



**Applicant:** Fatih Aydin  
c/o Karen Quintanilla  
1825 Mall of Georgia Boulevard, Suite B  
Buford, GA 30519

**Owner:** L and T Family, LLC  
1590 Robins Walk  
Alpharetta, GA 30005

**Contact:** Karen Quintanilla

**Contact Phone:** 678.249.9899

## Zoning History

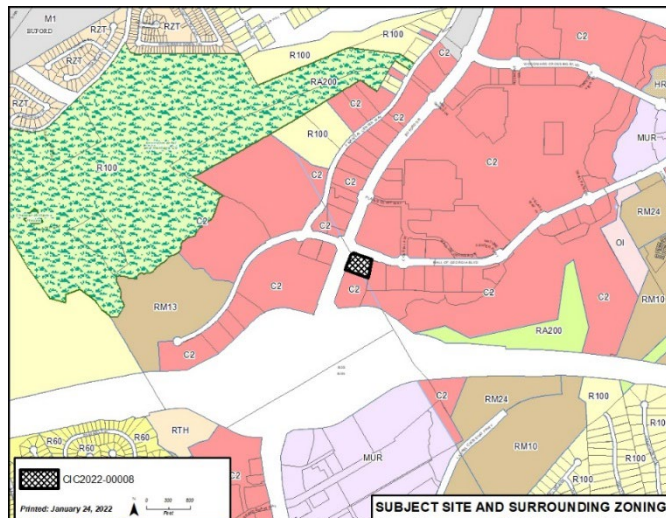
The subject property is zoned C-2 (General Business District). A 1997 special use permit, SUP-97-014, allowed for a height increase associated with the primary Mall of Georgia structure. A 2018 special use permit, SUP2018-00048, allowed for a tattoo and body piercing parlor operated by the applicant of this request. A 2020 renewal of the aforementioned special use permit, SUP2020-00037, permitted the applicant to operate a tattoo parlor with no additional sunset clause. This request is a change in conditions from this approval. The property is located within the Mall of Georgia Overlay District.

## Existing Site Condition

The subject site is a suite within an 18,563 square foot multi-tenant commercial building on a 1.92-acre parcel located on Mall of Georgia Boulevard, at its intersection with Buford Drive. The subject property was developed as an outparcel of the Mall of Georgia in 2003. Mature landscaping is present along the road frontages and along internal property lines. Access to the site is provided by limited access driveways from Buford Drive and Mall of Georgia Boulevard, along with interparcel access from adjacent retail properties. Sidewalks are present along both road frontages. The subject suites are located in the portion of the building that fronts Mall of Georgia Boulevard. The nearest Gwinnett County Transit stop is located 2.2 miles from the subject site.

## Surrounding Use and Zoning

The subject site is surrounded by commercially zoned properties. Nearby uses include restaurants, salons, and furniture stores. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning
Proposed	Tattoo Parlor	C-2
North	Commercial	C-2
East	Commercial	C-2
South	Commercial	C-2
West	Commercial	C-2

## Project Summary

The applicant requests a change in conditions for a 1.92-acre property zoned C-2 to allow for a tattoo and body piercing parlor, including:

- A modification to a condition of a prior zoning approval in 2020 (SUP2020-00037), which reads as follows:
  - The leased space for the tattoo and body piercing parlor shall not exceed 1,071 square feet.
- A 2,390 square foot suite, including the existing place of business, containing 1,071 square feet, and the adjacent suite B1, containing 1,319 square feet. The applicant desires to expand the existing business into the adjacent suite.
- Facilities which provide body piercings and tattoos.
- Continued hours of operation until 10:00pm Sunday through Thursday, and until 12:00am on Friday and Saturday, as conditioned.
- No code enforcement violations have been issued on the property associated with the applicant.

## Zoning and Development Standards

The applicant is requesting a change in conditions for a tattoo and body piercing parlor in the C-2, General Business District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Existing	Meets Standard?
Building Height	Maximum 45'	<45'	YES
Front Yard Setback	Minimum 15'	>15'	YES
Side Yard Setback	Minimum 10'	>10'	YES
Rear Yard Setback	Minimum 30'	>30'	YES
Off-Street Parking	136 spaces	136 spaces	YES

## Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. External agency review comments are attached (Exhibit F). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

## Staff Analysis

**Change in Conditions Request Analysis:** According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification or a change in conditions the Department shall evaluate the request and make a recommendation with respect to the standards

governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

**A. Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property.**

The tattoo and body piercing parlor is located within an existing commercial outparcel in the Mall of Georgia commercial development. The proposed change in conditions is related to the tattoo and body piercing parlor operated by the applicant at this location. No code enforcement cases have been associated with the applicant since opening the business. The applicant was granted a permanent special use permit in 2020. Due to the success and demand of the business, the applicant wishes to expand their business into the adjacent vacant suite, more than doubling the square footage of the business. The proposed change in conditions would be suitable given the surrounding use.

**B. Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property.**

The existing use and usability of adjacent or nearby properties would not be negatively impacted by the proposed change in conditions. The tattoo parlor has existed in this outparcel for several years with no code enforcement violations or recorded complaints.

**C. Whether the property to be affected by a proposed change in conditions has a reasonable economic use as currently zoned.**

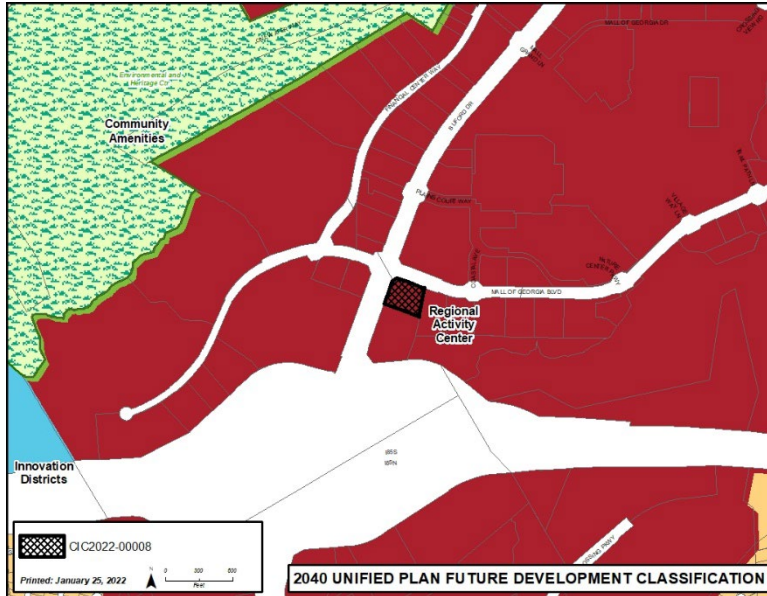
The property has a reasonable economic use as currently zoned.

**D. Whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

A minimal impact on public facilities is anticipated in the form of traffic, utility demand, and stormwater runoff. However, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. No impact is anticipated on school enrollment. Agency review comments related to any potential improvements, related to this request, are attached (Exhibit F).

**E. Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map.**

The 2040 Unified Plan Future Development Map indicates that the subject property lies within the Regional Activity Center Character Area. The Character Area is intended for areas of intense commercial and office/employment activity. The continuation and expansion of an existing tattoo and body piercing parlor would be appropriate within the Character Area.



**F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions.**

The nearby areas are developed with commercial uses relating to the Mall of Georgia. The success of the business in a high traffic commercial development, combined with no code enforcement cases against the applicant, indicates that the expansion of the business is appropriate.

**Staff Recommendation**

Based on the staff’s evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

**Staff Recommended Conditions**

NOTE: The conditions below are those from SUP2020-00037 with suggested changes in bold or strikethrough.

1. Retail and service commercial and accessory uses, which may include a tattoo and body piercing parlor as a Special Use.
2. The leased space for the tattoo and body piercing parlor shall not exceed ~~1,071~~**2,390** square feet.
3. The hours of operation of the tattoo and body piercing parlor shall not extend past 10:00pm, Sunday through Thursday, and not past 12:00am on Friday and Saturday.
4. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance, and shall only utilize neutral (non-white, earth tone) background colors for the sign cabinet.

5. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state, or federal law. Flashing or blinking signs and neon or LED signs shall be prohibited. Exposed or visible LED strips mounted on the building or around window frames shall be prohibited.
6. Peddlers and/or parking lot sales shall be prohibited.
7. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
8. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers, and sign-twirlers shall be prohibited.

**Exhibits:**

- A. Site Visit Photos
- B. Previously Approved Resolution
- C. Site Plan
- D. Building Plans
- E. Letter of Intent and Applicant's Response to Standards
- F. External Agency Review Comments
- G. Maps

**Exhibit A: Site Visit Photos**



**View of Suites B1 (Left) and B (Right)**

**Exhibit B: Previously Approved Resolution**

**[attached]**

CASE NUMBER SUP2020-00037  
GCID 2020-0758

GWINNETT COUNTY  
BOARD OF COMMISSIONERS  
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: GRANT OF A SPECIAL USE PERMIT

ADOPTION DATE: AUGUST 25, 2020

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Gwinnett Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

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	<u>Present</u>	<u>Vote</u>
Charlotte J. Nash, Chairman	Yes	Aye
Jace Brooks, District 1	Yes	Aye
Ben Ku, District 2	Yes	Aye
Tommy Hunter, District 3	Yes	Aye
Marlene Fosque, District 4	Yes	Aye

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On motion of COMM. FOSQUE, which carried 5-0, the following Resolution was adopted:

A RESOLUTION TO GRANT A SPECIAL USE PERMIT

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application for a Special Use Permit by FATIH AYDIN for the proposed use of TATTOO & BODY PIERCING PARLOR (RENEWAL) on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Special Use Permit Application has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on AUGUST 25, 2020 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners, this the 25<sup>th</sup> day of AUGUST 2020, that the aforesaid application for a Special Use Permit is hereby **APPROVED** with the following enumerated conditions:

1. Retail and service commercial and accessory uses, which may include a tattoo and body piercing parlor as a Special Use.
2. The leased space for the tattoo and body piercing parlor shall not exceed 1,071 square feet.
3. The hours of operation of the tattoo and body piercing parlor shall not extend past 10:00pm, Sunday through Thursday, and not past 12:00am on Friday and Saturday.
4. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance, and shall only utilize neutral (non-white, earth tone) background colors for the sign cabinet.
5. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state, or federal law. Flashing or blinking signs and neon or LED signs shall be prohibited. Exposed or visible LED strips mounted on the building or around window frames shall be prohibited.
6. Peddlers and/or parking lot sales shall be prohibited.
7. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
8. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No

decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers, and sign-twirlers shall be prohibited.

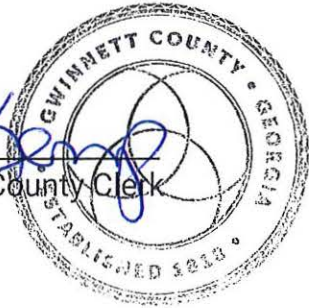
GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Charlotte J. Nash  
Charlotte J. Nash, Chairman

Date Signed: 9/11/20

ATTEST:

Diana Kemp  
County Clerk/Deputy County Clerk



**Exhibit C: Site Plan**

**[attached]**



**Exhibit D: Building Plans**

**[attached]**



**Exhibit E: Letter of Intent and Applicant's Response to Standards**

**[attached]**

## LETTER OF INTENT

### Business Summary

Wild Tribe Tattoos and Piercings is an upscale tattoo and body piercing studio in Buford, Georgia located at 1825 Mall of Georgia Boulevard, Buford, GA 30519. The studio is in a strip mall and features an open space for reception, waiting room, tattoo and piercing stations, a sterilization room, and a single bathroom. The studio is located in Suite B of the retail shopping center. The business was founded and is managed by Fatih Aydin. The business currently employs five full-time tattoo artist and one full-time body piercer and is on the verge of hiring at least 4 more tattoo artist, hence the fact the current space is now too small. Fatih's business goals are to become one of the leading tattoo studios in the State of Georgia and to deliver the highest customer service and help favorably every artist it hires. The vision is to expand and create jobs for tattoo and/or piercing first-timers and veterans that are able to work with established, talented artists with excellent reputations in the industry. In addition, Wild Tribe Tattoos will make ensure that every member of the workforce attains required training that will position them to meet the company expectations and to compete with leading tattoo artist studios in the state. The business offers small, introductory tattoos from existing designs, basic tattoos that can be executed in one hour, and half-day sessions with the artists. The artists are available to provide extended consultations and custom design work with the customers as needed. Wild Tribe Tattoos offers body piercing options in a safe, sterile, and private environment performed by a licensed body piercer. In addition to providing body piercing and tattooing, the business also sells body piercing jewelry as well as tattoo and piercing aftercare products.

### Studio Description

The Wild Tribe Tattoos studio is designed to have an upscale ambiance. The waiting area has a relaxed, yet refined decor featuring a leather sofa, marble coffee table, unique accent pieces, and body jewelry display cases.

Each artist station is equipped with a sink and workstation area, storage cabinet, shelving, white tattoo chair, artist stool, and mirror.

The rear of the space contains an enclosed sterilization room as well as a public restroom.

### Business Experience

Fatih Aydin owner of Wild Tribe Tattoos has worked in the body piercing industry for over ten years and the tattoo industry for approximately three years. In 2011 he opened Wild Tribe Body

Jewelry inside the Mall of Georgia. The business sells were a large assortment of body piercing jewelry and were a consistent flow of repeat customers. The business was able to increase the



Wild Tribe Tattoos and Piercings  
1825 Mall of Georgia Blvd, Ste. B  
Buford, Georgia 30519  
Ph: 678-765-7530  
www.wildtribetattoos.com

client base and referrals for Wild Tribe Tattoos and Piercings. In November of 2018, Fatih Aydin opened Wild Tribe Tattoos and Piercing and has successfully operated since.

### Business Requirements Summary

Requirements for Wild Tribe Tattoos and Piercings includes licenses and permits including a special use permit, business license, health department permit, and occupancy permit. The business maintains, at minimum, the required liability and property insurance needed for the business and by the landlord.

### Competitive Edge

Wild Tribe Tattoos has created a competitive edge through the cultivation and retention of its most valuable assets - its artists. Fatih Aydin is tied to the business as an owner and the artists are well rewarded for their work through commissions on body piercings and tattoos. By not having to worry about overhead, rent, establishing a brand, purchasing basic supplies, or other business expenses, this is a perfect situation for artists who want to focus on their art, establish job security, and establish a client base with limited risk.

