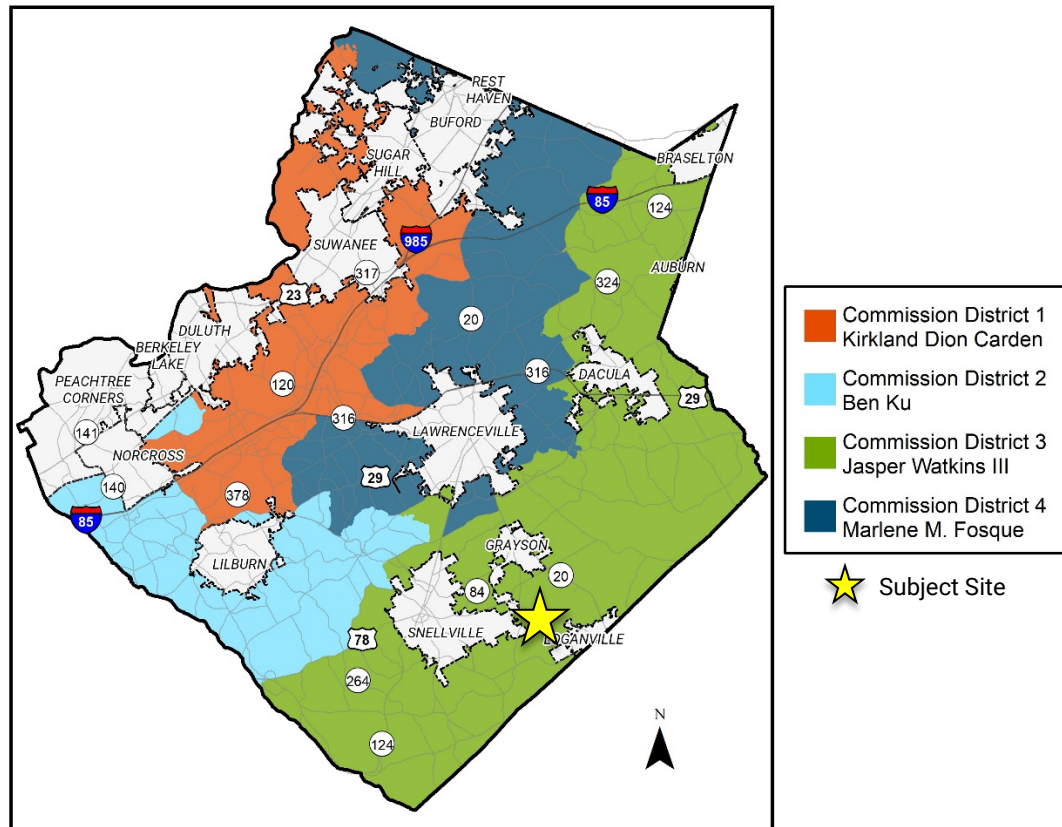




PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: CIC2022-00009
Current Zoning: C-2 (General Business District)
Request: Change in Conditions
Address: 539 Athens Highway
Map Number: R5131 202
Site Area: 1.96 acres
Square Feet: 15,000
Proposed Development: Overnight Outdoor Storage
Commission District: District 3 – Commissioner Watkins
Character Areas: Community Mixed Use

Staff Recommendation: APPROVAL WITH CONDITIONS



Planning Commission Advertised Public Hearing Date: 5/4/2022
Board of Commissioners Advertised Public Hearing Date: 5/24/2022

Applicant: Chris Moon
539 Athens Highway
Loganville, GA 30052

Owner: Chris Moon
2371 Rabbit Farm Circle
Loganville, GA 30052

Contact: Chris Moon

Contact Phone: 770.401.6230

Zoning History

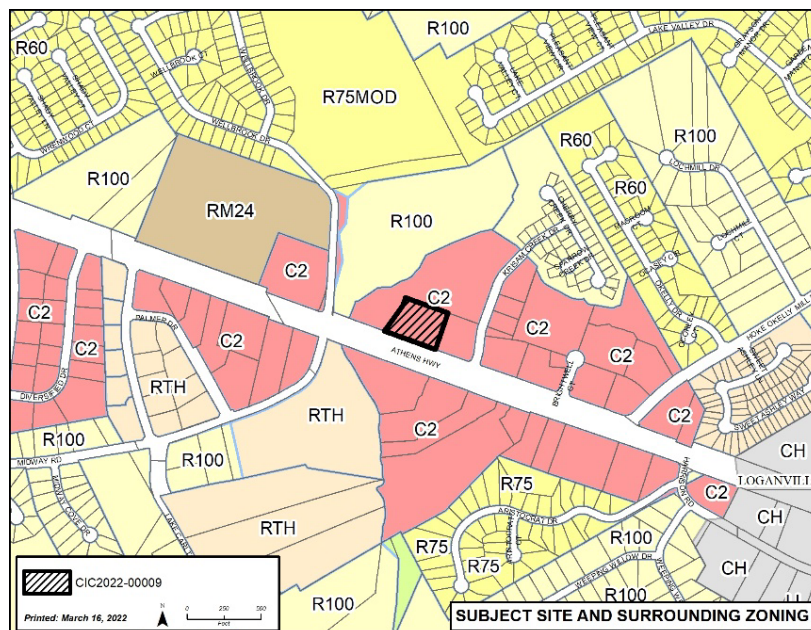
The subject property is zoned C-2 (General Business District). A 2003 rezoning case, RZC2003-00043, rezoned the property from R-100 (Single Family Residence District) to C-2 for a retail and entertainment complex. A 2011 special use permit and subsequent change in conditions request, SUP2011-00059 and CIC2011-00020, were approved for the development of a small engine repair facility, operated by the applicant. This request is a change in conditions from this approval.

Existing Site Condition

The subject site is a 1.96-acre parcel located along Athens Highway, east of its intersection with Wellbrook Drive. The site is currently developed with a 15,000 square foot commercial building constructed in 2014. The property is an outparcel of the Creekside Sport Center commercial development. Access to the site is provided by a full access driveway, with a deceleration lane, onto Athens Highway. Overhead utilities are located along the street and a sidewalk is present along a portion of the road frontage. The property is relatively flat. The nearest Gwinnett County Transit stop is located approximately 6.7 miles from the site.

