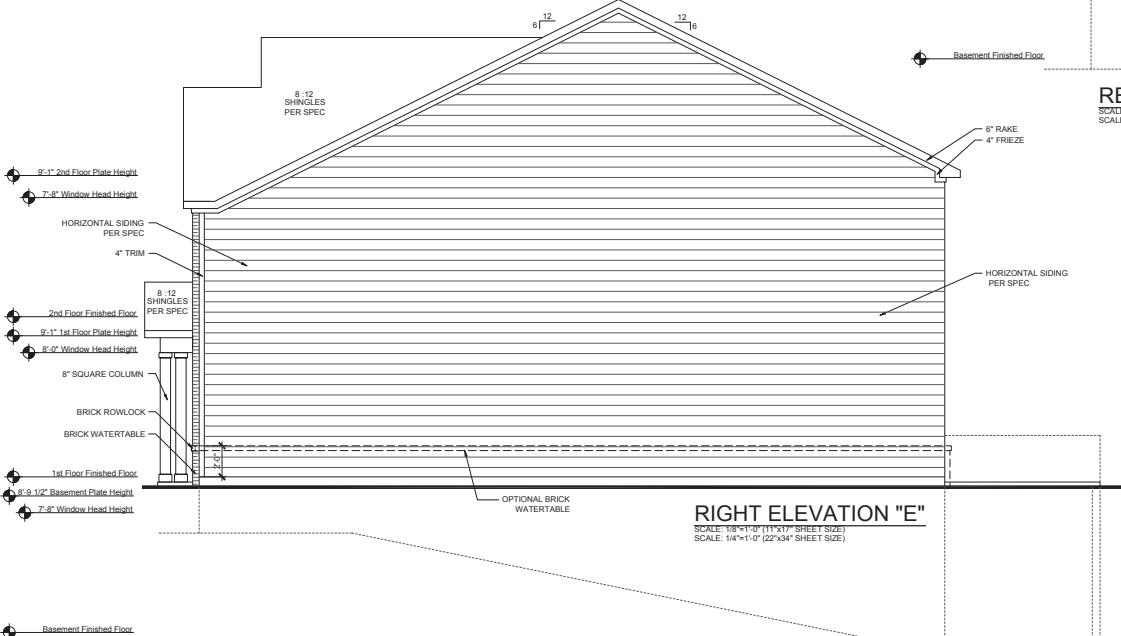
## OPTIONAL COVERED OUTDOOR LIVING REAR ELEVATION

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)



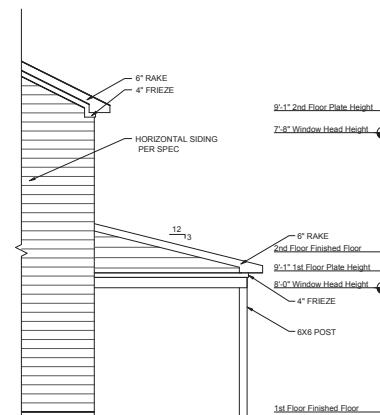
REAR ELEVATION "E"

SCALE: 1/8"=1'-0" (11" x 17" SHEETS)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET S)



RIGHT ELEVATION "E"

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)



---

OPTIONAL COVERED OUTDOOR LIVING  
RIGHT ELEVATION

SCALE: 1/8"=1'-0" (11"X17" SHEET SIZE)

Revised Date:  
8/18/2020

Model:	<b>WAKEHURST</b>	
Drawing Title:	Elevations	Poor & Dicht
Option Description:		

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

**taylor  
morrison**   
*Homes Inspired by You*

Plan Name: **WAKEHURST**

Division:

Atlanta

Municipality:

## County

## Community.

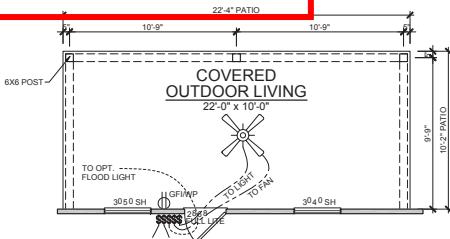
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Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

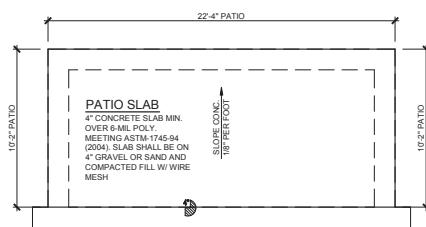
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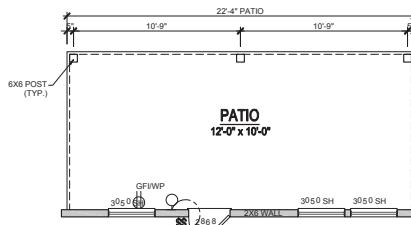
6/10/2022