### Marketing Strategy

The marketing strategy of the business involves marketing to a wide range of potential customers in the Buford, Georgia area. The following tactics are utilized:

- Referrals by existing clients
- Social Media Promotions and Campaigns
- Hand deliver business cards and promotional flyers
- Google ads, directing potential clients to website
- Yelp listing and Yellow pages

### Change in Conditions

Wild Tribe Tattoos current conditions retail and service commercial and accessory uses, which may include a tattoo parlor as a special use. The existing special use permit application does not allow for the exceeding square footage of 1,071.

Wild Tribe Tattoos will be leasing Suite B1 and removing the wall the divides the two suits adding 1,319 square feet, making the total of 2,390 square feet. Wild Tribe Tattoos is not requesting a new use, but rather the continuation of an existing use and expanding the square footage in the existing location.

Wild Tribe Tattoos and Piercings  
1825 Mall of Georgia Blvd, Ste. B  
Burford, Georgia 30519  
Ph: 678-765-7530  
www.wildtribetattoos.com

With respect to the second standard whether a proposed change in conditions will adversely affect the existing use or usability of adjacent nearby property – the answer is clearly “No” Wild Tribe Tattoos, CIC has existed since 2018 without negatively impacting the usability of nearby properties. Extending the square footage will not impact the nearby business.

The third standard – whether the property to be affected by a proposed change in conditions has reasonable economic use as currently zoned – Wild Tribe Tattoos is requesting an expansion in the square footage. The fourth standard, which looks at whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing street, transportation, facilities, utilities, or schools. Will not result in negative impact on the streets, transportation facilities, utilities, or schools.

The answer to the fifth standard – whether the proposed change in conditions is in conformity with the policy and intent of the land use plan – Yes, The Board of Commissioners has approved the current special use permit allowing for a lease space condition not exceeding 1,071 square feet. Removing this condition will allow Wild Tribe Tattoos to continue its pursuit projects of expanding.

Finally, the sixth standard – whether there are other existing or change conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions – supports Wild Tribe Tattoos request. The existing approved (Special Use Permit) is actively in use. Approving the change in condition in adding the additional 1,319 square footage to continue to operate will undoubtedly benefit other nearby business.

Based on the foregoing, Wild Tribe Tattoos respectfully asks that the county approve this request and Change in Conditions Request. This will allow Wild Tribe Tattoos to expand.

As soon as a hearing is scheduled, please notify us of the date and time so we may attend.

Thank you for gracious consideration in this application.

Fatih Aydin  
(678) 431-9448  
[1fatihayin@gmail.com](mailto:1fatihayin@gmail.com)

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**Change In Conditions Applicant's Response**

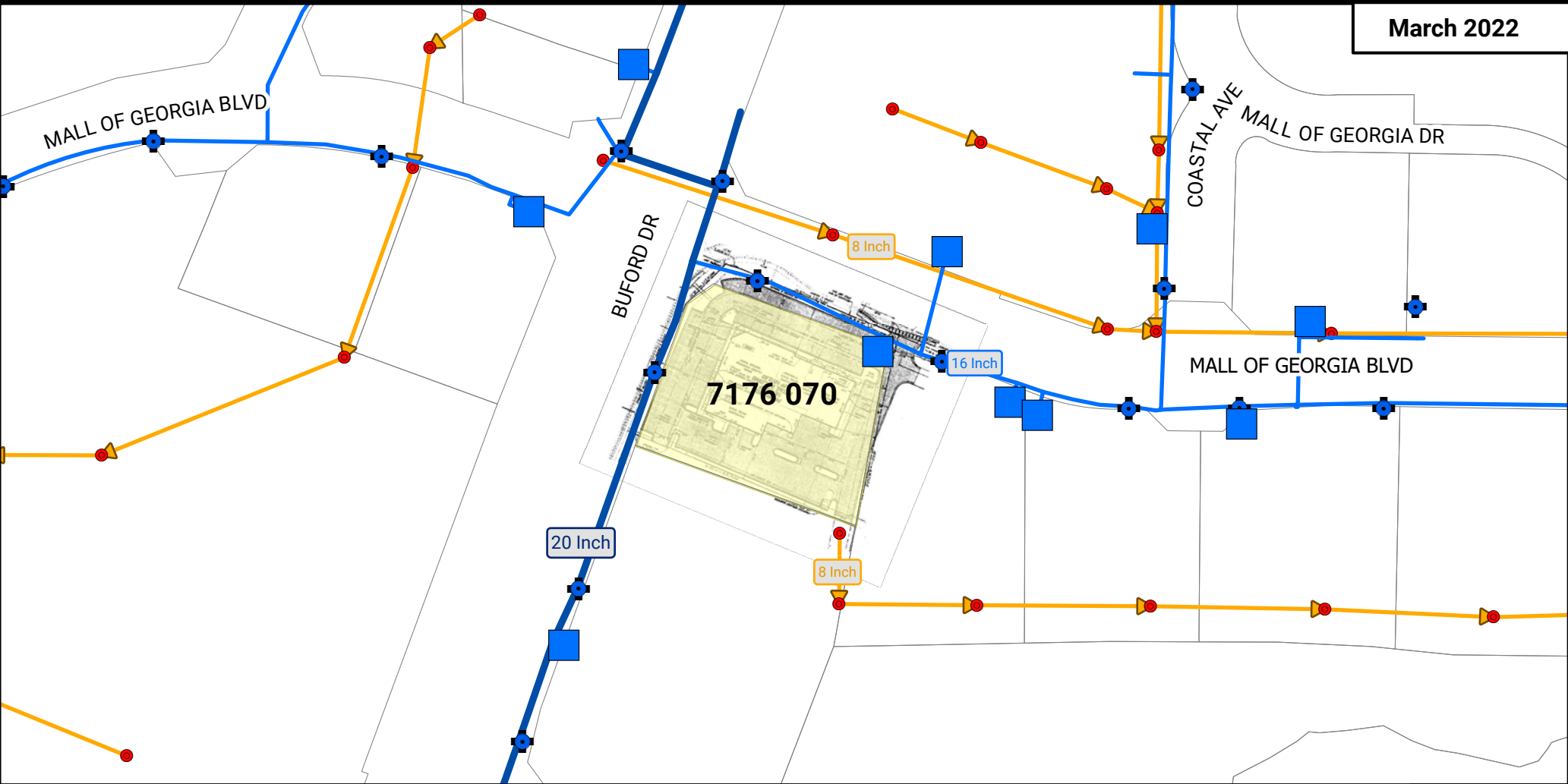
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

- A. Change in conditions is suitable in view of the use and development of adjacent and nearby property as Pho 24, Moe's, and Leather Creations are in the shopping center. Additionally, Wild Tribe Tattoos has been in operation on the property since November 2018.
- B. Change in conditions will not affect the adjacent businesses negatively as Wild Tribe Tattoos has been operating in the shopping center since November 2018 and has increased foot traffic to the area.
- C. The expanding of Wild Tribe Tattoos to the area will continue to be a positive boost to the area as is has generated more foot traffic to the shopping center and created jobs.
- D. Wild Tribe Tattoos does not create a burden on existing streets, transportation facilities, utilities, or school as only a maximum of six clients may receive service at a time during normal business operations. Also note, that at this time Wild Tribe Tattoos is operating in accordance with the guidelines set forth for tattoo and body piercing studios due to the COVID-19 pandemic.
- E. Yes, the Change in Condition is in conformity with the policy and evidenced by the previous approval of SUP2020-00037 for Wild Tribe Tattoos.
- F. Wild Tribe Tattoos has been in the shopping center and has positively increased foot traffic. Moreover, has created customers for nearby businesses.

**Exhibit F: External Agency Review Comments**

**[attached]**

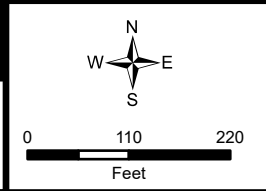
<b>TRC Meeting Date:</b>		2.16.22	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 1	
Reviewer Email Address:		<a href="mailto:Brent.hodges@gwinnettcountry.com">Brent.hodges@gwinnettcountry.com</a>	
Case Number:		CIC2022-00008	
Case Address:		1825 Mall of Georgia Boulevard	
<b>Comments:</b>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		<b>YES</b>	<b>NO</b>
1	Mall of Georgia Boulevard is a major collector. ADT = 13,194. 2.2 miles to Nearest Transit facility #2334754 SR20 Park and Ride.		
2			
3			
4			
5			
6			
7			
<b>Recommended Zoning Conditions:</b>		<input type="checkbox"/>	<input checked="" type="checkbox"/>
		<b>YES</b>	<b>NO</b>
1			
2			
3			
4			



	Flow Management		Hydrant		Sewer Force Main
	Pump Station		City		Effluent Outfall
	Regional		Water Main		Sewer Collector
	Manhole		Reuse Main		Sewer Interceptor

CIC2022-00008  
C-2

# Water & Sewer Utility Map



**Water Comments:** No DWR Comments

**Sewer Comments:** No DWR Comments

**Water Availability:** Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

**Sewer Availability:** A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

**Water and Sewer Design and Construction Requirements:** Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

**Private Road Developments:** Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

**Exhibit G: Maps**

**[attached]**



BUFORD DR

PLAINS COURT WAY

FINANCIAL CENTER WAY

MALL OF GEORGIA DR

NATURE CENTER PKWY

COASTAL AVE

MALL OF GEORGIA BLVD

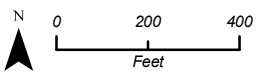
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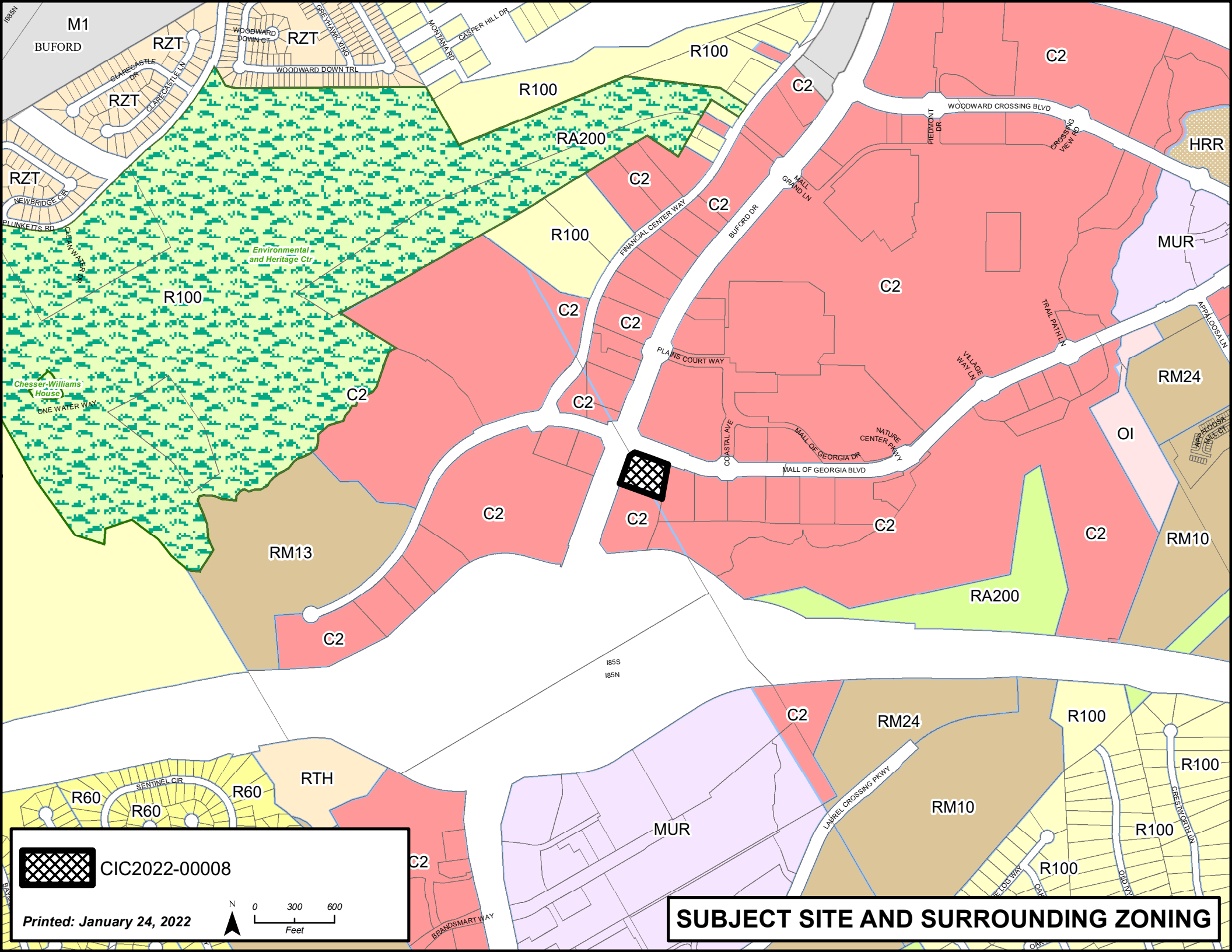
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Printed: January 25, 2022