Surrounding Use and Zoning

The subject site is surrounded by commercial and residential uses. Residentially zoned properties are located further north and west. Commercial and retail developments are present to the south and east along Athens Highway. The following is a summary of surrounding uses and zoning:



| Location | Land Use | Zoning | Density |
|----------|------------|--------|---------|
| Existing | Commercial | C-2 | N/A |
| North | Commercial | C-2 | N/A |
| East | Vacant | C-2 | N/A |
| South | Commercial | C-2 | N/A |
| West | Vacant | C-2 | N/A |

Project Summary

The applicant requests a change in conditions for a 1.96-acre property zoned C-2 to allow for overnight outdoor storage, including:

- A change in conditions of cases SUP2011-00059 and CIC2011-00020. The applicant is requesting revisions to the following conditions:
 - Condition 1.D. *“Outdoor sales, storage and display shall be limited to during the businesses normal hours of operation, and shall be prohibited overnight.”*
 - The applicant proposes to omit condition 1.D in its entirety to allow for outdoor storage overnight.
 - The applicant states that the request is the result of increased business which has required him to store equipment outside and overnight during peak times. Outdoor storage will remain in the previously approved location, on a paved surface to the side and rear of the property. The area is currently screened with a chain link fence with privacy slats.
- An existing 15,000 square foot single-story commercial building with a front façade of masonry, currently utilized as a small engine sales and repair facility.
- 29 off-street parking spaces at the front of the building.
- An existing outdoor storage and loading area to the west of the structure. The area is fully enclosed by a chain link fence with privacy slats. A gate provides access to the storage area from the primary parking lot.
- A full access driveway from Athens Highway.
- The request is the result of a code enforcement violation (CEU2021-11748), which was for the overnight outdoor storage of lawn equipment. The equipment was located within the area specified by the previous special use permit and change in conditions. The applicant has since relocated the equipment to be indoors at night until the change in conditions request is approved. The case is currently closed and in compliance.

Zoning and Development Standards

The applicant is requesting a change in conditions in the C-2, General Business District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

| Standard | Required | Existing | Meets Standard? |
|--------------------|--|-----------|-----------------|
| Building Height | Maximum 45' | 35' | YES |
| Front Yard Setback | Minimum 50' | 56' | YES |
| Side Yard Setback | Minimum 25' | 20.3' | YES |
| Rear Yard Setback | Minimum 50' | >50' | YES |
| Off-Street Parking | Minimum 30 spaces Maximum 75 spaces | 29 spaces | NO |
| Landscape Strip | 10' | 10' | YES |

Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and external agency review comments are attached (Exhibit E). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Change in Conditions Request Analysis: According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification or a change in conditions the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

A. Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The site is within an existing commercial development. The current business, a small engine repair and sales facility, has been in continuous operation since 2014. Outdoor storage has been previously approved for the subject property, associated with SUP2011-00059. The outdoor storage area is enclosed with a chain link fence with privacy slats, and no other code enforcement violations, other than CEU2021-11748, are associated with storage violations on the property. The outdoor storage area is for the sole use of normal business operations associated with a small engine repair and sales facility. The proposed change in conditions would be suitable given the surrounding use and development.

B. Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property.

The business, with outdoor storage, has been in continuous operation since 2014 without code enforcement violations for storage until CEU2021-11748. The property is currently in compliance with the code enforcement violation. Providing overnight outdoor storage will not negatively impact neighboring properties.

C. Whether the property to be affected by a proposed change in conditions has a reasonable economic use as currently zoned.

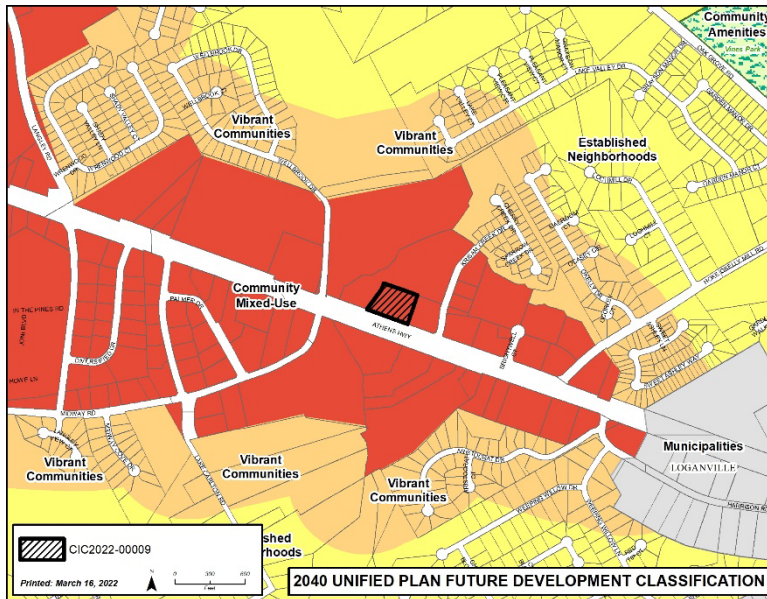
The property has a reasonable economic use as currently zoned.

D. Whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

No impact on public facilities is anticipated in the form of traffic, utility demand, and stormwater runoff. No impact is anticipated on school enrollment. Agency review comments related to any potential improvements, related to this request, are attached (Exhibit E).

E. Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map.

The 2040 Unified Plan Future Development Map indicates that the subject property lies within the Community Mixed-Use Character Area. The Character Area intends for activity nodes and connecting areas located along major corridors, including commercial and residential uses. The continued use of a small engine repair and sales facility with overnight outdoor storage would be in keeping with the policy and intent of the Character Area.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions.

The nearby areas are developed with residential and commercial uses similar in scale to the subject site. The continued operation of the current business, combined with the inclusion of overnight outdoor storage, would not negatively impact adjacent and surrounding properties.

Staff Recommendation

Based on the staff’s evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

Staff Recommended Conditions

NOTE: The conditions below are those from SUP2011-00059 and CIC2011-00020 with suggested changes in bold or strikethrough.

Approval as C-2 (General Business District), subject to the following conditions:

1. To restrict the use of the property as follows:

- A. Retail and service commercial and accessory uses. A lawn and garden equipment sales and service business, with outdoor sales and storage, may be allowed as a special use.
- B. Any physical improvements (buildings) shall continue the existing architectural treatments of the Creek Stone Sports Complex, to include full masonry front elevations and masonry water tables on the side elevations, with the balance being stucco (EIFS) or colored split-face block complete with glass, metal or other architectural treatments; and the rear elevations (loading dock side) being stucco (EIFS) or colored split-face block complete with glass, metal or other architectural treatments. The overall color scheme of any building improvement shall be of earth tone color palette.
- C. Outdoor display of lawn and garden merchandise or equipment shall be restricted to paved areas immediately adjoining the proposed building. No display of merchandise or equipment shall be permitted within the required 10-foot or 5-foot landscape strips. **Overnight storage of lawn and garden merchandise or equipment shall be restricted to the existing fenced in area, enclosed by a privacy fence utilizing wood or chain link with privacy slats or equivalent.**
- ~~D. Outdoor sales, storage and display shall be limited to during the businesses normal hours of operation, and shall be prohibited overnight.~~