OPTIONAL EXTENDED  
COVERED OUTDOOR LIVING

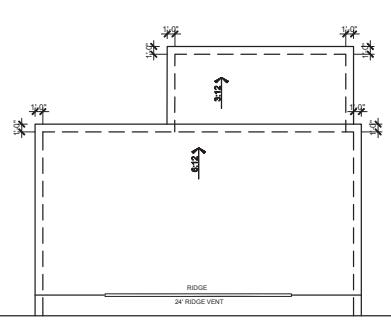


OPT. EXT. COVERED OUTDOOR LIVING  
PARTIAL SLAB PLAN

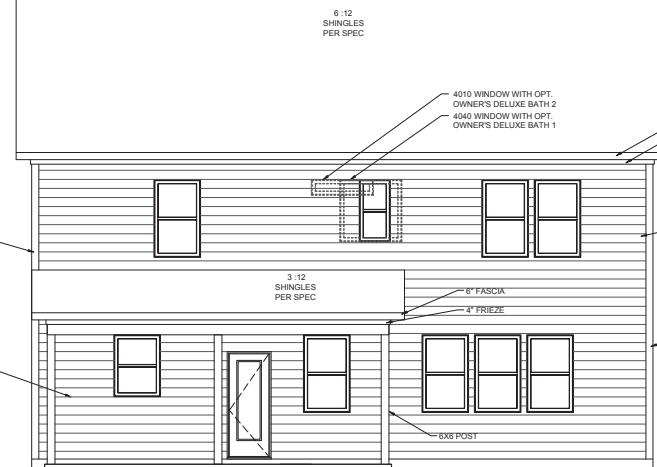


OPT. EXT. OUTDOOR LIVING  
PARTIAL BASEMENT PLAN

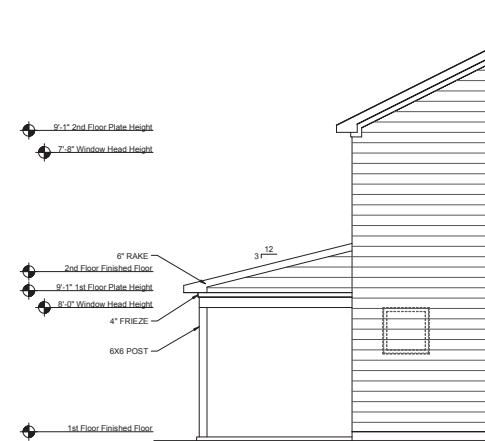
EXT. COVD O/DR LIVING ROOF  
200 SQ FT / 1 SQ FT = 1.47 SQ FT VENTILATION  
SOFFIT VENTS 9 SQ IN = (0.025 SQ FT)  
ASSUME 100% VENTING @ SOFFIT  
SOFFIT VENT 1.467 SQ FT = 23.5 FEET OF SOFFIT VENT  
0.0625 SQ FT = 24 FEET  
ACTUAL SOFFIT VENT PROVIDED



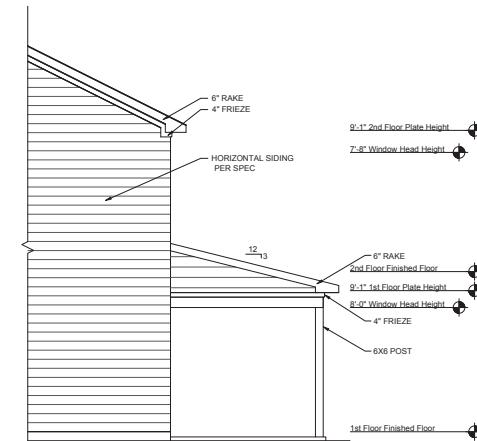
EXT. COVERED OUTDOOR LIVING ROOF PLAN  
SCALE: 1/8"=1'-0" (11'X17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22'X34' SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING REAR ELEVATION  
SCALE: 1/8"=1'-0" (11'X17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22'X34' SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING  
LEFT ELEVATION  
SCALE: 1/8"=1'-0" (11'X17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22'X34' SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION  
SCALE: 1/8"=1'-0" (11'X17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22'X34' SHEET SIZE)