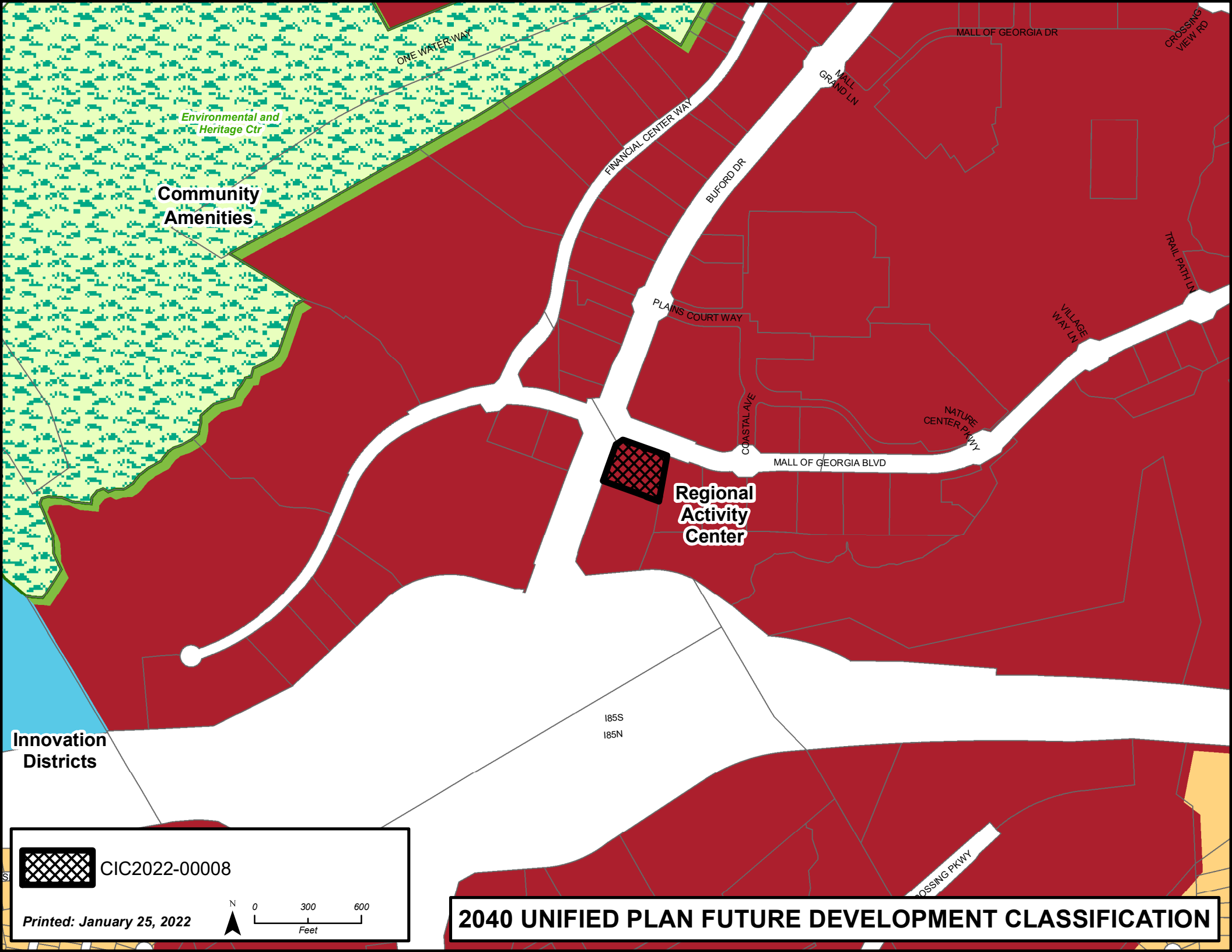
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Printed: January 24, 2022



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**SUBJECT SITE AND SURROUNDING ZONING**



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CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Fatih Aydin</u> c/o Karen Quintanilla	NAME: <u>Land T Family, LLC</u>
ADDRESS: <u>1825 Mail of Georgia Blvd</u> <u>Suite B</u>	ADDRESS: <u>1590 Robins Walk</u>
CITY: <u>Buford</u>	CITY: <u>Alpharetta</u>
STATE: <u>Georgia</u> ZIP: <u>30519</u>	STATE: <u>GA</u> ZIP: <u>30005</u>
PHONE: <u>678 431 9448</u>	PHONE: <u>678 865 2696</u>
EMAIL: <u>fatihaydin@gmail.com</u>	EMAIL: _____
CONTACT PERSON: <u>Karen Quintanilla</u> PHONE: <u>678-249-9899</u>	
CONTACT'S E-MAIL: <u>karen@kingofkingsllc.com</u>	

<input checked="" type="checkbox"/> OWNER'S AGENT <input type="checkbox"/> PROPERTY OWNER <input type="checkbox"/> CONTRACT PURCHASER	
APPLICANT IS THE:	
ZONING DISTRICTS(S): <u>C-2</u>	PRIOR ZONING CASE: <u>SUP2020-00037</u>
PARCEL NUMBER(S): <u>R7176-070</u>	ACREAGE: <u>1.92</u>
ADDRESS OF PROPERTY: <u>1825 Mail of Georgia Blvd, Suite B &amp; B1, Buford</u> <u>Georgia 30519</u>	
PROPOSED CHANGE IN CONDITIONS: _____	
<b>RESIDENTIAL DEVELOPMENT:</b>	<b>NON-RESIDENTIAL DEVELOPMENT:</b>
NO. OF LOTS/DWELLING UNITS: _____	NO. OF BUILDINGS/LOTS: <u>175 &amp; 176</u>
DWELLING UNIT SIZE (Sq. Ft.): _____	TOTAL GROSS SQUARE FEET: <u>2390</u>
GROSS DENSITY: _____	DENSITY: _____
NET DENSITY: _____	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

**RECEIVED**

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## LEGAL DESCRIPTION

All that tract or parcel of land lying in Land Lot 175 & 176, · 7th District, Gwinnett County, Georgia and being more particularly described as follows: COMMENCING at the corner common to Land Lots 144, 145, 175 & 177; Thence running South 80 degrees 14 minutes 15 seconds West, a distance of 3652.00 to an iron pin set and the TRUE POINT OF BEGINNING; Thence running along the southerly margin of the . right-of-way of Mall of Georgia Boulevard (variable width right-of-way) South 74 degrees 39 minutes 07 seconds East, a distance of 24.21 feet to a Yi inch reinforcing rod found; Thence continuing along said right-of-way South 69 degrees 42 minutes 39 seconds East, a distance of 238.36 feet to a pk nail found; Thence leaving said right-of way running South 10 degrees 13 minutes 03 seconds West, a distance of 273.20 feet to an iron pin set; Thence running North 69 degrees 42 minutes 31 seconds West, a distance of 339.20 feet to a Yi inch reinforcing rod found on the easterly margin of the right-of-way of Buford Drive (S.R. 20) (variable width right-of-way); Thence running along said right-of-way North 20 degrees 17 minutes 55 seconds East, a distance of 194.25 feet to a Yi inch reinforcing rod found; Thence continuing along said right-of-way North 42 degrees 28 minutes 21 seconds East, a distance of 76.73 feet to a Yi inch reinforcing rod found; Thence continuing along said right-of- way North 18 degrees 22 minutes 01 seconds East, a distance of 1.60 feet to an iron pin set and the TRUE POINT OF BEGINNING.

Solid tract or parcel of land containing 1.920 Acres.

Wild Tribe Tattoos and Piercings  
1825 Mall of Georgia Blvd, Ste. B  
Buford, Georgia 30519  
Ph: 678-765-7530  
www.wildtribetattoos.com

## LETTER OF INTENT

### Business Summary

Wild Tribe Tattoos and Piercings is an upscale tattoo and body piercing studio in Buford, Georgia located at 1825 Mall of Georgia Boulevard, Buford, GA 30519. The studio is in a strip mall and features an open space for reception, waiting room, tattoo and piercing stations, a sterilization room, and a single bathroom. The studio is located in Suite B of the retail shopping center. The business was founded and is managed by Fatih Aydin. The business currently employs five full-time tattoo artist and one full-time body piercer and is on the verge of hiring at least 4 more tattoo artist, hence the fact the current space is now too small. Fatih's business goals are to become one of the leading tattoo studios in the State of Georgia and to deliver the highest customer service and help favorably every artist it hires. The vision is to expand and create jobs for tattoo and/or piercing first-timers and veterans that are able to work with established, talented artists with excellent reputations in the industry. In addition, Wild Tribe Tattoos will make ensure that every member of the workforce attains required training that will position them to meet the company expectations and to compete with leading tattoo artist studios in the state. The business offers small, introductory tattoos from existing designs, basic tattoos that can be executed in one hour, and half-day sessions with the artists. The artists are available to provide extended consultations and custom design work with the customers as needed. Wild Tribe Tattoos offers body piercing options in a safe, sterile, and private environment performed by a licensed body piercer. In addition to providing body piercing and tattooing, the business also sells body piercing jewelry as well as tattoo and piercing aftercare products.

### Studio Description

The Wild Tribe Tattoos studio is designed to have an upscale ambiance. The waiting area has a relaxed, yet refined decor featuring a leather sofa, marble coffee table, unique accent pieces, and body jewelry display cases.

Each artist station is equipped with a sink and workstation area, storage cabinet, shelving, white tattoo chair, artist stool, and mirror.

The rear of the space contains an enclosed sterilization room as well as a public restroom.

### Business Experience

Fatih Aydin owner of Wild Tribe Tattoos has worked in the body piercing industry for over ten years and the tattoo industry for approximately three years. In 2011 he opened Wild Tribe Body

Jewelry inside the Mall of Georgia. The business sells were a large assortment of body piercing jewelry and were a consistent flow of repeat customers. The business was able to increase the

Wild Tribe Tattoos and Piercings  
1825 Mall of Georgia Blvd, Ste. B  
Buford, Georgia 30519  
Ph: 678-765-7530  
www.wildtribetattoos.com

client base and referrals for Wild Tribe Tattoos and Piercings. In November of 2018, Fatih Aydin opened Wild Tribe Tattoos and Piercing and has successfully operated since.

### Business Requirements Summary

Requirements for Wild Tribe Tattoos and Piercings includes licenses and permits including a special use permit, business license, health department permit, and occupancy permit. The business maintains, at minimum, the required liability and property insurance needed for the business and by the landlord.

### Competitive Edge

Wild Tribe Tattoos has created a competitive edge through the cultivation and retention of its most valuable assets - its artists. Fatih Aydin is tied to the business as an owner and the artists are well rewarded for their work through commissions on body piercings and tattoos. By not having to worry about overhead, rent, establishing a brand, purchasing basic supplies, or other business expenses, this is a perfect situation for artists who want to focus on their art, establish job security, and establish a client base with limited risk.

### Marketing Strategy

The marketing strategy of the business involves marketing to a wide range of potential customers in the Buford, Georgia area. The following tactics are utilized:

- Referrals by existing clients
- Social Media Promotions and Campaigns
- Hand deliver business cards and promotional flyers
- Google ads, directing potential clients to website
- Yelp listing and Yellow pages

### Change in Conditions

Wild Tribe Tattoos current conditions retail and service commercial and accessory uses, which may include a tattoo parlor as a special use. The existing special use permit application does not allow for the exceeding square footage of 1,071.

Wild Tribe Tattoos will be leasing Suite B1 and removing the wall the divides the two suits adding 1,319 square feet, making the total of 2,390 square feet. Wild Tribe Tattoos is not requesting a new use, but rather the continuation of an existing use and expanding the square footage in the existing location.

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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Wild Tribe Tattoos and Piercings  
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Burford, Georgia 30519  
Ph: 678-765-7530  
www.wildtribetattoos.com

With respect to the second standard whether a proposed change in conditions will adversely affect the existing use or usability of adjacent nearby property – the answer is clearly “No” Wild Tribe Tattoos, CIC has existed since 2018 without negatively impacting the usability of nearby properties. Extending the square footage will not impact the nearby business.

The third standard – whether the property to be affected by a proposed change in conditions has reasonable economic use as currently zoned – Wild Tribe Tattoos is requesting an expansion in the square footage. The fourth standard, which looks at whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing street, transportation, facilities, utilities, or schools. Will not result in negative impact on the streets, transportation facilities, utilities, or schools.

The answer to the fifth standard – whether the proposed change in conditions is in conformity with the policy and intent of the land use plan – Yes, The Board of Commissioners has approved the current special use permit allowing for a lease space condition not exceeding 1,071 square feet. Removing this condition will allow Wild Tribe Tattoos to continue its pursuit projects of expanding.

Finally, the sixth standard – whether there are other existing or change conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions – supports Wild Tribe Tattoos request. The existing approved (Special Use Permit) is actively in use. Approving the change in condition in adding the additional 1,319 square footage to continue to operate will undoubtedly benefit other nearby business.

Based on the foregoing, Wild Tribe Tattoos respectfully asks that the county approve this request and Change in Conditions Request. This will allow Wild Tribe Tattoos to expand.

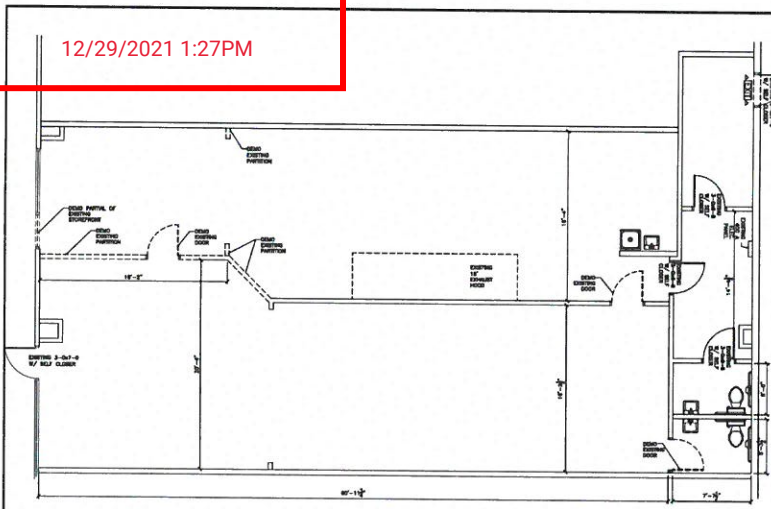
As soon as a hearing is scheduled, please notify us of the date and time so we may attend.

Thank you for gracious consideration in this application.