2. To satisfy the following site development considerations:

- A. Provide a 10-foot wide landscaped strip outside of all rights-of-way.
- B. Provide 5-foot wide landscaped strips adjacent to all internal property lines.
- C. Provide a 37.5-foot wide natural buffer, undisturbed except for approved access and utility crossings and re-plantings, where sparsely vegetated, adjacent to residential property along the east property line.
- D. Provide a minimum 100-foot wide natural, undisturbed buffer and 150-foot impervious surface setback adjacent to the banks of all perennial streams within or adjacent to the property (as shown on the most recent USGS 7.5 minute quadrangle map). Restore the natural buffer in any area previously disturbed.
- E. Dumpsters shall be screened by an 8-foot high brick wall.
- F. No billboards shall be permitted.
- G. Ground signage shall be limited to a single monument-type sign with masonry base, not to exceed 10-feet in height.
- H. The number, location, and design of driveways onto Athens Highway shall be subject to review and approval of the Georgia Department of Transportation.

- I. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
- J. Provide wet detention facilities, or approved alternatives, meeting design standards for such facilities within the Big Haynes Creek Watershed. Design and maintenance plans for the wet detention facilities shall be subject to review and approval of the Planning and Development Department and the Gwinnett Department of Transportation Stormwater Management Unit.
- K. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent residential properties.
- L. Provide inter-parcel access to adjacent outparcels to the north and east.

Exhibits:

- A. Site Visit Photos
- B. Previously Approved Resolution
- C. Site Plan
- D. Letter of Intent and Applicant's Response to Standards
- E. Internal and External Agency Review Comments
- F. Code Enforcement Case Information
- G. Maps

Exhibit A: Site Visit Photos



View from Athens Highway



View from Athens Highway of Fenced Storage Area



View along Athens Highway

Exhibit B: Previously Approved Resolution

[attached]

BOARD OF COMMISSIONERS
GWINNETT COUNTY
LAWRENCEVILLE, GEORGIA
RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

| <u>Present</u> | <u>VOTE</u> |
|-------------------------------|-------------|
| Charlotte J. Nash, Chairman | <u>AYE</u> |
| Shirley Lasseter, District 1 | <u>AYE</u> |
| Lynette Howard, District 2 | <u>AYE</u> |
| Michael Beaudreau, District 3 | <u>AYE</u> |
| John Heard, District 4 | <u>AYE</u> |

On motion of COMM. BEAUDREAU, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO GRANT A SPECIAL USE PERMIT

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application for a Special Use Permit by CHRIS MOON for the proposed use of LAWN/GARDEN EQUIPMENT SALES AND SERVICE on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Special Use Permit Application has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on OCTOBER 25, 2011 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners on this, the 25TH day of OCTOBER, 2011 that the aforesaid application for a Special Use Permit is hereby **APPROVED** with the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Retail and service commercial and accessory uses. A lawn and garden equipment sales and service business, with outdoor sales and storage, may be allowed as a special use.
 - B. Any physical improvements (buildings) shall continue the existing architectural treatments of the Creek Stone Sports Complex, to include full masonry front elevations and masonry water tables on the side elevations, with the balance being stucco (EIFS) or colored split-face block complete with glass, metal or other architectural treatments; and the rear elevations (loading dock side) being stucco (EIFS) or colored split-face block complete with glass, metal or other architectural treatments. The overall color scheme of any building improvement shall be of earth tone color palette.
 - C. Outdoor display of lawn and garden merchandise or equipment shall be restricted to paved areas immediately adjoining the proposed building. No display of merchandise or equipment shall be permitted within the required 10-foot or 5-foot landscape strips.
 - D. Outdoor sales, storage and display shall be limited to during the businesses normal hours of operation, and shall be prohibited overnight.
2. To satisfy the following site development considerations:
 - A. Provide a 10-foot wide landscaped strip outside of all rights-of-way.
 - B. Provide 5-foot wide landscaped strips adjacent to all internal property lines.
 - C. Provide a 37.5-foot wide natural buffer, undisturbed except for approved access and utility crossings and re-plantings, where sparsely vegetated, adjacent to residential property along the east property line.
 - D. Provide a minimum 100-foot wide natural, undisturbed buffer and 150-foot impervious surface setback adjacent to the banks of all perennial streams within or adjacent to the property (as shown on the most recent USGS 7.5 minute quadrangle map). Restore the natural buffer in any area previously disturbed.
 - E. Dumpsters shall be screened by an 8-foot high brick wall.

- F. No billboards shall be permitted.
- G. Ground signage shall be limited to a single monument-type sign with masonry base, not to exceed 10-feet in height.
- H. The number, location, and design of driveways onto Athens Highway shall be subject to review and approval of the Georgia Department of Transportation.
- I. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
- J. Provide wet detention facilities, or approved alternatives, meeting design standards for such facilities within the Big Haynes Creek Watershed. Design and maintenance plans for the wet detention facilities shall be subject to review and approval of the Planning and Development Department and the Gwinnett Department of Transportation Stormwater Management Unit.
- K. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent residential properties.
- L. Provide inter-parcel access to adjacent outparcels to the north and east.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Charlotte J. Nash
Charlotte J. Nash, Chairman

Date Signed: 11/2/11

ATTEST:

Diane Kemp
County Clerk/Deputy County Clerk



BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

| <u>Present</u> | <u>VOTE</u> |
|-------------------------------|-------------|
| Charlotte J. Nash, Chairman | <u>AYE</u> |
| Shirley Lasseter, District 1 | <u>AYE</u> |
| Lynette Howard, District 2 | <u>AYE</u> |
| Michael Beaudreau, District 3 | <u>AYE</u> |
| John Heard, District 4 | <u>AYE</u> |

On motion of COMM. BEAUDREAU, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from C-2 to C-2 by CHRIS MOON for a CHANGE IN CONDITIONS OF ZONING TO REMOVE USE RESTRICTIONS on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on OCTOBER 25, 2011 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners this the 25TH day of OCTOBER 2011, that the aforesaid application to amend the Official Zoning Map from C-2 to C-2 (Change In Conditions) is hereby **APPROVED** subject to the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Retail and service commercial and accessory uses. A lawn and garden equipment sales and service business, with outdoor sales and storage, may be allowed as a special use.
 - B. Any physical improvements (buildings) shall continue the existing architectural treatments of the Creek Stone Sports Complex, to include full masonry front elevations and masonry water tables on the side elevations, with the balance being stucco (EIFS) or colored split-face block complete with glass, metal or other architectural treatments; and the rear elevations (loading dock side) being stucco (EIFS) or colored split-face block complete with glass, metal or other architectural treatments. The overall color scheme of any building improvement shall be of earth tone color palette.
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 - D. Outdoor sales, storage and display shall be limited to during the businesses normal hours of operation, and shall be prohibited overnight.
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 - B. Provide 5-foot wide landscaped strips adjacent to all internal property lines.
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 - D. Provide a minimum 100-foot wide natural, undisturbed buffer and 150-foot impervious surface setback adjacent to the banks of all perennial streams within or adjacent to the property (as shown on the most recent USGS 7.5 minute quadrangle map). Restore the natural buffer in any area previously disturbed.