MAIN STREET  
Design by: Main Street Design Co., LLC  
Main Street Design Co., LLC  
3000 Southpointe Drive, Alpharetta, GA 30022  
(678) 460-3222

Revised Date:  
8/18/2020

Model: WAKEHURST  
Drawing Title: Elevations - Opt. Ext. Cov. Outdoor Living  
Open Description:

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3660

taylor morrison  
Homes Inspired by You

Plan Name: WAKEHURST  
Division: Atlanta  
Municipality: County  
Community:

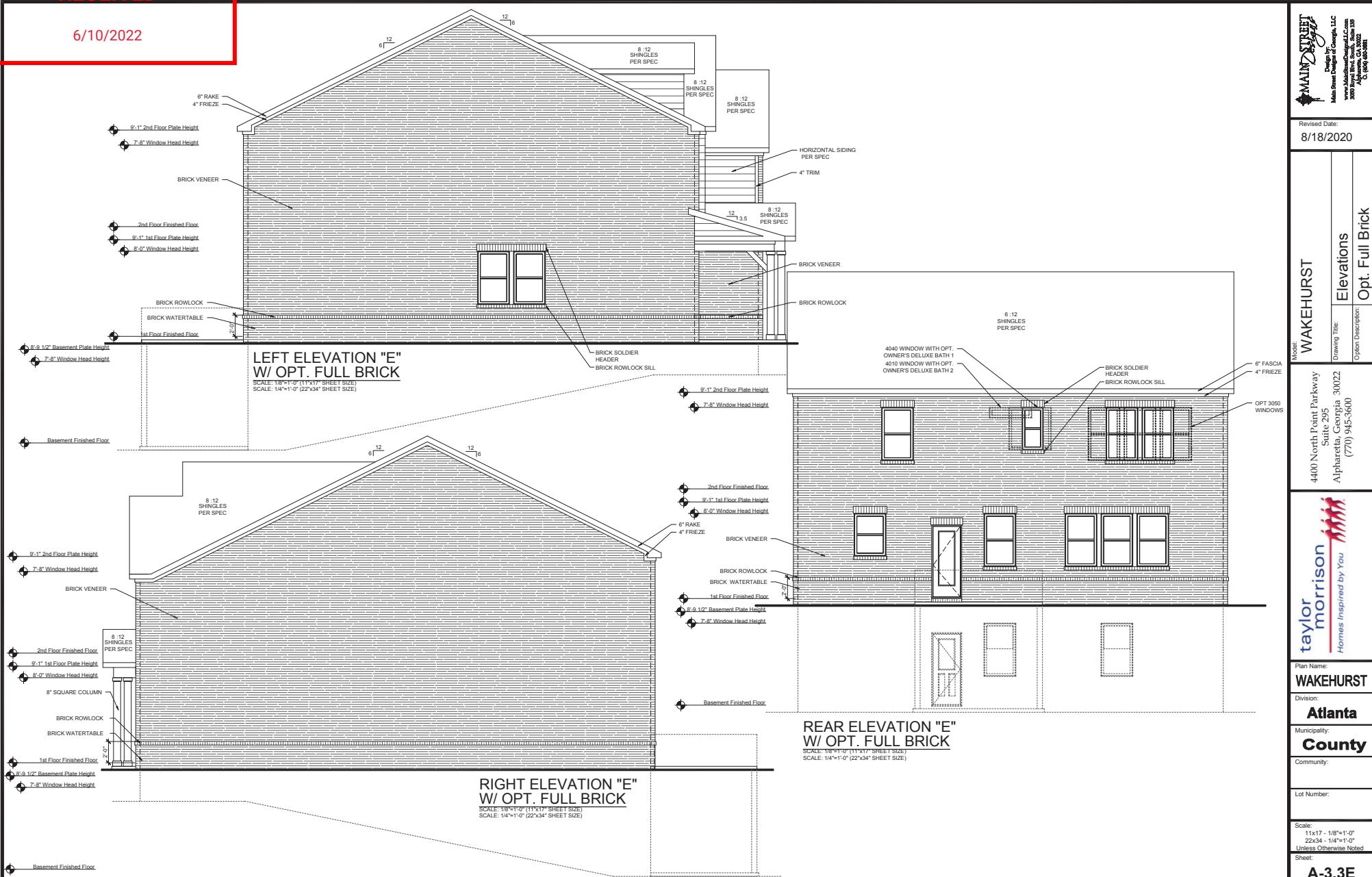
Lot Number:

Scale: 11x17 - 1/8"=1'-0"  
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Unless Otherwise Noted  
Sheet:

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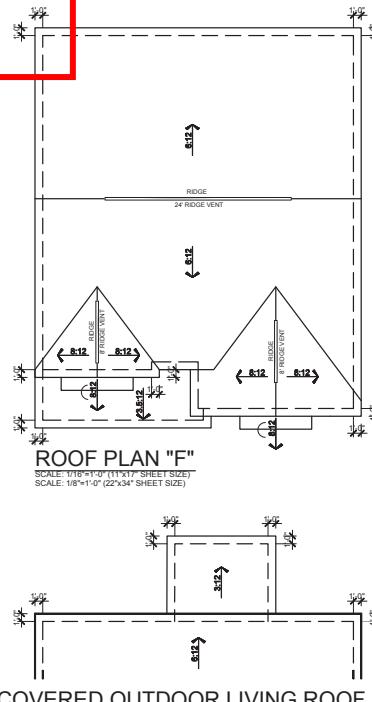


GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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ATTIC VENTILATION	
ROOF F 2022	
1814 SQ FT UNDER ROOF	0.05 SQ FT VENTILATION
300 SQ FT / 1814 SQ FT = 0.05	SQ FT VENTILATION
SOFT VENTS & GABLE VENTS (100%)	
BOX VENTS 50 SQ IN = (.347 SQ FT)	
6.05 SQ FT x 50% = 3.023 SQ FT OF RIDGE	
6.05 SQ FT x 50% = 3.023 SQ FT OF SOFFIT	
RIDGE VENT	
3.023 SQ FT = 24.2 FEET OF RIDGE VENT	
SOFFIT VENT	
3.023 SQ FT = 48.4 FEET OF SOFFIT VENT	
0.0686 SQ FT =	
ACTUAL SOFFIT VENT PROVIDED = 40 FEET	
ACTUAL SOFFIT VENT PROVIDED = 52 FEET	
NUMBER OF VENTS NEEDED = 5.5 COUNT (NEGATIVE = 0)	
(REQD - ACTUAL = .347)	
PORCH ROOF "F"	
137 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.91 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (.0825 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.0825 SQ FT = 14.6 FEET OF SOFFIT VENT	
0.0825 SQ FT = 23 FEET	
ACTUAL SOFFIT VENT PROVIDED	

COVD OUTDOOR LIVING ROOF	
120 SQ FT UNDER ROOF	
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (.0825 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	
0.0825 SQ FT = 12.8 FEET OF SOFFIT VENT	
0.0825 SQ FT = 14 FEET	
ACTUAL SOFFIT VENT PROVIDED	



COVERED OUTDOOR LIVING ROOF PLAN

SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)

SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon Cole (Signature)* Date **10-21-2020**

**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE**  
ON REAR AND SIDES

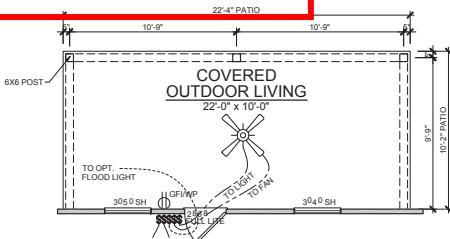
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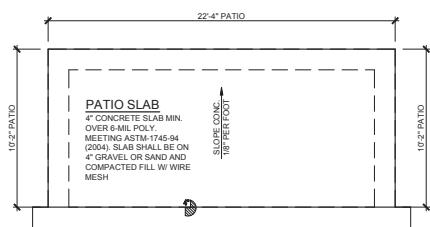


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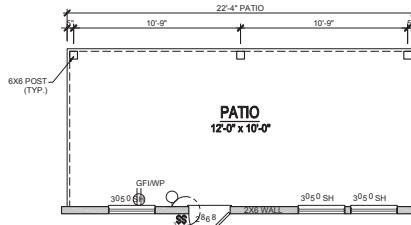
6/10/2022