Fatih Aydin  
(678) 431-9448  
[1fatihayin@gmail.com](mailto:1fatihayin@gmail.com)

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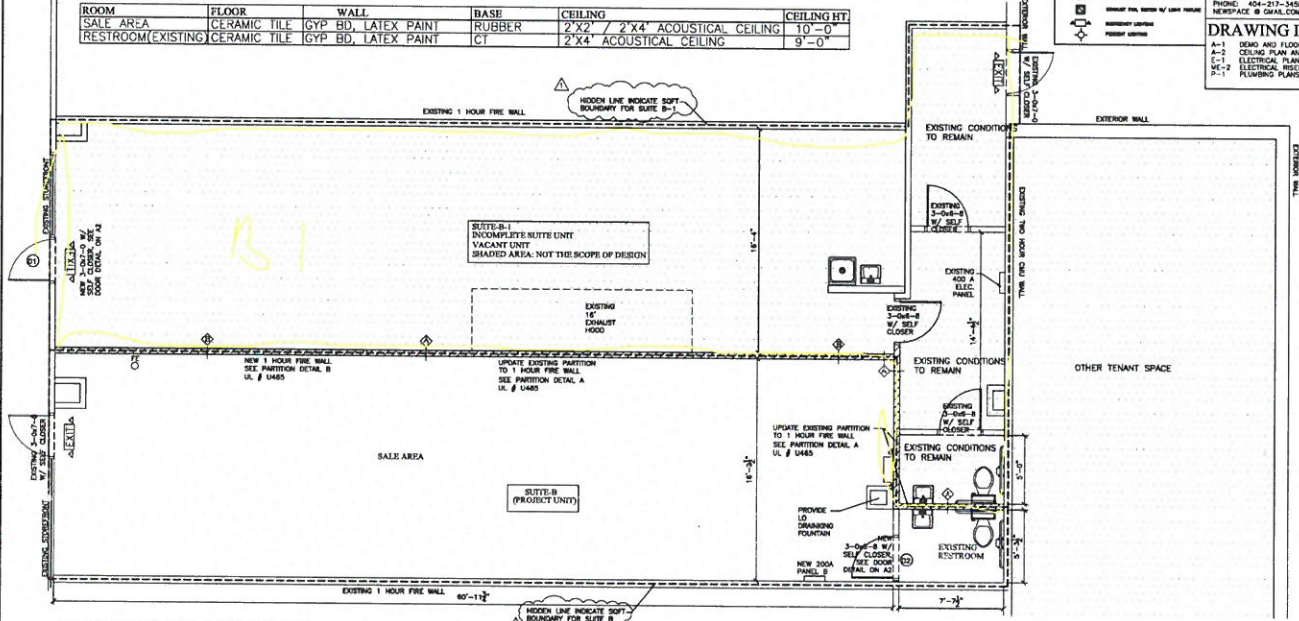


EXISTING & DEMOLITION FLOOR PLAN

SCALE: 3/16"=1'-0"

INTERIOR FINISH SCHEDULE

ROOM	FLOOR	WALL	BASE	CEILING	CEILING HT.
SALE AREA	CERAMIC TILE	GYP BD, LATEX PAINT	RUBBER	2'X2' / 2'X4' ACOUSTICAL CEILING	10'-0"
RESTROOM (EXISTING)	CERAMIC TILE	GYP BD, LATEX PAINT	CT	2'X4' ACOUSTICAL CEILING	9'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

**PROJECT DATA (SUITE B)**  
 SQUARE FOOTAGE  
 1973 SQFT  
 OCCUPANCY CLASSIFICATION  
 MEDICARE WEL CLASS C  
 CONSTRUCTION CLASSIFICATION  
 TYPE I-B, UNPROTECTED, FULLY-SPRINKLED  
 OCCUPANCY LOAD CALCULATION  
 SALE AREA = 988 / 30 = 33  
 TOTAL = 33  
 NUMBER OF EXIT  
 REQUIRED 1  
 PROVIDED 1  
 FIRE ALARM  
 NOT PROVIDED  
 EGRESS CALCULATION  
 REQUIRED 33 x 0.2 = 6.6'  
 PROVIDED 3'  
 FLOOR LEVEL: 1  
 NUMBER OF STORIES  
 IN BUILDING: 1

**PROJECT DATA (SUITE B-1)**  
 SQUARE FOOTAGE  
 1316 SQFT  
 OCCUPANCY CLASSIFICATION  
 NOT DETERMINED AT THIS TIME  
 CONSTRUCTION CLASSIFICATION  
 TYPE I-B, UNPROTECTED, FULLY-SPRINKLED  
 OCCUPANCY LOAD CALCULATION  
 NOT DETERMINED AT THIS TIME  
 NUMBER OF EXIT  
 NOT DETERMINED  
 FIRE ALARM  
 NOT PROVIDED  
 EGRESS CALCULATION  
 NOT DETERMINED AT THIS TIME  
 FLOOR LEVEL: 1  
 NUMBER OF STORIES  
 IN BUILDING: 1

**SCOPE OF WORK**  
 SPLIT EXISTING RESTROOM INTO TWO REST ROOMS. THE CURRENT PROJECT IS A CIGAR STORE WHICH IS LOCATED ON THE RIGHT SIDE. THE OTHER UNIT (SUITE B-1) IS AN UNFINISHED RETAIL UNIT.  
 PROVIDE NEW ONE-HOUR RATED DEMISING WALL. UPGRADE EXISTING NON-FIRE RATED PARTITION TO ONE HOUR RATED DEMISING WALL.  
 2'X2' AND 2'X4' ACOUSTICAL CEILING TILES ARE EXISTING TO REMAIN.  
 TWO 3-TON RULS ARE EXISTING TO REMAIN PER THE RULS IN SUITE B. PROVIDE NEW GAS LINE SYSTEM TO SERVE THE RULS FOR SUITE B.  
 FOR PLUMBING SCOPE:  
 PROVIDE A NEW DRINKING FOUNTAIN. PROVIDE NEW PLUMBING WORK AS INDICATED ON THE PLAN.  
 PROJECT 2  
 FOR GAS SCOPE:  
 GAS METER IS EXISTING TO REMAIN FOR SUITE B-1. PROVIDE A NEW GAS METER FOR SUITE B. CONNECT EXISTING RULS AT SUITE B TO NEW GAS METER.  
 FOR ELECTRICAL SCOPE:  
 PROVIDE 1 NEW 200 AMP ELECTRICAL PANEL IN SUITE B. CONNECT NEW LIGHTING AND POWER FEEDLINES TO NEW ELECTRICAL PANELS. CONNECT EXISTING RULS FOR SUITE B TO NEW PANEL.

**GENERAL NOTES**  
 1. (DOORS/WINDOWS) HANDLS, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHARP, TIGHT FIT TO GRAB WITH ONE HAND. FEELS ARE TO BE EXISTING. TRIM FINISHING, OR TRIMMING MECHANICALS, AND SHARPENED LIVES-OPERATED MECHANICALS, PUSH-TYPE.  
 2. (FLUSH CONTROLS) SHALL BE INSTALLED PER RULE AND SHALL NOT REQUIRE 10" CHANGING, FINISHING OR TRIMMING OF THE WALL. CONTROLS FOR FLUSH HANDLES SHALL BE INSTALLED ON THE WIDE SIDE OF TOILET AREA NO MORE THAN 44 INCH ABOVE THE FLOOR.  
 3. (FRIGID PIPES AND SHARPS) HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR COVERED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO NARROW OR ABRAZIVE SURFACES UNDER LAVATORIES.  
 4. (EXIT DOORS) SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE. LIFE SAFETY CODE.  
 5. THE STREET NUMBER MUST BE VISIBLE FROM THE STREET THAT PROVIDES DRIVEWAY ACCESS TO THE PROPERTY AND PLACED ON A CONTRASTING BACKGROUND THAT PROVIDES 24 HOUR VISIBLE. THE STREET NUMBER MUST ALSO MEET ONE OF THE FOLLOWING SIZE REQUIREMENTS: (1) IF THE STREET NUMBER IS WITHIN 15 FEET OR LESS OF THE CURB OR EDGE OF PAVEMENT OF THE STREET, THE STREET NUMBER SHALL BE POSTED IN FIGURES AT LEAST 4 INCHES IN HEIGHT; (2) IF THE STREET NUMBER IS PLACED MORE THAN 15' FROM THE CURB OR EDGE OF PAVEMENT OF THE STREET, THE STREET NUMBER SHALL BE POSTED IN FIGURES AT LEAST 6 INCHES IN HEIGHT. INTERNATIONAL FIRE CODE.  
 6. COMBUSTIBLE INTERIOR FINISH PRODUCTS SHALL BE PROVIDED FOR THE REQUIREMENTS OF THE RESIDUAL OCCUPANCY CHAPTER OF THE NFPA 101 LIFE SAFETY CODE 2008 EDITION. PROVIDE VENTILATION AT THE TIME OF FINAL INSPECTION THAT THE PRODUCTS COMPLY WITH THE REQUIREMENTS.  
 7. A MINIMUM OF (1) 2A10BC CLASSIFICATION FIRE EXTINGUISHER SHALL BE PROVIDED FOR EVERY 3000 SF AND PLACED NOT TO EXCEED 75' TRAVEL DISTANCE, AND SHALL BE INSTALLED AT A MAXIMUM OF 48" ABOVE FINISH FLOOR TO THE TOP OF HANDRAIL. PROVIDE (1) F.E. FOR THIS PRODUCT.  
 8. FINISH HARDWARE SHALL BE PROVIDED FOR ALL EXIT DOORS PER THE REQUIREMENTS OF NFPA 101 LIFE SAFETY CODE.  
 9. CONTRACTOR SHALL SECURE ALL FIRE DEPARTMENT PERMITS AND ACCEPTANCE OF INSTALLED LIFE SAFETY SYSTEMS, FIRE PROTECTION, AND FIRE ALARM PRIOR TO TENANT OCCUPANCY OF THE BUILDING.  
 10. (HEIGHT OF TABLES OR COUNTERS) THE TOPS OF ACCESSIBLE TABLES AND COUNTERS SHALL BE FROM 36" ABOVE THE FINISHED FLOOR OR GROUND.  
 11. (BEAMS OR COLLINGS) THAT ARE PART OF A FIRE WALL OR CEILING ASSEMBLY SHALL BE PROTECTED TO ACHIEVE THE FIRE RATING OF THE WALL OR CEILING ASSEMBLY PER NFPA 101 LIFE SAFETY CODE.  
 12. SIGNS SHALL BE IDENTIFIED SEPARATELY. CONTACT BUILDING PLAN REVIEW FOR ADDITIONAL INFORMATION FOR GROUND SIGNS. SUBMIT COMPLETE STRUCTURAL AND ELECTRICAL DETAILS WHICH CLEARLY INDICATE CONSTRUCTION REQUIREMENTS.  
 13. "SIGN" LOCATION, NUMBER AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.  
 14. MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS SHALL SUBMIT AFFIDAVITS FOR EACH BUILDING PERMIT TO THE BUILDING PERMITS SECTION AT LEAST TWO (2) BUSINESS DAYS BEFORE SCHEDULING INSPECTIONS. (OBTAIN AFFIDAVIT FORMS FROM BUILDING PERMITS SECTION).  
 15. A SIGN CLEARLY STATING THAT SMOKING IS PROHIBITED SHALL BE CONSPICUOUSLY POSTED WITHIN EACH BUILDING AND AT EACH BUILDING ENTRANCE. ACCEPTABLE SIGNS SHALL DISPLAY EITHER "NO SMOKING" OR THE INTERNATIONAL "NO SMOKING" SYMBOL, (CONSISTING OF A PICTORIAL REPRESENTATION OF A BURNING CIGARETTE ENVELOPE WITH A RED CIRCLE WITH A RED BAR ACROSS IT).  
 16. PROVIDE SUITE DESIGNATION ON ALL EXTERIOR DOORS. MINIMUM SIZE OF 4"  
 17. EXIT SIGNS COMPLYING WITH NFPA 101 LIFE SAFETY CODE, SHALL BE INSTALLED. ADDITIONAL EXIT SIGNS MAY BE REQUIRED UPON FIELD INSPECTION.  
 18. EMERGENCY LIGHTING COMPLYING WITH NFPA 101 LIFE SAFETY CODE, SHALL BE INSTALLED. ADDITIONAL EMERGENCY LIGHTING MAY BE REQUIRED UPON FIELD INSPECTION.  
 19. (SIGNAGE FOR RESTROOM) SHALL BE RAISED AND BRILLE CHARACTERS AND PICTORIAL SYMBOLS. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING HEIGHT SHALL BE 60 INCHES ABOVE FINISH FLOOR TO THE CENTER LINE OF THE SIGN.  
 20. SELF-CLOSING DEVICES SHALL MEET THE REQUIREMENTS OF THE NFPA 101 LIFE SAFETY CODE.  
 21. PROVIDE AN ANNUAL SPRINKLER SYSTEM TEST CERTIFICATE AT THE TIME OF FINAL INSPECTION.  
 22. WHERE ONLY ONE DRINKING FOUNTAIN IS PROVIDED ON A FLOOR THERE SHALL BE A DRINKING FOUNTAIN WHICH IS ACCESSIBLE TO INDIVIDUALS WHO USE WHEELCHAIRS IN ACCORDANCE WITH RULES 225-3-20-8-10. THE CODE ACCESSIBILITY CODE, AND ONE ACCESSIBLE TO THOSE WHO HAVE DIFFICULTY BENDING OR STOOPIING THIS CAN BE ACCOMMODATED BY THE USE OF A "TRAY" FOUNTAIN OR AN INVERTED "J" SPOUT WITH A PAPER CUP DISPENSER ANCHORED TO THE WALL.

**FIRE MARSHAL NOTE:**  
 CONTACT THE GWINNETT COUNTY FIRE MARSHAL'S (INSPECTION REQUEST LINE) AT 878-111-8277 FOR INSPECTIONS AT 800 AND 1000 HOUR COMPLETION. INSPECTIONS WILL BE PERFORMED AS FOLLOWS: COMPLETION INSPECTION OF ANY FIRE RATED BARRIERS, FLOOR OR CEILING. 100% COMPLETION. ALL SYSTEMS, EQUIPMENT INSTALLED AND OPERATING. READY FOR OCCUPANCY. THE INSPECTION REQUEST MUST BE PROVIDED IN BEFORE 2:00 P.M. THE DAY PRIOR TO THE DATE THE INSPECTION IS NEEDED.