- E. Dumpsters shall be screened by an 8-foot high brick wall.
- F. No billboards shall be permitted.
- G. Ground signage shall be limited to a single monument-type sign with masonry base, not to exceed 10-feet in height.
- H. The number, location, and design of driveways onto Athens Highway shall be subject to review and approval of the Georgia Department of Transportation.
- I. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
- J. Provide wet detention facilities, or approved alternatives, meeting design standards for such facilities within the Big Haynes Creek Watershed. Design and maintenance plans for the wet detention facilities shall be subject to review and approval of the Planning and Development Department and the Gwinnett Department of Transportation Stormwater Management Unit.
- K. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent residential properties.
- L. Provide inter-parcel access to adjacent outparcels to the north and east.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Charlotte J. Nash
Charlotte J. Nash, Chairman

Date Signed: 11/2/11

ATTEST:

Diane Y. Berry
County Clerk/Deputy County Clerk

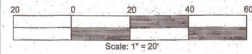
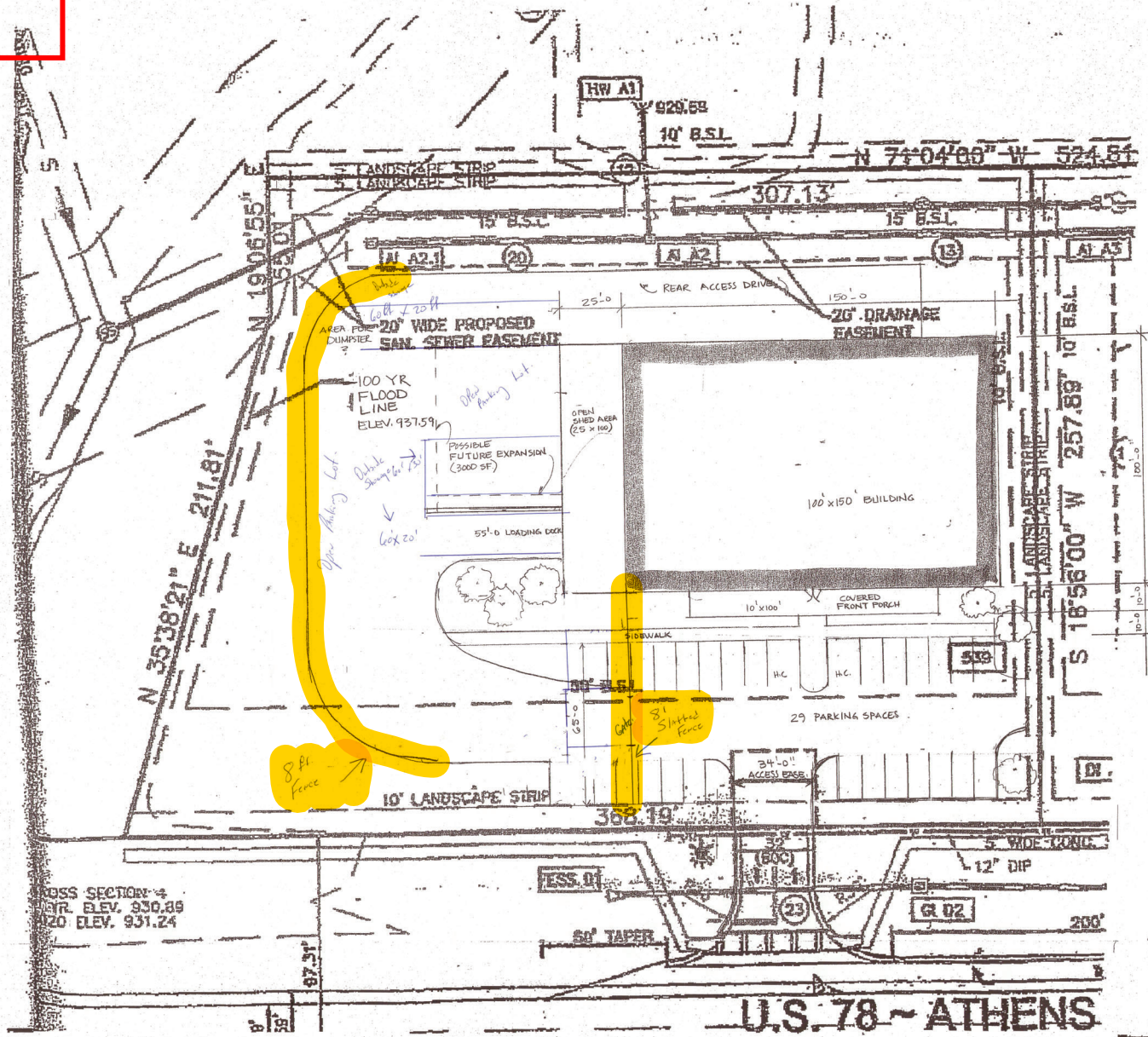


Exhibit C: Site Plan

[attached]

RECEIVED

2/3/2022 4:45PM



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Thu Apr 18 2021 1:52:49pm

| REVISIONS | DATE | BY | DESCRIPTION |
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| DRAWN: XXX | APPROVED: XXX |
| DATE: | |

4/19/13

AMT CONSULTING, LLC
1000 WOODBRIDGE DRIVE, SUITE 100
ROCKY HILL, CT 06151
(860) 261-1111
WWW.AMTCONSULTING.COM

ENGINEERS
ARCHITECTS
PLANNERS

amt

Armentrout • Matheny • Thurmond

STEPHEN'S REPAIR
SHOP

HWY 78

CONCEPT
SITE
LAYOUT

Exhibit D: Letter of Intent and Applicant's Response to Standards

[attached]

RECEIVED

2/3/2022 4:45PM

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Storage is in rear of Building behind 8' slatted Fence.
Will have no adverse effect on anyone.

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Will not affect. West side is wetlands.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Only difference would be to allow overnight storage.
Already has daily storage

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Has no effect on any of the above

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Should have no affect.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

Outdoor Storage has been utilized for the past 7 years
With no adverse effects

RECEIVED

To Gwinnett County Planning and Development

2/3/2022 4:45PM

I am looking for a change in conditions on property located at 539 Athens Highway Loganville, Ga parcel # r5131-202 to allow us to continue doing business as we have for the last 7 years. The change would allow for outdoor storage overnight in the back lot.