OPTIONAL EXTENDED  
COVERED OUTDOOR LIVING

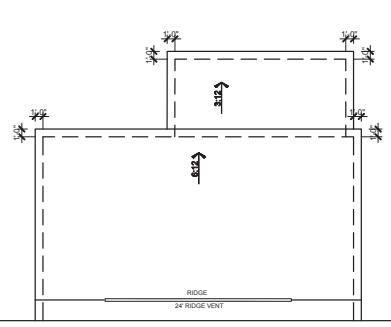


OPT. EXT. COVERED OUTDOOR LIVING  
PARTIAL SLAB PLAN



OPT. EXT. OUTDOOR LIVING  
PARTIAL BASEMENT PLAN

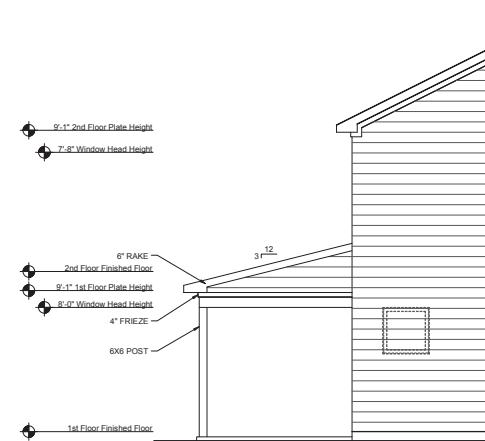
EXT. COV'D O/DR LIVING ROOF  
200 SQ FT UNDER ROOF  
150 SQ FT / 1 SQ FT = 1.47 SQ FT VENTILATION  
SOFFIT VENTS 9 SQ IN = (0.025 SQ FT)  
ASSUME 100% VENTING @ SOFFIT  
SOFFIT VENT 1.467 SQ FT = 23.5 FEET OF SOFFIT VENT  
0.025 SQ FT  
ACTUAL SOFFIT VENT PROVIDED 24 FEET



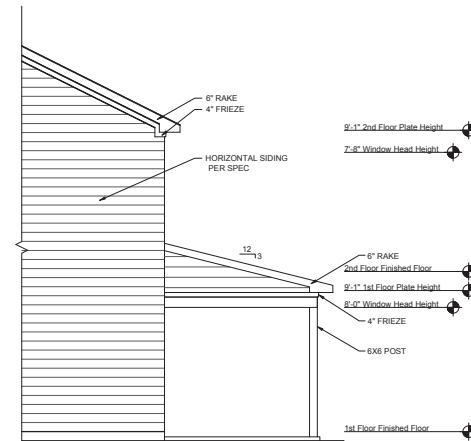
EXT. COVERED OUTDOOR LIVING ROOF PLAN  
SCALE: 1/8"=1'-0" (11'x17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING REAR ELEVATION  
SCALE: 1/8"=1'-0" (11'x17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING  
LEFT ELEVATION  
SCALE: 1/8"=1'-0" (11'x17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



EXT. OPT. COVERED OUTDOOR LIVING  
RIGHT ELEVATION  
SCALE: 1/8"=1'-0" (11'x17' SHEET SIZE)  
SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)

MAIN STREET  
Design By: Design Group, LLC  
Main Street Design Group, LLC  
3000 Southpointe Drive, Suite 100  
Alpharetta, GA 30022  
(678) 460-3222

Revised Date:  
8/18/2020

Model: WAKEHURST  
Drawing Title: Elevations - Opt. Ext.  
Option Description: Cov. Outdoor Living

taylor morrison  
Homes Inspired by You

Plan Name:

WAKEHURST

Division:

Atlanta

Municipality:

County

Community:

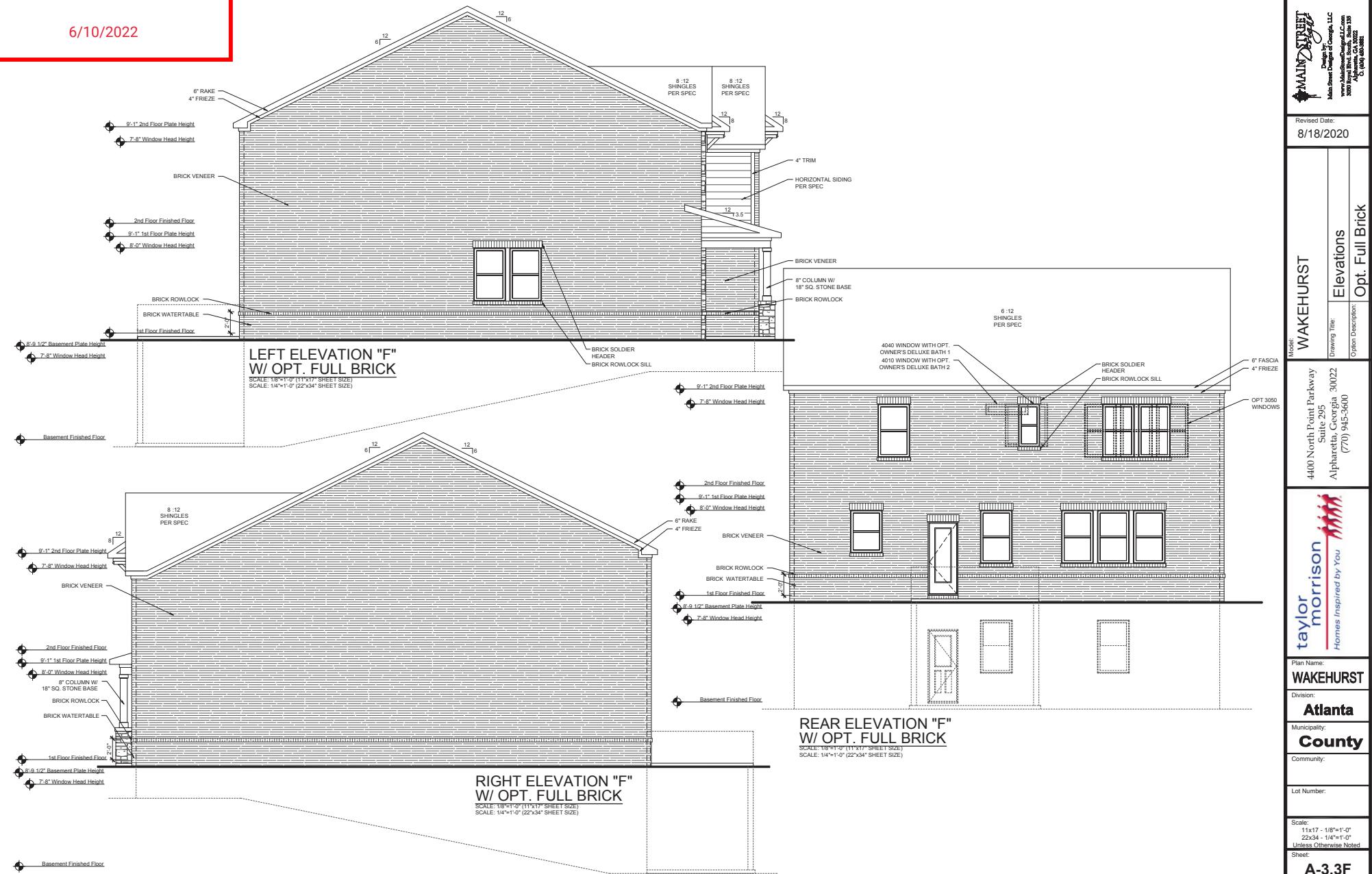
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Scale:  
11x17 - 1/8"=1'-0"  
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Unless Otherwise Noted  
Sheet:

A-3.2F

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6/10/2022



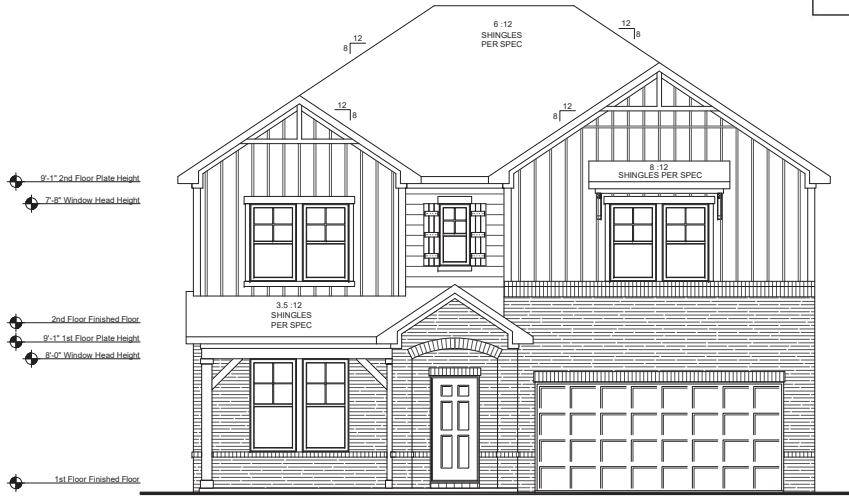
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ALCOVY CLUB

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development

12-04-2020



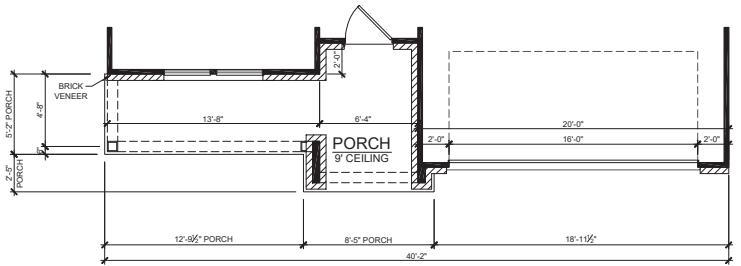
FRONT ELEVATION "G"