**APPLICABLE CODES**  
 INTERNATIONAL BUILDING CODE, 2018 EDITION WITH 2014, 2015 & 2016 GEORGIA STATE AMENDMENTS  
 INTERNATIONAL MECHANICAL CODE, 2012 EDITION WITH 2014 & 2015 GEORGIA STATE AMENDMENTS  
 INTERNATIONAL PLUMBING CODE, 2013 EDITION WITH 2014 & 2015 GEORGIA STATE AMENDMENTS AND IPC APPENDIX 7  
 INTERNATIONAL FIRE CODE, 2008 EDITION WITH 2014 & 2015 GEORGIA STATE AMENDMENTS  
 NFPA NATIONAL ELECTRICAL CODE, 2014 EDITION  
 INTERNATIONAL ENERGY CONSERVATION CODE, 2008 EDITION WITH 2011 & 2012 GEORGIA STATE AMENDMENTS  
 INTERNATIONAL SIGNING CODE AND SIGN CODE, 2012 EDITION WITH 2014 GEORGIA STATE AMENDMENTS  
 INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION WITH 2013 GEORGIA STATE AMENDMENTS  
 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, 2012 EDITION WITH 2014 & 2015 GEORGIA STATE AMENDMENTS, AND IRC APPENDIX F

**LEGEND**  
 Hatched area: EXISTING WALL TO REMAIN  
 Dashed line: EXISTING WALL TO BE DEMOLISHED  
 Solid line: NEW WALL  
 Solid line with dots: EXISTING WALL TO REMAIN  
 Solid line with diagonal lines: EXISTING WALL TO BE DEMOLISHED  
 Solid line with cross-hatch: NEW WALL  
 Solid line with vertical lines: EXISTING WALL TO REMAIN  
 Solid line with horizontal lines: EXISTING WALL TO BE DEMOLISHED  
 Solid line with diagonal lines (top-left to bottom-right): NEW WALL  
 Solid line with diagonal lines (top-right to bottom-left): EXISTING WALL TO REMAIN  
 Solid line with diagonal lines (bottom-left to top-right): EXISTING WALL TO BE DEMOLISHED  
 Solid line with diagonal lines (bottom-right to top-left): NEW WALL

**TEAM**  
 ARCHITECT  
 NEW SPACE DESIGN, INC.  
 3311 NORTH BERRYLEIGH LAKE ROAD, SUITE 100  
 DUBLIN, GA 30098  
 ATT: ZHI (ZHI) FENG, R.A.  
 GA REGISTRATION NUMBER: RA000006  
 PHONE: 404-217-3458  
 FAX: (478) 255-8188  
 EMAIL: ZHI@NSDGA.COM  
 MEP ENGINEER  
 DR DESIGN GROUP, INC.  
 3985 STEVE REYNOLDS BLVD.  
 BUILDING W, STE 101-A  
 NORCROSS, GA 30093  
 PHONE: (678) 942-9999  
 FAX: (478) 255-8188  
 EMAIL: CHANCE@775 @GMAIL.COM

**DRAWING INDEX**  
 DEMO AND FLOOR PLAN  
 A-1 CEILING PLAN AND DETAILS  
 A-2 ELECTRICAL PLAN  
 ME-1 ELECTRICAL PLAN  
 ME-2 PLUMBING PLANS

**KEY PLAN**  
 NOT TO SCALE

PROJECT NAME AND ADDRESS  
 NEW SPACE DESIGN, INC.  
 3311 NORTH BERRYLEIGH LAKE ROAD  
 SUITE 100  
 DUBLIN, GA 30098  
 PHONE: (404) 217-3458  
 FAX: (770) 783-2978  
 Email: newspacedesign@gmail.com



**REVISIONS**  
 1/30/17 PER COUNTY COMMENTS

PROJECT NAME AND ADDRESS  
 INTERIOR FINISH PLAN FOR VIP CIGARS SUITE B AND INCOMPLETE SUITE UNIT B-1  
 1823 MALL OF GEORGIA BLVD., SUITE B  
 BUFORD, GA 30519

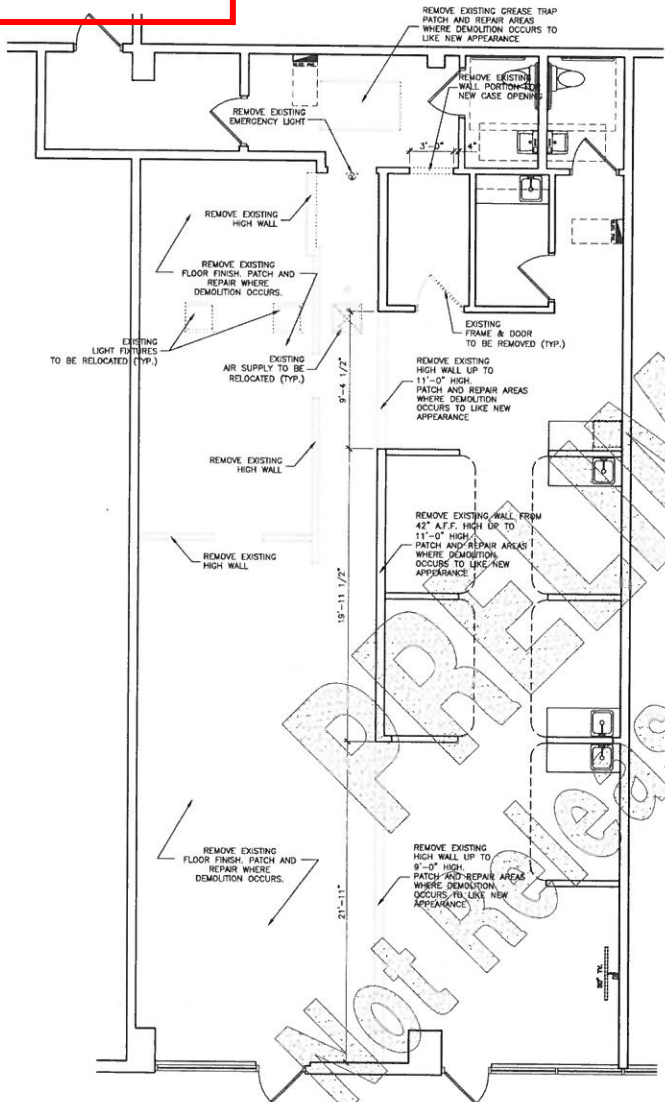
DATE: 1/3/17  
 SHEET TITLE: DEMO & FLOOR PLAN  
 SHEET NUMBER: A-1





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DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

- GENERAL**
- FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY PROJECT COORDINATOR OF ANY DISCREPANCIES IN WRITING PRIOR TO ONSET OF DEMOLITION.
  - DEMOLITION ITEMS MAY NOT BE ALL INCLUSIVE; THE DEMOLITION CONTRACTOR IS TO REVIEW THE REQUIREMENTS OF NEW CONSTRUCTION AND IS TO COMPLETE ALL DEMOLITION, CUTTING, AND PATCHING NECESSARY TO ACHIEVE INTENDED NEW CONDITION AND QUALITY.
  - ELECTIVE DEMOLITION IS NOT INDICATED IN AREAS WHERE IT MAY BE NECESSARY TO DEMOLISH ALL OR PART OF AN EXISTING BUILDING COMPONENT TO GAIN ACCESS TO AREAS FOR TIE-IN TO BUILDING SYSTEMS, OR WHICH MAY BE REQUIRED TO INSTALL NEW CONSTRUCTION INDICATED ON THE DRAWINGS. DEMOLITION FOR THESE PURPOSES SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND THE AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION PRIOR TO BEGINNING CONSTRUCTION.
  - DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE LOCAL BUILDING CODES.
  - EXERCISE EXTREME CAUTION IN THIS DEMOLITION; COST OF REPAIR TO ANY ADJACENT CONDITIONS WHICH ARE DAMAGED AS A RESULT OF THIS DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - RELOCATION OF MATERIAL; RELOCATION OF ANY ITEMS INVOLVED IN THE PROJECT IS SUBJECT TO THE AGENCY, TO DO SO WITHOUT PERMANENTLY DAMAGING OR HARMING THE ITEMS TO BE RELOCATED; IF RELOCATION OF ANY ITEM IS NOT POSSIBLE AS PRESCRIBED HEREIN, NEW MATERIALS SHALL BE SUBSTITUTED TO MATCH EXISTING; SAFELY STORE MATERIAL TO BE REUSED UNTIL TIME OF INSTALLATION.
  - ALL MATERIALS TO BE DISPOSED OF ARE TO BE DISPOSED OF BY THE CONTRACTOR OFF THE PROJECT SITE IN ACCORDANCE WITH LOCAL RESTRICTIONS UNLESS NOTED OTHERWISE.
  - ALL AREAS SHALL BE KEPT IN A BROOM CLEAN CONDITION AT ALL TIMES.

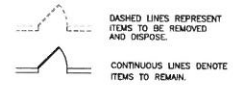
- SITE**
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK. INACTIVE OR ABANDONED UTILITIES SHALL BE CAPPED IN ACCORDANCE WITH LOCAL RESTRICTION. REMOVE ALL INACTIVE SERVICES (PLUMBING, MECHANICAL, ELECTRICAL, ETC.) AS REQUIRED TO MAINTAIN OPERATION.
  - MAINTAIN COMPLETE SECURITY OF THE JOB SITE WHILE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.

- ARCHITECTURE**
- THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES.

- STRUCTURAL**
- PROTECT ALL STRUCTURAL MEMBERS FROM DAMAGE.
  - DURING DEMOLITION, BRACE ALL EXISTING STRUCTURES AS NEEDED.
  - DO NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. NOTIFY PROJECT DESIGNER/ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION TO OBTAIN APPROVAL.
  - IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS IN THE FLOOR DECK, PERFORM THE NECESSARY WORK REQUIRED TO PROVIDE A SMOOTH DECK PREPARED TO RECEIVE NEW FINISHES.

- MECHANICAL/ELECTRICAL/PLUMBING**
- PROVIDE ALL NECESSARY DEMOLITION FOR NEW PLUMBING, MECHANICAL, AND ELECTRICAL WORK AS REQUIRED. COORDINATE WITH CONSTRUCTION DOCUMENTS FOR NEW CONSTRUCTION.

- FIRE PROTECTION**
- ANY EXISTING TO REMAIN FIRE ASSEMBLIES DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.
  - WHERE INDICATED ON PLAN REMOVE EXISTING FLOOR FINISHES AND PREPARE SLAB TO RECEIVE NEW FLOOR FINISHES UNLESS OTHERWISE NOTED ON PLAN AND SCHEDULES, OR NOTES.
  - PATCH AND REPAIR ALL AREAS WHERE A DEMOLISHED WALL INTERSECTS A REMAINING WALL, EITHER FINISH EXISTING WALL TO MATCH ADJACENT SURFACE, OR PREPARE WALL TO RECEIVE NEW FINISHES, AS DIRECTED BY FINISH PLANS, SCHEDULES, AND NOTES.



PROJECT COORDINATOR:

ARCHITECTURE, PLANNING & DESIGN  
4635 PINE ISLE WAY  
SUGAR HILL, GA 30058  
OFFICE: 770-651-8300  
info@fgarchitecture.net

**CONTRACT NOTES**

THIS DRAWING IS COPY AND ALL RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE OWNER.

**REVISIONS**

Date	Revisions / Submitters
11-18-2021	ISSUED FOR OWNER REVIEW
11-18-2021	OWNER'S MODIFICATIONS
12-01-2021	ISSUED FOR OWNER REVIEW

**WILD TRIBE  
TATTOO AND PIERCINGS**  
"EXPANSION TO SUITE B-1"  
1825 MALL OF GEORGIA BLVD.  
SUITE B  
BUFORD, GA 30059

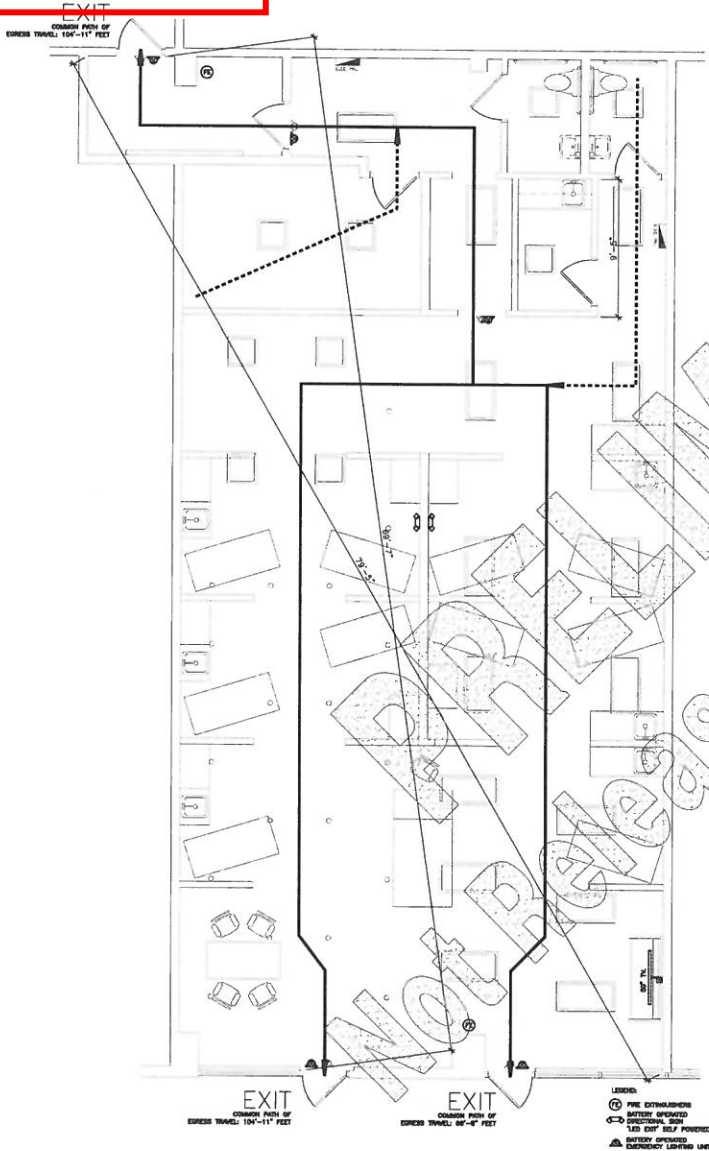
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DRAWN: TEAM  
CHECKED BY: FO

DEMOLITION PLAN & NOTES

D-1

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1 LIFE SAFETY/EXIT PLAN  
SCALE: 1/4" = 1'-0"

OCCUPANCY LOAD CALCULATION: (2018 NFPA 101 LIFE SAFETY CODE)

**BUSINESS AREA**  
BUSINESS TOTAL AREA: 1,825 SQ.FT.  
BUSINESS/150 NET FLOOR AREA IN SQ.FT. PER OCCUPANT.  
 $1,825 \text{ SQ.FT.} / 150 = 12.16 \text{ (12) PERSONS}$

**CONCENTRATED BUSINESS AREA**  
CONCENTRATED BUSINESS TOTAL AREA: 405 SQ.FT.  
CONCENTRATED BUSINESS/50 GROSS FLOOR AREA IN SQ.FT. PER OCCUPANT.  
 $405 \text{ SQ.FT.} / 50 = 8.1 \text{ (8) PERSONS}$

**STORAGE AREA**  
STORAGE TOTAL AREA: 165 SQ.FT.  
STORAGE/500 GROSS FLOOR AREA IN SQ.FT. PER OCCUPANT.  
 $165 \text{ SQ.FT.} / 500 = 0.33 \text{ (1) PERSONS}$

**TOTAL ALLOWABLE OCCUPANCY : 21**

EGRESS WIDTH REQUIRED TOTAL OCCUPANTS:  $21 \times 0.2 = 4.2$  INCHES  
CALCULATION: PROVIDED 108" PROVIDED > 4.2" REQUIRED