The change would eliminate section d part 1 of case # sup2011-0059 dated October 25,2011. This would allow us to continue doing business as we have for the last 7 years without interruption.

Sincerely,

Chris Moon

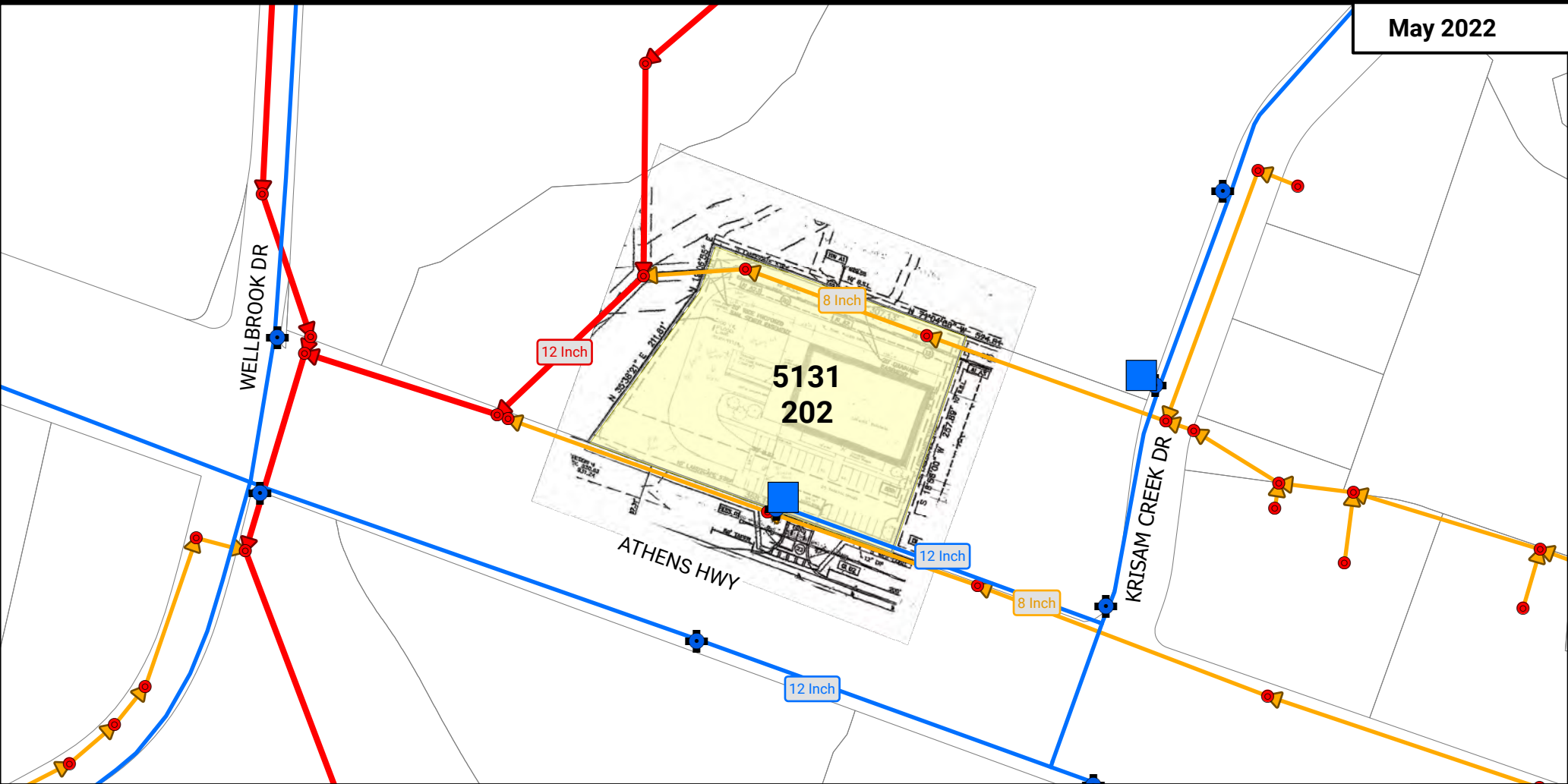
February 4, 2022

Exhibit E: Internal and External Agency Review Comments

[attached]

| | | | |
|---------------------------------------|--|---|-------------------------------------|
| TRC Meeting Date: | | 4.13.22 | |
| Department/Agency Name: | | Transportation | |
| Reviewer Name: | | Brent Hodges | |
| Reviewer Title: | | Construction Manager 1 | |
| Reviewer Email Address: | | <u>Brent.Hodges@gwinnettcountry.com</u> | |
| Case Number: | | CIC2022-00009 | |
| Case Address: | | 539 Athens Highway | |
| Comments: | | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | | YES | NO |
| 1 | Athens Highway (SR 10) is a Principal Arterial. ADT = 30,700. 6.7 miles to the nearest Transit facility #2335042 Johnson Road & Sugarloaf Landing Plaza. | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
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| 7 | | | |
| Recommended Zoning Conditions: | | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| | | YES | NO |
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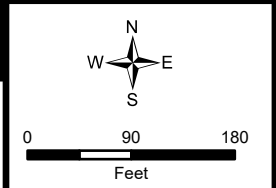
| | | | | |
|---------------------------------------|---|--|--------------------------|-------------------------------------|
| TRC Meeting Date: | | April 13, 2022 | | |
| Department/Agency Name: | | DWR | | |
| Reviewer Name: | | Mike Pappas | | |
| Reviewer Title: | | GIS Planning Manager | | |
| Reviewer Email Address: | | Michael.pappas@gwinnettcountry.com | | |
| Case Number: | | CIC2022-00009 | | |
| Case Address: | | 539 Athens Highway | | |
| Comments: | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 1 | Water: The existing building is already connected to water. | | | |
| 2 | Sewer: The existing building is already on sewer. | | | |
| 3 | | | | |
| 4 | | | | |
| 5 | | | | |
| 6 | | | | |
| 7 | | | | |
| Recommended Zoning Conditions: | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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| | | | | | |
|--|-----------------|--|------------|--|-------------------|
| | Flow Management | | Hydrant | | Sewer Force Main |
| | Pump Station | | City | | Effluent Outfall |
| | Regional | | Water Main | | Sewer Collector |
| | Manhole | | Reuse Main | | Sewer Interceptor |

CIC2022-00009
C-2

Water & Sewer Utility Map



Water Comments: The existing building is already connected to water.