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)



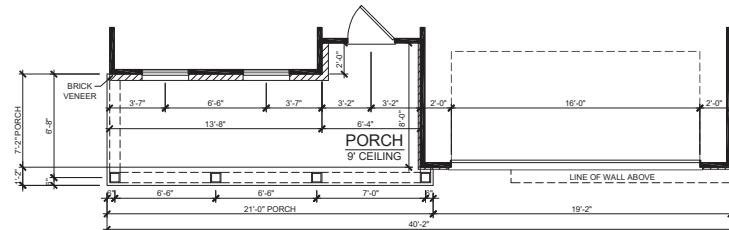
FRONT ELEVATION "H"

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)



1st FLOOR PARTIAL PLAN - ELEVATION "G"

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)



1st FLOOR PARTIAL PLAN - ELEVATION "H"

SCALE: 1/8"=1'-0" (11" x 17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22" x 34" SHEET SIZE)

Main Street Designs of Georgia, LLC is a professional residential design firm. Because the design conditions may vary, Main Street Designs of Georgia, LLC cannot warrant the suitability of these plans for use on your specific site. Construction of these plans should not be undertaken without the assistance of a construction professional.

40' - SHERIDAN PLAN Add. Elevations



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TAYLOR MORRISON

December 2, 2020

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

**RECEIVED**

6/10/2022



GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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REAR ELEVATION



GWINNETT COUNTY  
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RIGHT ELEVATION



GWINNETT COUNTY  
PLANNING AND DEVELOPMENT  
**LEFT ELEVATION  
RECEIVED**

6/10/2022



RECEIVED

6/10/2022

## Monument Sign Example



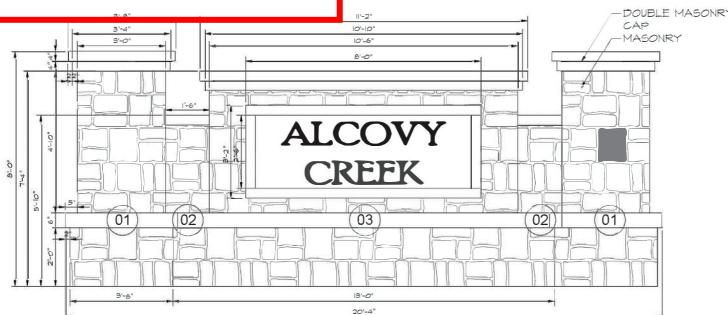
**Maximum 32 Sq. Ft. per sign**

**(Shall be constructed with brick, stone, masonry or equal architectural material)**

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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- 1) MATERIALS ARE TO BE AS FOLLOWS:  
CONCRETE FC = 3000PSI @ 28 DAYS  
WITH SLUMP = 3" TO 4"  
REINFORCEMENT ASTM A615, GRADE 60
- 2) SOIL PROPERTIES:  
DENSITY 120 PCF, FRICTION ANGLE 30 DEG, EQUIVALENT SOIL LATERAL LOAD 40 PCF  
COEFFICIENT OF PASSIVE EARTH PRESSURE  $K_p=3.0$ , COEFFICIENT OF ACTIVE EARTH PRESSURE  $K_a=0.3$ ,  
MAXIMUM DESIGN ALLOWABLE BEARING PRESSURE: 2000 PSF
- 3) FIELD VERIFY ALL EXISTING ABOVE AND BELOW GROUND CONDITIONS PRIOR TO FABRICATION AND CONSTRUCTION.
- 4) ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL OR CONTROLLED FILL.
- 5) UNLESS NOTED, LAP SPLICES OF BARS ARE AS FOLLOWS:

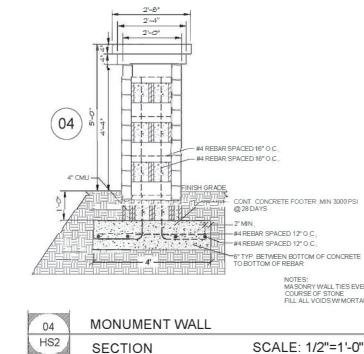
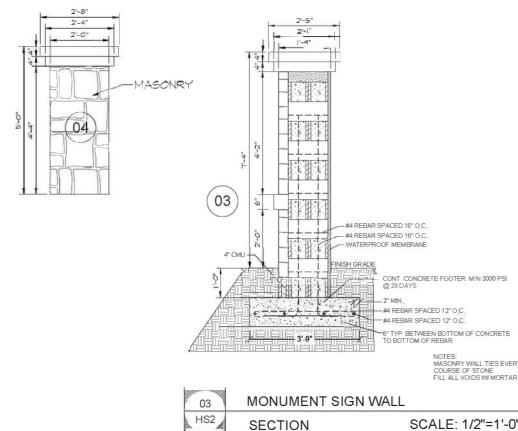
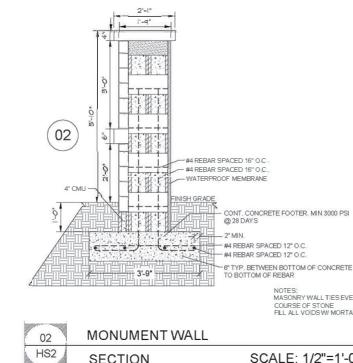
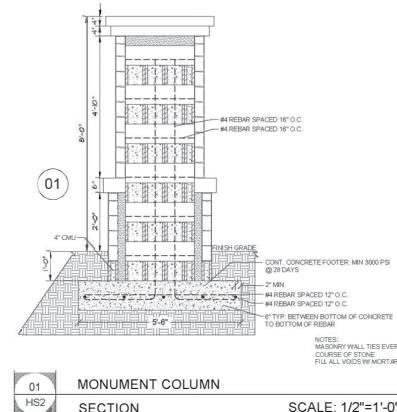
BARS	#4
LENGTH (INCHES)	32

- 6) THE DESIGN OF CONCRETE STRUCTURAL ELEMENTS IS IN ACCORDANCE WITH ACI 318-11.  
BUILDING CODE: IBC 2018, WITH 2020 GEORGIA STATE AMENDMENTS.
- 7) SEE SITE PLAN FOR WALL LOCATION AND OTHER INFORMATION.
- 8) PRIOR TO CONSTRUCTION OF THE RETAINING WALL, THE CONTRACTOR SHALL CLEAR AND GRUB THE BACKFILL ZONE, REMOVING TOPSOIL, BRUSH, SOD OR OTHER ORGANIC OR DELETERIOUS MATERIALS. ANY UNSUITABLE SOILS SHALL BE OVER EXCAVATED AND REPLACED WITH BACKFILL MATERIAL WHICH SHALL BE COMPACTED AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
- 9) A QUALIFIED GEOTECHNICAL ENGINEER SHALL FIELD VERIFY A MINIMUM SAFE ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. IF APPLIED PRESSURE IS MORE THAN 2000 PSF, A GEOTECHNICAL REPORT IS REQUIRED.
- 10) IF THE PROPOSED WALL CONDITIONS ARE DIFFERENT FROM THE STANDARD DESIGNED, SUCH AS BACK/TOE SLOPE, THE SOIL PARAMETERS ETC, FULL DESIGNS BY A PROFESSIONAL ENGINEER ARE REQUIRED.

- 11) DESIGN  
WIND LOAD IS ASSUMED TO BE 30 PSF  
WIND LOAD =  $0.076 C_f^2 A = 22.5$  PSF (ASCE 7-16, EQUATION 29.4-1)  
WHERE:  $Q_f=20.39$  PSF,  $C_f=0.85$ ,  $C_f=1.3$   
 $V_{30}=105$  MPH AND  $V_{30d}=81$  MPH  
RISK CATEGORY II, WIND EXPOSURE CATEGORY C.

APPLICABLE CODES THAT APPLY TO THIS PROJECT:

- GWINNETT COUNTY CONSTRUCTION CODE (2015 VERSION)
- INTERNATIONAL BUILDING CODE, 2018 EDITION with 2020 GEORGIA STATE AMENDMENTS
- ASCE 7-16



Owner:  
**TAYLOR MORRISON**  
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Drawn by:  
**MOONEY**  
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Landscape Architecture | Planning  
1190 N Highland Ave, NE  
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(404) 483-7361

**ALCOVEY CREEK**

LAND LOT 245 OF THE  
5TH DISTRICT, 2ND  
SECTION, GWINNETT  
COUNTY, GEORGIA



REVISIONS

Hardscape Plan

SCALE:

SHEET:

**HS2**

ZONING: OSC  
MUNICIPALITY: GWINNETT COUNTY  
DATE: 11/03/20