EXITS REQUIRED: 2  
EXITS PROVIDED: 3

- NOTE:
1. MEAN OF EGRESS WILL BE ILLUMINATED (NFPA 38.2.8) AND EMERGENCY LIGHT IS PROVIDED (NFPA 38.2.9)
  2. EXIT DOORS SHOULD BE PROVIDED WITH PANIC HARDWARE

PROJECT COORDINATOR:

ARCHITECTURE

ARCHITECTURE . PLANNING . DESIGN  
4835 PINE ISLE WAY  
SUGAR HILL, GA 30518  
OFFICE: 770-851-6300  
info@fgarchitecture.net

DISCLAIMER NOTE:

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SCOPE OF DOCUMENT:

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Date	Revisions / Submissions
11-18-2021	ISSUED FOR OWNER REVIEW
11-18-2021	OWNER'S MODIFICATIONS
12-01-2021	ISSUED FOR OWNER REVIEW

**WILD TRIBE  
TATTOO AND PIERCINGS  
"EXPANSION TO SUITE B-1"**

1825 MALL OF GEORGIA BLVD.  
SUITE B  
BUFORD, GA 30519

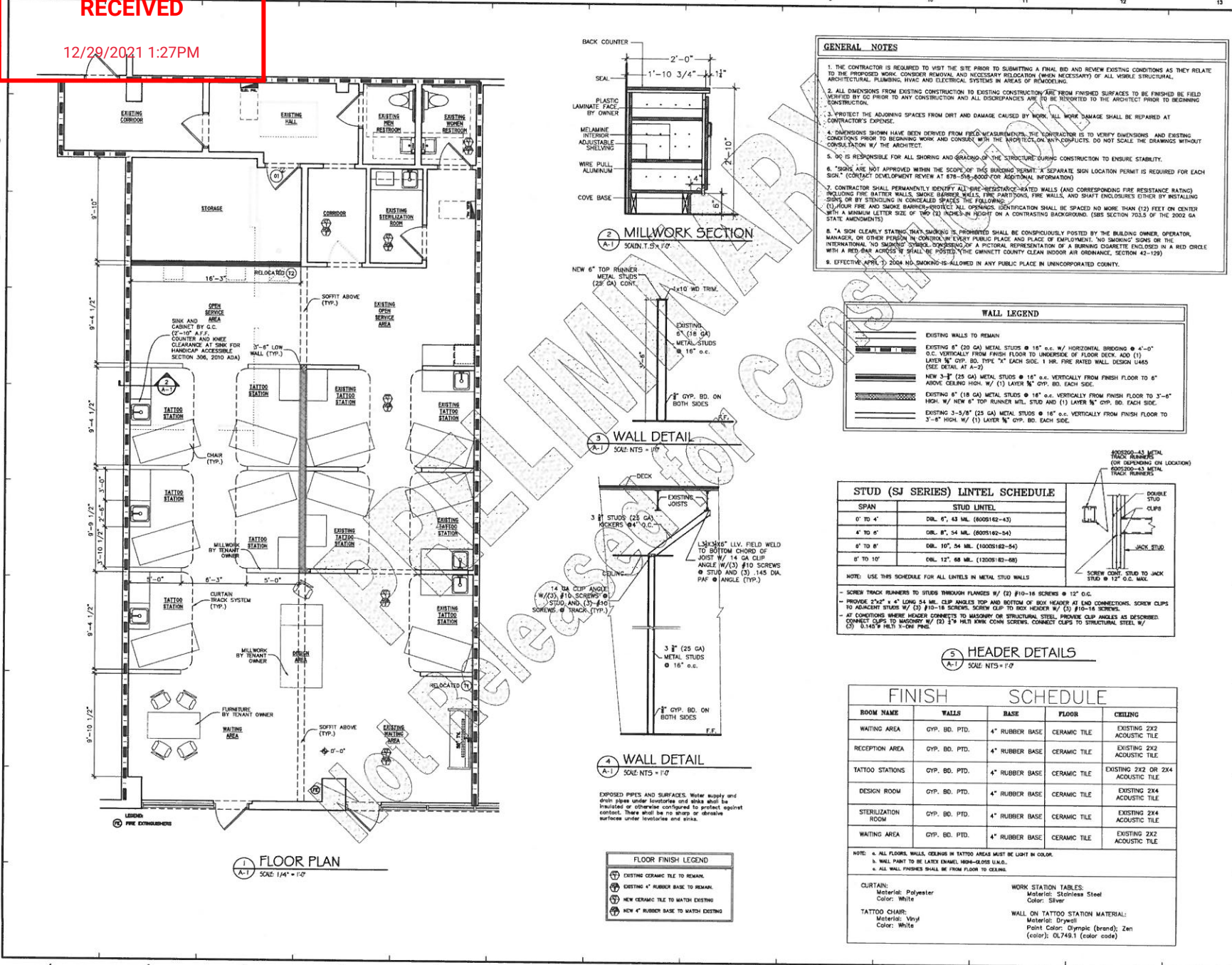
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LIFE SAFETY  
PLAN  
& NOTES

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**GENERAL NOTES**

1. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE PRIOR TO SUBMITTING A FINAL BID AND REVIEW EXISTING CONDITIONS AS THEY RELATE TO THE PROPOSED WORK. CONSIDER REMOVAL AND NECESSARY RELOCATION (WHEN NECESSARY) OF ALL MOBILE STRUCTURAL, ARCHITECTURAL, PLUMBING, HVAC AND ELECTRICAL SYSTEMS IN AREAS OF REMODELING.
2. ALL DIMENSIONS FROM EXISTING CONSTRUCTION TO EXISTING CONSTRUCTION ARE FROM FINISHED SURFACES TO BE FINISHED BE FIELD VERIFIED BY GC PRIOR TO ANY CONSTRUCTION AND ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
3. PROTECT THE ADJOINING SPACES FROM DIRT AND DAMAGE CAUSED BY WORK. ALL WORK DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
4. DIMENSIONS SHOWN HAVE BEEN DERIVED FROM FIELD MEASUREMENTS. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND CONSULT WITH THE ARCHITECT ON ANY DISCREPANCIES. DO NOT SCALE THE DRAWINGS WITHOUT CONSULTATION W/ THE ARCHITECT.
5. GC IS RESPONSIBLE FOR ALL SHORING AND BRACING ON THE STRUCTURE DURING CONSTRUCTION TO ENSURE STABILITY.
6. SIGNAGE IS NOT APPROVED WITHIN THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN. (CONTACT DEVELOPMENT REVIEW AT 878-518-6000 FOR ADDITIONAL INFORMATION)
7. CONTRACTOR SHALL PERMANENTLY IDENTIFY ALL FIRE-RESISTANT RATED WALLS (AND CORRESPONDING FIRE RESISTANCE RATING) INCLUDING FIRE BARRIER WALLS, SMOKE BARRIER WALLS, FIRE PARTITIONS, FIRE WALLS, AND SHAFT ENCLOSURES EITHER BY INSTALLING SIGNS OR BY STENCILING IN COLORED SPACES THE FOLLOWING:  
(1) HOUR FIRE AND SMOKE BARRIER-PROTECT ALL OPENINGS. IDENTIFICATION SHALL BE SPACED NO MORE THAN (12) FEET ON CENTER WITH A MINIMUM LETTER SIZE OF (20) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND. (SEE SECTION 703.5 OF THE 2002 GA STATE AMENDMENTS)
8. A "NO SMOKING" SIGN CLEARLY STATING THAT SMOKING IS PROHIBITED SHALL BE CONSPICUOUSLY POSTED BY THE BUILDING OWNER, OPERATOR, MANAGER, OR OTHER PERSON IN CONTROL IN EVERY PUBLIC PLACE AND PLACE OF EMPLOYMENT. "NO SMOKING" SIGNS OR OTHER INTERNATIONAL "NO SMOKING" SYMBOL CONSIDERED AS A PICTORIAL REPRESENTATION OF A BURNING CIGARETTE ENCLOSED IN A RED CIRCLE WITH A RED-RED ADDRESS "X" SHALL BE POSTED (THE GWINNETT COUNTY CLEAN INDOOR AIR ORDINANCE, SECTION 42-129)
9. EFFECTIVE APRIL 1, 2004 NO SMOKING IS ALLOWED IN ANY PUBLIC PLACE IN UNINCORPORATED COUNTY.

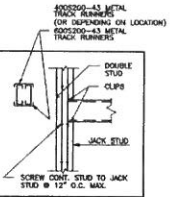
**WALL LEGEND**

- EXISTING WALLS TO REMAIN
- EXISTING 6" (20 GA) METAL STUDS @ 16" o.c. W/ HORIZONTAL BRIDGING @ 4'-0" O.C. VERTICALLY FROM FINISH FLOOR TO UNDERSIDE OF FLOOR DECK. ADD (1) LAYER N° GYP. BD. THICK 1/2" EACH SIDE. 1 HR. FIRE RATED WALL. (SEE DETAIL AT A-2)
- NEW 3-5/8" (25 GA) METAL STUDS @ 16" o.c. VERTICALLY FROM FINISH FLOOR TO 6" ABOVE CEILING HIGH. W/ (1) LAYER N° GYP. BD. EACH SIDE.
- EXISTING 6" (18 GA) METAL STUDS @ 16" o.c. VERTICALLY FROM FINISH FLOOR TO 3'-6" HIGH. W/ NEW 6" TOP RUNNER MET. STUD AND (1) LAYER N° GYP. BD. EACH SIDE.
- EXISTING 3-5/8" (25 GA) METAL STUDS @ 16" o.c. VERTICALLY FROM FINISH FLOOR TO 3'-6" HIGH. W/ (1) LAYER N° GYP. BD. EACH SIDE.

**STUD (SJ SERIES) LINTEL SCHEDULE**

SPAN	STUD LINTEL
0' TO 4'	DBL. 6", 43 ML. (8009182-43)
4' TO 6'	DBL. 8", 54 ML. (8009182-54)
6' TO 8'	DBL. 10", 54 ML. (10009182-54)
8' TO 10'	DBL. 12", 66 ML. (12009182-66)

NOTE: USE THIS SCHEDULE FOR ALL LINTELS IN METAL STUD WALLS



- SCREW TRACK RUNNERS TO STUDS THROUGH FLANGES W/ (2) #10-18 SCREWS @ 12" O.C.
- PROVIDE 2"x2" x 4" LONG 5/8" DIA. CLIP ANGLES TOP AND BOTTOM OF BOX HEADS AT END CONNECTIONS. SCREW CLIPS TO ADJACENT STUDS W/ (3) #10-18 SCREWS. SCREW CLIP TO BOX HEADER W/ (3) #10-18 SCREWS.
- AT CONNECTIONS WHERE HEADS CONNECT TO MASONRY OR STRUCTURAL STEEL, PROVIDE CLIP ANGLES AS DESCRIBED. CONNECT CLIPS TO MASONRY W/ (3) 3/8" DIA. RING COUPLER SCREWS. CONNECT CLIPS TO STRUCTURAL STEEL W/ (3) 0.145" HLT 3-DH PINS.

**5 HEADER DETAILS**

SCALE NTS = 1/4"

**FINISH SCHEDULE**

ROOM NAME	WALLS	BASE	FLOOR	CEILING
WAITING AREA	GYP. BD. PTD.	4" RUBBER BASE	CERAMIC TILE	EXISTING 2X2 ACOUSTIC TILE
RECEPTION AREA	GYP. BD. PTD.	4" RUBBER BASE	CERAMIC TILE	EXISTING 2X2 ACOUSTIC TILE
TATTOO STATIONS	GYP. BD. PTD.	4" RUBBER BASE	CERAMIC TILE	EXISTING 2X2 OR 2X4 ACOUSTIC TILE
DESIGN ROOM	GYP. BD. PTD.	4" RUBBER BASE	CERAMIC TILE	EXISTING 2X4 ACOUSTIC TILE
STERILIZATION ROOM	GYP. BD. PTD.	4" RUBBER BASE	CERAMIC TILE	EXISTING 2X4 ACOUSTIC TILE
WAITING AREA	GYP. BD. PTD.	4" RUBBER BASE	CERAMIC TILE	EXISTING 2X2 ACOUSTIC TILE

- NOTE:
- a. ALL FLOOR WALL CORNERS IN TATTOO AREAS MUST BE LIGHT IN COLOR.
  - b. WALL PAINT TO BE LATEX ENAMEL, NON-GLOSS FINISH.
  - c. ALL WALL FINISHES SHALL BE FROM FLOOR TO CEILING.