Sewer Comments: The existing building is already on sewer.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Exhibit F: Code Enforcement Case Information

[attached]

CASE NUMBER : CEU2021-11748

| | |
|----------------------------|--------------------------------------|
| PRIMARY ADDRESS: | 539 ATHENS HWY, LOGANVILLE, GA 30052 |
| PARCEL: | 5131 202 |
| RECEIVED DATE: | 10/18/2021 |
| APPLICATION STATUS: | Closed - Complied |
| DESCRIPTION: | OUTSIDE STORAGE |

| OWNER NAME | ADDRESS | CITY/STATE/ZIP |
|--------------|----------------------|----------------------------|
| MOON CHRIS C | 2371 RABBIT FARM CIR | LOGANVILLE, GA, 30052-4245 |

Phone:

| CONTACTS ROLE | NAME | ADDRESS | CITY/STATE/ZIP |
|---------------|------|---------|----------------|
| | | | |

Phone:

COMMENTS

| View ID | COMMENTS | DATE |
|---------|----------|------|
| | | |

INSPECTIONS

| Inspection | Requested | Scheduled | Completed | Status | Inspector | Comment |
|--------------------|------------|------------|------------|------------------------|---------------|--|
| Re-Inspection | 11/4/2021 | 11/12/2021 | 12/30/2021 | Extension Granted | Adrian Walker | STEPHENS REPAIR SHOP-THERE APPEARS TO BE NO OUTDOOR STORAGE AND FENCE AND GATE IN PARKING LOT HAS SLAT SCREENING. SIDE IS OPEN. THE OWNER IS IN SLOW SEASON AND IS ABLE TO PLACE ALL EQUIPMENT INSIDE THE BUILDING AFTER HOURS. DURING PEAK TIMES HE CANNOT AND WILL APPLY FOR A CHANGE IN CONDITIONS OF THE SPECIAL USE PERMIT. |
| Re-Inspection | 10/20/2021 | 10/28/2021 | 11/4/2021 | Extension Granted | Adrian Walker | AFTER RESEARCHING THE SUP FOR THE PROPERTY, CONDITION 1-D IS IN VIOLATION AND A CALL WAS PLACED TO MR. MOON WHO SAID THE SUP CONDITION WAS WRONG. I PERSONALLY TOOK MR. MOON A COPY OF THE SUP TO EXPLAIN THE VIOLATIONS AND THE NONCOMPLIANCE OF SUP CONDITIONS AND HE WAS COMBATIVE, READ ONLY PARTS HE FELT ALLOWED HIM TO CONTINUE OUTDOOR STORAGE IN THE REAR AFTER HOURS. TOLD ME HE HAD A CALL INTO MY BOSS AND I WAS SUPPOSED TO NOTIFY HIM OF WHO MADE THE COMPLAINT. I EXPLAINED TO MR. MOON AT THE COMPLIANCE OF THE CASE, HE COULD REQUEST AN OPEN RECORDS REQUEST FOR ANY INFORMATION ABOUT THE CASE. HE SAID HE COULD PARK A BILLBOARD TRUCK IN THE REAR. HE CONTINUED WITH THE LAW SAYS I WAS SUPPOSED TO GIVE HIM THE COMPLAINANT'S NAME AND HE WOULD TURN THE CASE OVER TO HIS ATTORNEY. I TOLD HIM TO APPLY FOR A CHANGE IN CONDITIONS, HE SAID HE HAS BEEN AT THE LOCATION FOR MORE THAN SIX YEARS AND THERE HAS NOT BEEN AN ISSUE WITH THE LAST THREE OFFICERS UNTIL NOW. I LEFT AN OFFICIAL NOV AND A COPY OF THE 2011 SUP. |
| Initial Inspection | 10/20/2021 | 10/28/2021 | 10/20/2021 | Mailed Courtesy Notice | Adrian Walker | NUMBERING & USA FLAG IN DISREPAIR, STREAMERS ON CHAIN TO BLOCK ENTRANCE TO FIELD WITH PEELING PAINT. OUTSTORAGE IN REAR OF EQUIPMENT. OWNER SAYS HE HAS SUP, WILL CHECK CONDITIONS. |

CASE NUMBER : CEU2021-11748

WORKFLOW HISTORY

| Workflow Task | Assigned | Due | Completed | Status | Inspector | Comment |
|--------------------|------------|------------|------------|------------------------|-----------------|--|
| Enforcement | 10/18/2021 | 12/6/2021 | 2/15/2022 | Complied | Shenita Hampton | |
| Enforcement | 10/18/2021 | 12/6/2021 | 11/4/2021 | Mailed Official Notice | Adrian Walker | 1) APPLY FOR CHANGE IN CONDITIONS (CIC) FOR OUTDOOR STORAGE. 2) IF NOT APPLYING FOR CIC; REMOVE ALL OUTDOOR STORAGE DURING NON-BUSINESS HOURS. 3) REMOVE ALL STREAMERS AND FLAGS NOT ON PROPER FLAGPOLE. 4) REPAIR OR REPLACE NUMBERING ON BUILDING IN DISREPAIR. NUMBERING SHALL BE MINIMUM 6' IF MORE THAN 15 FEET FROM CURB. |
| Enforcement Intake | 10/18/2021 | 10/18/2021 | 10/18/2021 | Complaint Accepted | Thor Neff | |

VIOLATIONS

| ORDINANCE | CODE SECTION | VIOLATION DATE | COMPLIANCE DATE | VIOLATION STATUS |
|-------------------------------|--------------------------------|----------------|-----------------|------------------|
| Unified Development Ordinance | 270-30.11 COMPL WITH SUP | 10/20/2021 | 12/06/2021 | Met |
| Sign Ordinance | 78-107(2) Streamers Prohibited | 10/20/2021 | 11/10/2021 | Met |
| Sign Ordinance | 78-107(22) Disrepair | 10/20/2021 | 11/10/2021 | Met |
| Unified Development Ordinance | 230-130.4.H SU-OUTDOOR STORAGE | 10/20/2021 | 12/06/2021 | Met |
| Sign Ordinance | 78-109(10) Flags | 10/20/2021 | 11/10/2021 | Met |

CITATIONS

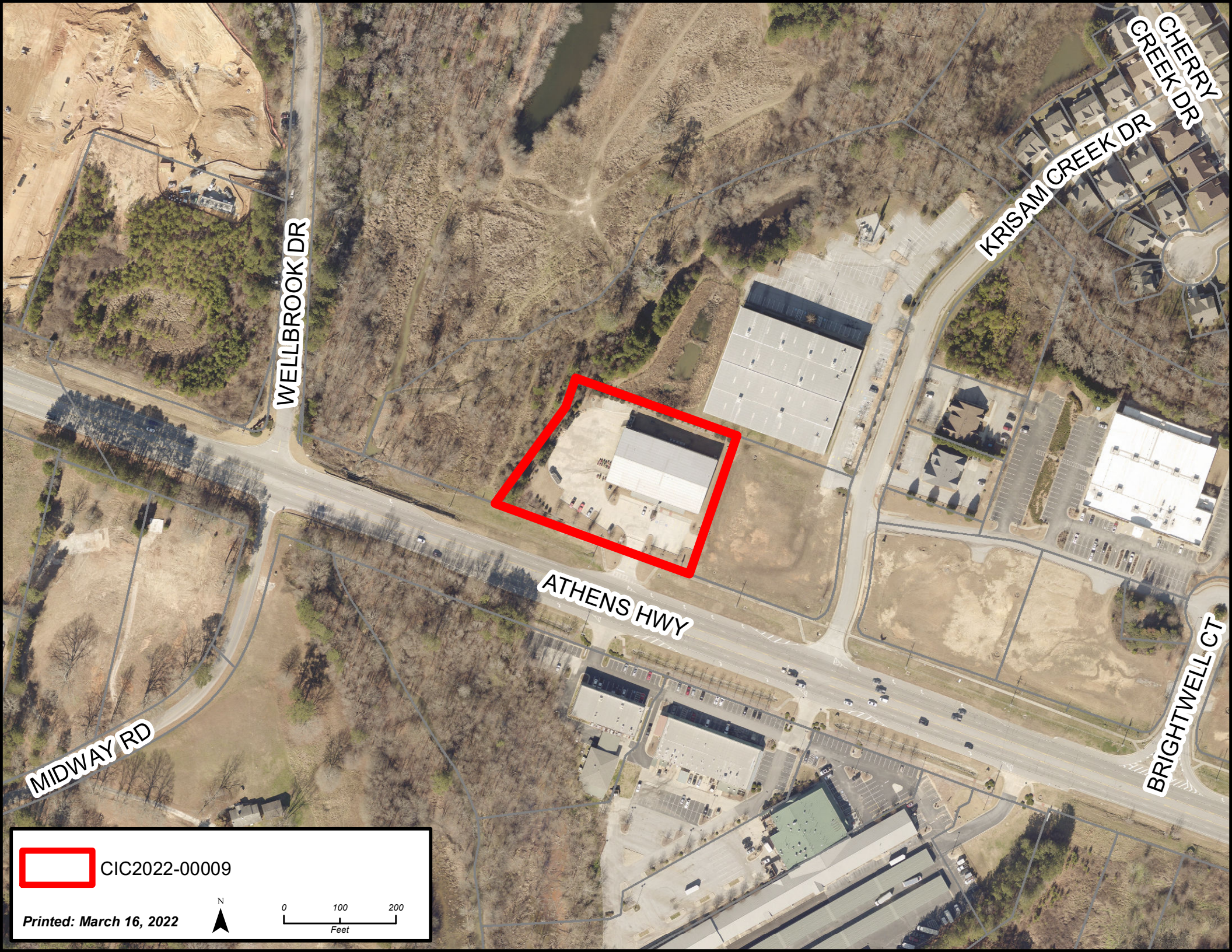
| ORDINANCE | CODE SECTION | DATE OF CITATION | CITATION NUMBER | COURT DATE |
|-----------|--------------|------------------|-----------------|------------|
|-----------|--------------|------------------|-----------------|------------|

DOCUMENTS

| DOCUMENT NAME | FILE NAME | DESCRIPTION | UPLOADED BY | UPLOADED ON |
|---|---|-------------|-------------|----------------------|
| /Enforcement_Mailed_Notice_Of_Violation_20211104_134824.pdf | /Enforcement_Mailed_Notice_Of_Violation_20211104_134824.pdf | | AOWALKER | 11/4/2021 1:48:25 PM |
| NOV 4, 2021 | 539 ATHENS HWY_LAWN SERVICE.pdf | INSPECTION | AOWALKER | 11/4/2021 4:15:19 PM |

Exhibit G: Maps

[attached]