CURTAIN:  
Material: Polyester  
Color: White

TATTOO CHAIR:  
Material: Vinyl  
Paint Color: Olympic (brand); Zen  
Color: White

WORK STATION TABLES:  
Material: Stainless Steel  
Color: Silver

WALL ON TATTOO STATION MATERIAL:  
Material: Drywall  
Paint Color: Olympic (brand); Zen  
Color: 0L749.1 (color code)

**FLOOR FINISH LEGEND**

- EXISTING CERAMIC TILE TO REMAIN.
- EXISTING 4" RUBBER BASE TO REMAIN.
- NEW CERAMIC TILE TO MATCH EXISTING
- NEW 4" RUBBER BASE TO MATCH EXISTING

**1 FLOOR PLAN**

SCALE 1/4" = 1'-0"

PROJECT COORDINATOR:

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**REVISIONS**

Date	Revisions / Substitutions
11-15-2021	ISSUED FOR OWNER REVIEW
11-18-2021	OWNER'S MODIFICATIONS
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DRAWING TEAM  
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**FLOOR PLAN,  
DETAILS  
& NOTES**

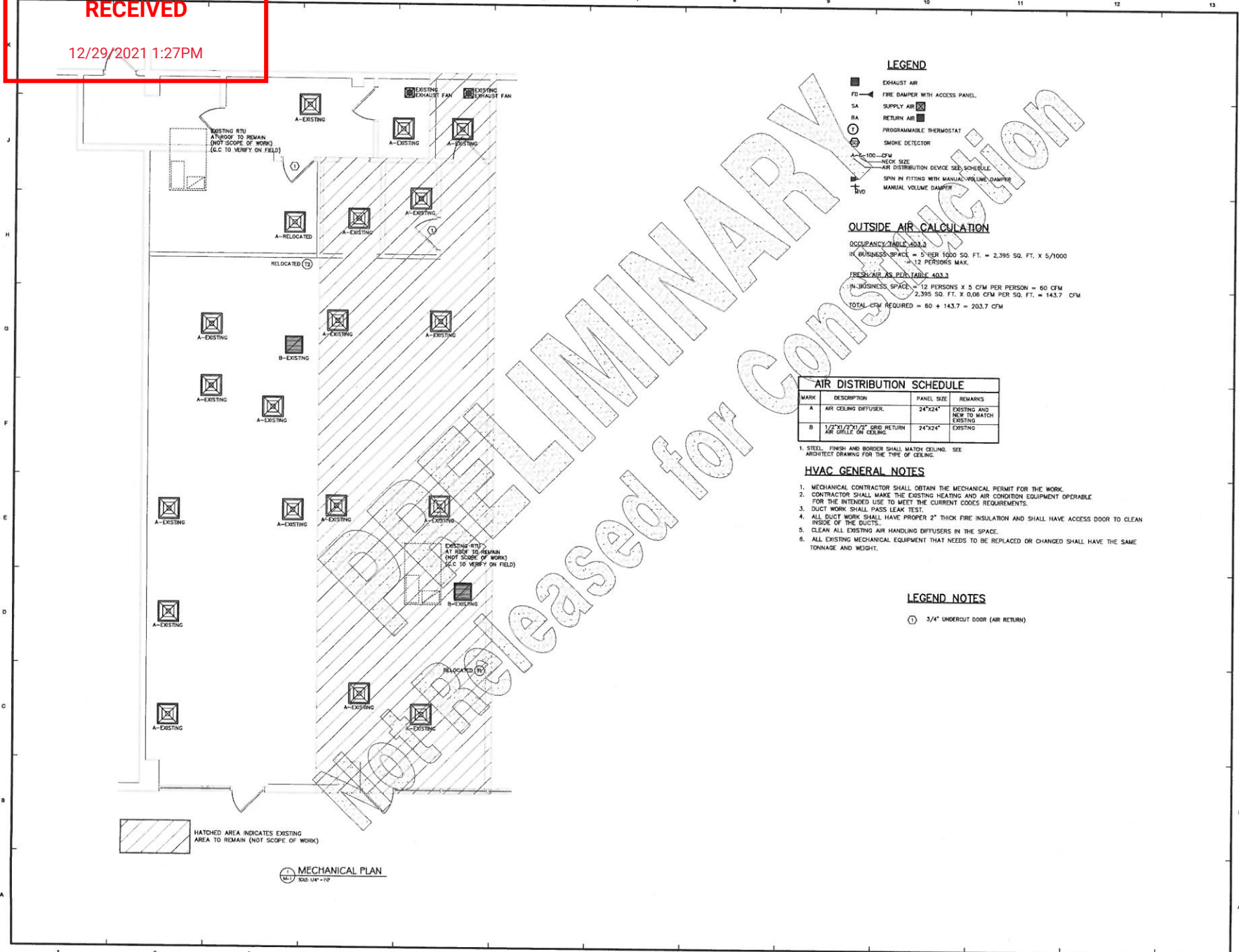
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**LEGEND**

- EXHAUST AIR
- FD FIRE DAMPER WITH ACCESS PANEL
- SA SUPPLY AIR
- RA RETURN AIR
- ⓪ PROGRAMMABLE THERMOSTAT
- Ⓛ SMOKE DETECTOR
- A-E-100-CFM  
NOC SIZE  
— AIR DISTRIBUTION DEVICE SIZ. SCHEDULE
- Ⓜ SPIN IN FITTING WITH MANUAL VOLUME DAMPER
- ⓂV MANUAL VOLUME DAMPER

**OUTSIDE AIR CALCULATION**

OCCUPANCY TABLE 403.2  
 IN-BUSINESS SPACE = 5' PER 1000 SQ. FT. = 2,395 SQ. FT. X 5/1000  
 = 12 PERSONS MAX.  
 FRESH AIR AS PER TABLE 403.3  
 IN-BUSINESS SPACE = 12 PERSONS X 5 CFM PER PERSON = 60 CFM  
 2,395 SQ. FT. X 0.06 CFM PER SQ. FT. = 143.7 CFM  
 TOTAL CFM REQUIRED = 60 + 143.7 = 203.7 CFM

**AIR DISTRIBUTION SCHEDULE**

MARK	DESCRIPTION	PANEL SIZE	REMARKS
A	AIR CEILING DIFFUSER	24"x24"	EXISTING AND NEW TO MATCH EXISTING
B	1/2"x24"x24" GRID RETURN AIR GRILLE ON CEILING	24"x24"	EXISTING

1. STEEL, FINISH AND BORDER SHALL MATCH CEILING SIZE ARCHITECT DRAWING FOR THE TYPE OF CEILING.

**HVAC GENERAL NOTES**

1. MECHANICAL CONTRACTOR SHALL OBTAIN THE MECHANICAL PERMIT FOR THE WORK.
2. CONTRACTOR SHALL MAKE THE EXISTING HEATING AND AIR CONDITION EQUIPMENT OPERABLE FOR THE INTENDED USE TO MEET THE CURRENT CODE REQUIREMENTS.
3. DUCT WORK SHALL PASS LEAK TEST.
4. ALL DUCT WORK SHALL HAVE PROPER 2" THICK FIRE INSULATION AND SHALL HAVE ACCESS DOOR TO CLEAN INSIDE OF THE DUCTS.
5. CLEAN ALL EXISTING AIR HANDLING DIFFUSERS IN THE SPACE.
6. ALL EXISTING MECHANICAL EQUIPMENT THAT NEEDS TO BE REPLACED OR CHANGED SHALL HAVE THE SAME TONNAGE AND WEIGHT.

**LEGEND NOTES**

- Ⓛ 3/4" UNDERCUT DOOR (AIR RETURN)

PROJECT COORDINATOR:

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Date	Revisions / Submissions
11-18-2021	ISSUED FOR OWNER REVIEW
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**SCOPE OF DOCUMENT:**  
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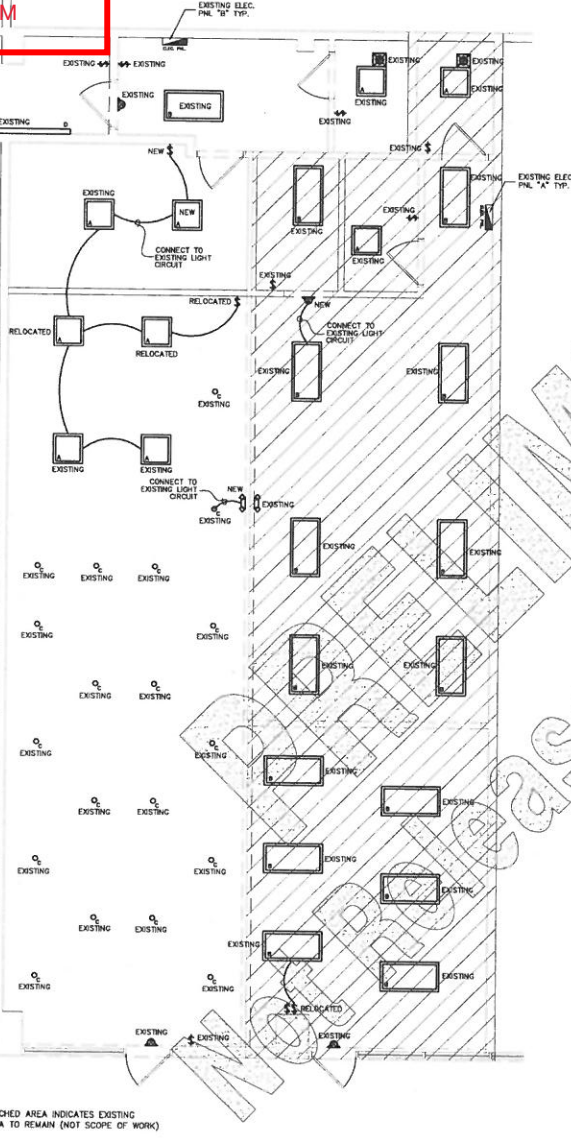
MECHANICAL PLAN, SCHEDULES, DETAILS & NOTES

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**GENERAL ELECTRICAL NOTES:**

1. THE ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO ELECTRICAL LOADS.
2. BRANCH CIRCUIT BREAKERS SHALL BE MINIMUM 20A, 1-POLE UNLESS NOTED OTHERWISE AND THE ELECTRICAL LOAD ON A 120-VOLT, 20AMP CIRCUIT SHALL NOT EXCEED 1500 WATTS.
3. ALL BRANCH CIRCUIT WIRING SHALL BE MINIMUM #12AWG/TYP FOR RUNS EXCEEDING 50 FEET, WHICH SHALL BE MINIMUM #10AWG/TYP. CONDUITS SHALL BE 3/4" MINIMUM WIRE AND CONDUIT SIZES SHOWN ON PLANS ARE MINIMUM. ELECTRICAL CONTRACTOR SHALL SEE CONDITIONS AND NOTES IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODE FOR VOLTAGE DROP AND DOWNTIME FACTORS. ELECTRICAL CONTRACTOR SHALL SIZE JUNCTION BOXES IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODE.
4. ALL WALL OUTLETS AT RESTROOMS SHALL BE GFI AS SHOWN IN DRAWINGS. ALL WALL OUTLETS IN THE KITCHEN AND FOOD AREAS SHALL BE GFI WITH WEATHERPROOF COVER AND FLUSH MOUNTED. NO SURFACE MOUNTED CONDUITS ALLOWED IN FOOD PREP ROOMS.
5. WIRING SHALL BE RUN IN CONDUIT WITHIN 25 FEET OF ALL AIR CONDITIONING EQUIPMENT AS PER NEC2014 CODE 210-8(B) & 210-8(C). CONNECT TO NEAREST RECEPTACLE CIRCUIT UNLESS OTHERWISE SPECIFIED.
6. PROVIDE ELECTRICAL CONNECTIONS TO ALL ITEMS SHOWN AS PART OF THE GENERAL CONTRACT WHICH REQUIRES ELECTRICITY.
7. COORDINATE ALL CONNECTIONS WITH EQUIPMENT SUPPLIER FOR EXACT LOCATION AND REQUIREMENTS.
8. PROVIDE CONNECTION TO ALL MECHANICAL EQUIPMENT INCLUDING TOILET EXHAUST FANS. CONTRACTOR MUST VERIFY WITH MECHANICAL CONTRACTOR THE QUANTITY OF EQUIPMENT CONNECTING BEFORE BIDDING.
9. PROVIDE MINIMUM OF 1/0 COPPER GROUND CONDUCTOR FROM TELEPHONE BACKBOARD TO BUILDING GROUNDING SYSTEM.
10. COORDINATE ALL ELECTRICAL AND COMMUNICATION OUTLETS WITH MECHANICAL ACCESS GRIMMETTS ARE NOT PROVIDED IN COUNTER TOP, INSTALL OUTLETS ABOVE COUNTER.
11. EXPOSED WIRING SHALL BE ENT ON RIGID CONDUIT.
12. SEE MECHANICAL DRAWINGS FOR LOCATION OF HEATING AND A/C EQUIPMENT.
13. THIS BUILDING SHALL BE EQUIPPED WITH A FIRE SUPPRESSION SPRINKLER SYSTEM, DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA #13 AND ALL LOCAL CODES AND ORDINANCES.
14. COORDINATE THE INSTALLATION OF INDICATED EMERGENCY ALARM DEVICES WITH THE SPRINKLER CONTRACTOR.
15. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF A COMPLETE CABLE TELEVISION SYSTEM WITH OWNER AND LOCAL CABLE TV COMPANY. SYSTEM SHALL BE IN CONDUIT UNDERGROUND AND UNDER SLAB, FROM BUILDING EXTERIOR TO CABLE TV PANEL IN UTILITY ROOM. CONDUIT SHALL BE INSTALLED WITH LONG HANGING SHEETS AND BE STUDIED UP 6" A.F.F. NOTE - MINIMUM CONDUIT SIZE FOR CABLE TV SYSTEM SHALL BE 1" DIA.
16. RECEPTACLE FEEDERS IN RATED CEILING MUST BE PROTECTED OR LISTED FOR USE IN THE RATED ASSEMBLY.
17. ELECTRICAL OUTLETS BOARDS ON OPPOSITE SIDES OF RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24" MINIMUM.
18. MAINTAIN CLEARANCES IN FRONT OF ELECTRICAL EQUIPMENT (TRANSFORMER, PANELS, ETC.) AS REQUIRED BY MANUFACTURER AND NATIONAL CODE (100/500A).
19. CONTRACTOR SHALL VERIFY ELECTRICAL CHARACTERISTICS BEFORE RUNNING CONDUIT AND WIRES.
20. PROVIDE 1/4" EMPTY CONDUIT WITH PULL STRING FROM TELEPHONE OUTLET AND TERMINATE 6" ABOVE THE CEILING UNLESS OTHERWISE NOTED.
21. THE BRANCH CIRCUIT FEEDING THE EMERGENCY LIGHT AND EXIT LIGHT SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES AS PER NEC2014 CODE 700-11(1).
22. NO WIRING, EXCEPT OF EQUIPMENT FEEDERS TO THE ELECTRICAL INSTALLATION SHALL BE INSTALLED ABOVE THE ELECTRICAL PANEL BOARD, MOTOR CONTROL CENTER, OR SWITCHBOARD.
23. PROTECT PANELBOARDS, TRANSFORMERS, ETC. AS PER NEC2014 CODE 110-27(B).
24. ROOF PENETRATIONS FOR CONDUITS SERVING OTHER THAN R/U'S SHALL BE INSTALLED TO MAINTAIN A MINIMUM DISTANCE OF 18 INCHES FROM CONDUIT PENETRATION TO ROOF CURB.
25. PROVIDE BLANK COVER PLATE FOR ALL OUTLET BOXES.
26. CONTRACTOR SHALL SUBMIT GROUND FAULT PERFORMANCE TESTS TO BUILDING INSPECTOR AND ENGINEER.
27. CONTRACTOR SHALL VERIFY ELECTRICAL LOAD AND CHARACTERISTICS OF EQUIPMENT BEFORE PURCHASE EQUIPMENT OR RUNNING WIRES AND BEFORE COORDINATING TO OWNER/ENGINEER.
28. ALL POWER OUTLETS LOCATED ADJACENT TO DATA OUTLETS SHALL BE ISOLATED GROUND TYPE.
29. CONVENIENCE RECEPTACLE MOUNT AT 4" ABOVE BACKSPLASH OR 8" ABOVE COUNTERTOP IF A BACKSPLASH IS NOT INSTALLED. COORDINATE WITH ARCHITECTURAL DRAWINGS AND VERIFY HEIGHT IN FIELD.
30. CONTRACTOR SHALL INSTALL TAMPER-RESISTANCE RECEPTACLES IN ALL AREAS OCCUPIED BY CHILDREN AS PER NATIONAL ELECTRICAL CODE, NEC2014, ARTICLE 408.12.

**LIGHT & MECHANICAL FIXTURE SCHEDULE**

SYM / DIM	DESCRIPTION	REMARKS
	FLUORESCENT - 2'-0"x2'-0" LAY-IN	EXISTING TO REMAIN
	FLUORESCENT - 2'-0"x4'-0" LAY-IN	EXISTING TO REMAIN
	RECESS LIGHTS DOWN	EXISTING/RELOCATED NEW TO MATCH EXISTING
	FLUORESCENT - 8"-0" WALL MOUNT	EXISTING TO REMAIN
	BATTERY OPERATED EMERGENCY LED LIGHTING UNIT	EXISTING TO REMAIN NEW TO MATCH EXISTING
	BATTERY OPERATED DIRECTIONAL DOWN LED EXIT SELF POWERED	EXISTING W/BATTERY NEW TO MATCH EXISTING
	MECHANICAL AIR DIFFUSER	EXISTING/RELOCATED
	RETURN GRILLE	EXISTING TO REMAIN
	RESTROOM EXHAUST FAN	EXISTING TO REMAIN

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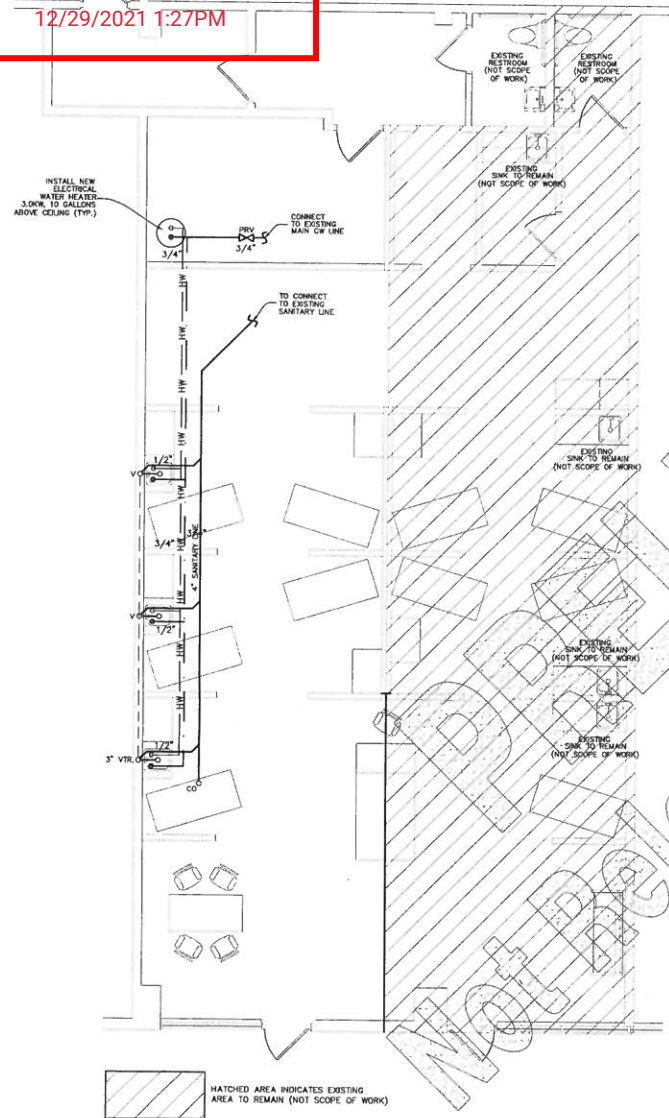
**LIGHTING PLAN, SCHEDULE & NOTES**

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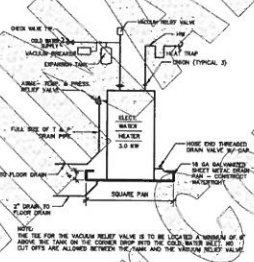
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PLUMBING PLAN  
SCALE: NTS = 1/4"

**LEGEND**

SAW	SOIL AND WASTE PIPING
V	VENT PIPING
C.W.	COLD WATER PIPING
H.W.	HOT WATER PIPING
HW/R	HOT WATER RECIRCULATING
CV	GATE VALVE
C.C.	GAS COCK
W	WASTE
V	VENT
V.T.R.	VENT THRU ROOF
F.D.	FLOOR DRAIN
R.D.	RUB DRAIN
F.S.	FLOOR SINK
T.M.P.	TEMPERATURE AND PRESSURE
A.F.F.	ABOVE FINISH FLOOR
A.C.	ABOVE CEILING
U.F.	UNDER FLOOR SLAB
W.H.A.	WATER HAMMER ARRESTOR
PT	INDICATES EQUIPMENT NUMBER FOR PLUMBING ONLY



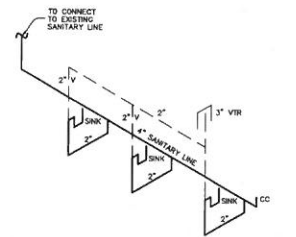
2 WATER HEATER DETAIL  
SCALE: NTS = 1/2"

PLUMBING GENERAL NOTES

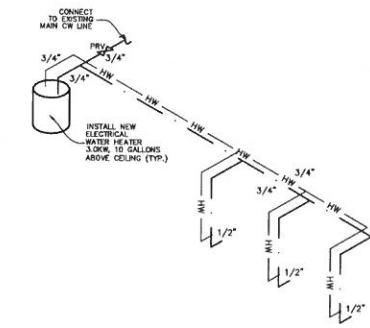
- THE DRAWING ARE DIAGRAMMATIC ONLY AND SHOW THE INTENT OF THE DESIGN. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO INSTALL A COMPLETE AND OPERATING SYSTEM. THE CONTRACTOR SHALL APPLY FOR AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- PLUMBING SHALL CONFORM TO THE GEORGIA STATE PLUMBING CODE AND ALL LOCAL CODES AND ORDINANCES. ALL NATURAL GAS PIPING (NIP) AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH NIPSA 54 AND THE SPECIAL CONDITIONS SPECIFICATIONS, IF ANY.
- ALL SANITARY, WASTE AND VENT PIPING SHALL BE MIP PIPING AND FITTINGS.
- ALL HOT AND COLD WATER PIPING AND FITTINGS ABOVE GROUND SHALL BE RIGID TYPE M COPPER AND PIPING AND FITTINGS BELOW GROUND SHALL BE RIGID TYPE L COPPER. ALL NATURAL GAS PIPING AND FITTINGS SHALL BE SCHEDULE 40 BLACK STEEL AND FITTINGS SHALL BE SCHWED (NIP) AND BRANDED.
- ALTERNATE MANUFACTURERS OR PLUMBING FIXTURES, FLOOR DRAINS, CLEANOUTS AND GREASE INTERCEPTORS MAY BE USED WITH THE APPROVAL OF THE ENGINEER.
- ALL PLUMBING FIXTURES MUST MEET THE REQUIREMENTS OF THE 2014 GA AMENDMENTS FOR "HIGH EFFICIENCY FIXTURES". WATER CLOSETS: 1.28 G.P.F. LAVATORIES: 1.5 G.P.M. SINKS: 2.0 G.P.M.
- ALL PIPING SHALL BE NON-DROM PIPE HUNGERS AS MANUFACTURED BY GRINNELL CO. OR EQUIVALENT, AT 10'-0" O.C. MAXIMUM. PERFORATED METAL STRIPS AND WIRE SHALL NOT BE USED.

PLUMBING FIXTURE SCHEDULE

NEW ELECTRICAL WATER HEATER  
ELECTRICAL WATER HEATER  
A.O. SMITH (GREATER OR EQUAL)  
MODEL: DEL-10  
3 PHASE, 208V, 3KW, 10 GALLONS, 12 GPH @ 100°F



3 SANITARY RISER  
SCALE: NTS = 1/4"



4 WATER RISER  
SCALE: NTS = 1/4"

PROJECT COORDINATOR:

ARCHITECTURE, PLANNING, DESIGN  
4835 FINE ISLE WAY  
SUGAR HILL, GA 30518  
OFFICE: 770-651-8390  
info@garchitecture.net

**COMPLEMENT NOTES**

THIS DRAWING (THE COPIES AND ALL RELATED DOCUMENTS) ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

**ALL OTHER DESIGN, AMENDMENTS AND PLANS INDICATED ON THIS DRAWING ARE THE PROPERTY AND OWNED BY THE ENGINEER OR HIS ASSOCIATES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND COMPLETION OF THE PROJECT.**

**SCOPE OF ACCURACY:**

THESE DOCUMENTS REPRESENT THE GENERAL SCOPE OF THE PROJECT AS ITEMS OF ARCHITECTURAL DESIGN CONCEPTS, THE DETERMINATION OF THE BUILDING AND STRUCTURAL SYSTEMS, AND THE TYPE OF MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. THIS DRAWING IS NOT NEARLY A PRELIMINARY DRAWING. ALL WORK SHOWN ON THIS DRAWING IS THE PROPERTY OF THE ENGINEER AND SHALL BE USED ONLY FOR THE PROJECT FOR WHICH IT WAS PREPARED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND COMPLETION OF THE PROJECT.

Date	Revisions / Substitutions
11-18-2021	ISSUED FOR OWNER REVIEW
11-18-2021	OWNER'S MODIFICATIONS
12-01-2021	ISSUED FOR OWNER REVIEW

**WILD TRIBE TATTOO AND PIERCINGS**  
"EXPANSION TO SUITE B-1"  
1825 MALL OF GEORGIA BLVD.  
SUITE B  
BUFORD, GA 30519

PLUMBING PLAN, DETAILS & NOTES

DATE: 10/06/18  
DRAWN: TEAM  
CHECKED BY: FO

P-1

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**CHANGE IN CONDITIONS APPLICANT'S RESPONSE**  
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached responses

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached responses

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached responses

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached responses

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached responses

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

Please see attached responses

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**Change In Conditions Applicant's Response**

**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

- A. Change in conditions is suitable in view of the use and development of adjacent and nearby property as Pho 24, Moe's, and Leather Creations are in the shopping center. Additionally, Wild Tribe Tattoos has been in operation on the property since November 2018.
- B. Change in conditions will not affect the adjacent businesses negatively as Wild Tribe Tattoos has been operating in the shopping center since November 2018 and has increased foot traffic to the area.
- C. The expanding of Wild Tribe Tattoos to the area will continue to be a positive boost to the area as is has generated more foot traffic to the shopping center and created jobs.
- D. Wild Tribe Tattoos does not create a burden on existing streets, transportation facilities, utilities, or school as only a maximum of six clients may receive service at a time during normal business operations. Also note, that at this time Wild Tribe Tattoos is operating in accordance with the guidelines set forth for tattoo and body piercing studios due to the COVID-19 pandemic.
- E. Yes, the Change in Condition is in conformity with the policy and evidenced by the previous approval of SUP2020-00037 for Wild Tribe Tattoos.
- F. Wild Tribe Tattoos has been in the shopping center and has positively increased foot traffic. Moreover, has created customers for nearby businesses.

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**EXHIBIT" A"**

**LEGAL DESCRIPTION**

All that tract or parcel of land lying in Land Lot 175 & 176, · 7th District, Gwinnett County, Georgia and being more particularly described as follows: COMMENCING at the corner common to Land Lots 144, 145, 175 & 177; Thence running South 80 degrees 14 minutes 15 seconds West, a distance of 3652.00 to an iron pin set and the TRUE POINT OF BEGINNING; Thence running along the southerly margin of the . right-of-way of Mall of Georgia Boulevard (variable width right-of-way) South 74 degrees 39 minutes 07 seconds East, a distance of 24.21 feet to a Yi inch reinforcing rod found; Thence continuing along said right-of-way South 69 degrees 42 minutes 39 seconds East, a distance of 238.36 feet to a pk nail found; Thence leaving said right-of way running South 10 degrees 13 minutes 03 seconds West, a distance of 273.20 feet to an iron pin set; Thence running North 69 degrees 42 minutes 31 seconds West, a distance of 339.20 feet to a Yi inch reinforcing rod found on the easterly margin of the right-of-way of Buford Drive (S.R. 20) (variable width right-of-way); Thence running along said right-of-way North 20 degrees 17 minutes 55 seconds East, a distance of 194.25 feet to a Yi inch reinforcing rod found; Thence continuing along said right-of-way North 42 degrees 28 minutes 21 seconds East, a distance of 76.73 feet to a Yi inch reinforcing rod found; Thence continuing along said right-of- way North 18 degrees 22 minutes 01 seconds East, a distance of 1.60 feet to an iron pin set and the TRUE POINT OF BEGINNING.

Solid tract or parcel of land containing 1.920 Acres.

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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**Zoning Information**

- Requested Zoning Classification: C-2
- Site Acreage: 1.920
- Gross Square Footage Per Acre: 43,566.1458 {83,647 Total Square Feet)
- Number of Parking Spaces: 122
- Number of Stories: 1

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**CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

*Neil Perfor manager*

*12-14-2021*

Signature of Property Owner

Date

*Lou Simon Nelson manager*

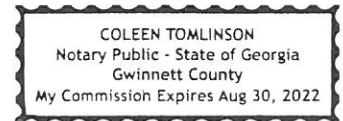
Type or Print Name and Title

*Coleen Tomlinson*

*12/14/2021*

Signature of Notary Public

Date



Notary Seal

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Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 10/2021

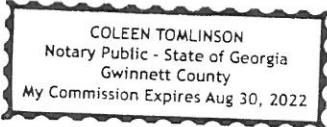
**CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Fatih Aydin 12-14-21  
Signature of Applicant Date

Fatih Aydin - Manager  
Type or Print Name and Title

[Signature] 12/14/2021 [Seal]  
Signature of Notary Public Date Notary Seal





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12/29/2021 1:27PM

**VERIFICATION OF CURRENT PAID PROPERTY TAXES  
FOR CHANGE IN CONDITIONS**

THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\* NOTE: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:** 7<sup>th</sup> - 175-176 - R7176-070  
(Map Reference Number)      District      Land Lot      Parcel

[Signature]  
Signature of Applicant

12-14-21  
Date

Fatih Aydin - Manager  
Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Rickie Schoby  
NAME  
12/29/2021  
DATE

TSA II  
TITLE