WELLBROOK DR

KRISAM CREEK DR

CHERRY CREEK DR

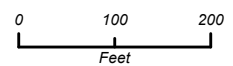
ATHENS HWY

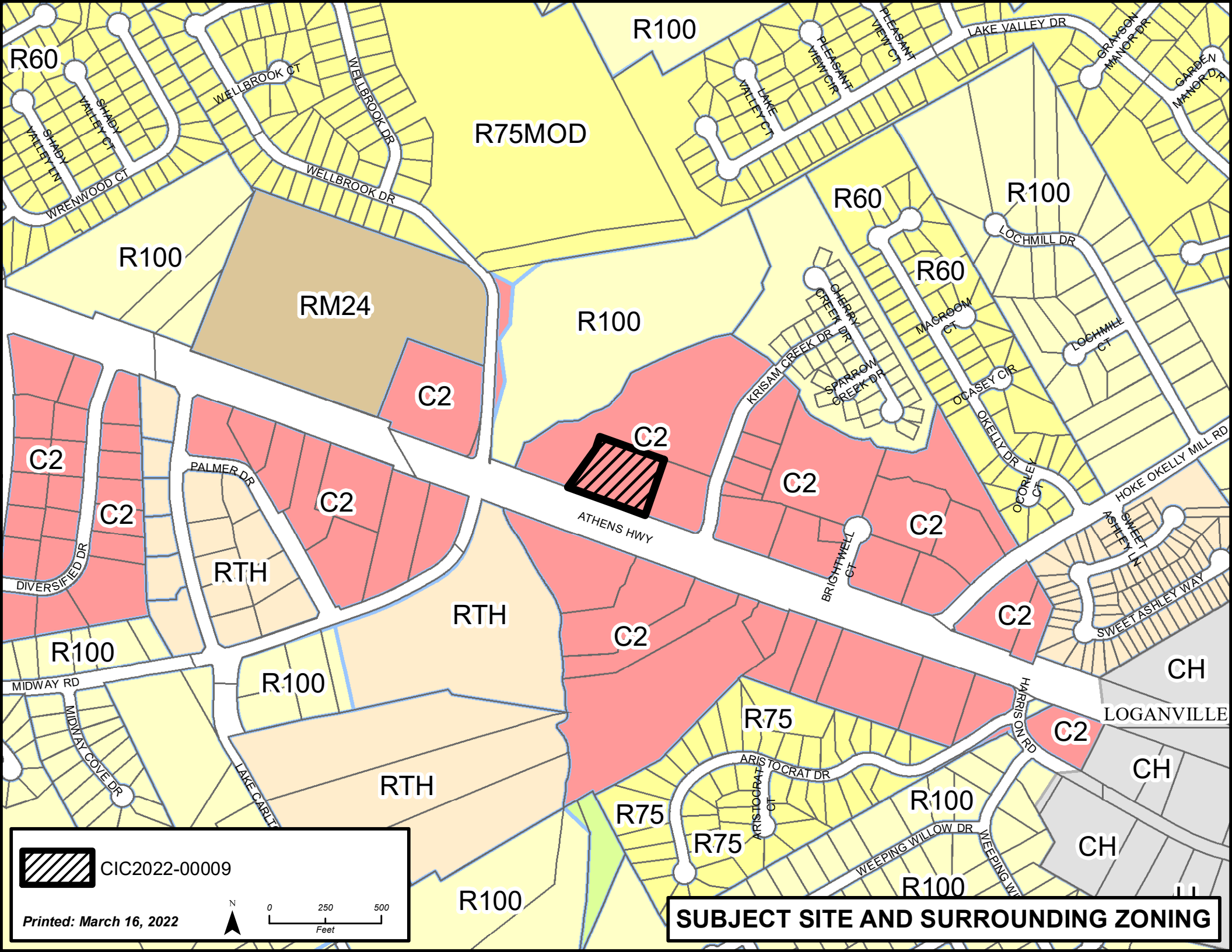
MIDWAY RD

BRIGHTWELL CT

 CIC2022-00009

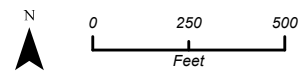
Printed: March 16, 2022





 CIC2022-00009

Printed: March 16, 2022



SUBJECT SITE AND SURROUNDING ZONING

RECEIVED

2/14/2022 4:38PM

2-15-22

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 10/2021

CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

| APPLICANT INFORMATION | PROPERTY OWNER INFORMATION* |
|---|---|
| NAME: <u>Chris C. Moon</u> | NAME: <u>Chris C. Moon</u> |
| ADDRESS: <u>539 Athens Hwy</u> | ADDRESS: <u>2371 Rabbit Farm Circle</u> |
| CITY: <u>Loganville</u> | CITY: <u>Loganville G</u> |
| STATE: <u>GA</u> ZIP: <u>30052</u> | STATE: <u>GA</u> ZIP: <u>30052</u> |
| PHONE: <u>770-401-6230</u> | PHONE: <u>770-401-6230</u> |
| EMAIL: <u>chrismoon@earthlink.net</u> | EMAIL: <u>chrismoon@earthlink.net</u> |
| CONTACT PERSON: <u>Chris C. Moon</u> PHONE: <u>770-401-6230</u> | |
| CONTACT'S E-MAIL: <u>chrismoon@earthlink.net</u> | |

(ASC# SWP 2011-00059 and CIC 2011-00020)

APPLICANT IS THE:

OWNER'S AGENT PROPERTY OWNER CONTRACT PURCHASER

ZONING DISTRICTS(S): C-2 General Business ^{SWP 2011-00059 and} PRIOR ZONING CASE: CIC 2011-00020

PARCEL NUMBER(S): R5131-202 ACREAGE: 1.96

ADDRESS OF PROPERTY: 539 Athens Hwy Loganville GA 30052

PROPOSED CHANGE IN CONDITIONS: Overnight storage of equipment for rear fenced in laundry area.

| RESIDENTIAL DEVELOPMENT: | NON-RESIDENTIAL DEVELOPMENT: |
|-------------------------------------|--------------------------------|
| NO. OF LOTS/DWELLING UNITS: _____ | NO. OF BUILDINGS/LOTS: _____ |
| DWELLING UNIT SIZE (Sq. Ft.): _____ | TOTAL GROSS SQUARE FEET: _____ |
| GROSS DENSITY: _____ | DENSITY: _____ |
| NET DENSITY: _____ | |

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

RECEIVED

2/3/2022 4:45PM

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Storage is in rear of Building behind 8' slatted Fence.
Will have no adverse effect on anyone.

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Will not affect. West side is wetlands.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Only difference would be to allow overnight storage.
Already has daily storage

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Has no effect. on any of the above

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Should have no affect.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

Outdoor Storage has been utilized for the past 7 years
With no adverse effects

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED
To Gwinnett County Planning and Development
2/3/2022 4:45PM

I am looking for a change in conditions on property located at 539 Athens Highway Loganville, Ga parcel # r5131-202 to allow us to continue doing business as we have for the last 7 years. The change would allow for outdoor storage overnight in the back lot.

The change would eliminate section d part 1 of case # sup2011-0059 dated October 25,2011. This would allow us to continue doing business as we have for the last 7 years without interruption.

Sincerely,

Chris Moon

February 4, 2022

RECEIVED

2/3/2022 4:45PM

CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

C. C. Moor

1-26-22

Signature of Applicant

Date

Chris C. Moor

Owner

1-26-22

Type or Print Name and Title

Nakimla Blythers

1-26-2022

Signature of Notary Public

Date



Notary Seal

RECEIVED

2/3/2022 4:45PM

CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Charles C. Moon

Signature of Property Owner

1-26-22

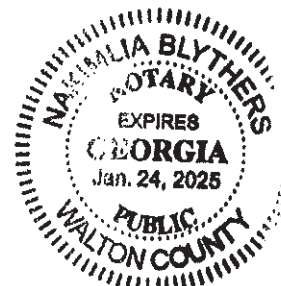
Date

Charles C. Moon

Type or Print Name and Title

Owner

1-26-22



Nakemalia Blythers

Signature of Notary Public

1-26-2022

Date

Notary Seal

RECEIVED

2/3/2022 4:45PM

Legal Description

All that tract or parcel of land lying and being in Land Lot 131, of the 5th Land District of Gwinnett County, Georgia and being more particularly described as follows;

Commencing at the intersection of the westerly right of way of Krisam Creek Drive, a 60 foot right of way and the northerly right of way of Athens Highway, a.k.a. U.S. Hwy No. 78, a 180 foot right of way and running thence along said right of way of Athens Highway North 71 degrees 04 minutes 00 seconds West a distance of 232.69 feet to a ½ inch rebar, said ½ inch rebar being the **Point of Beginning**, thence continuing along said right of way of Athens Highway, North 71 degrees 04 minutes 00 seconds West a distance of 368.19 feet to a ½ inch rebar, thence leaving said right of way North 35 degrees 38 minutes 21 seconds East a distance of 211.81 feet to a ½ inch rebar, thence North 19 degrees 06 minutes 55 seconds East a distance of 55.01 feet to a ½ inch rebar, thence South 71 degrees 04 minutes 00 seconds East a distance of 307.13 feet to a ½ inch rebar, thence South 18 degrees 56 minutes 00 seconds West a distance of 257.89 feet to a ½ inch rebar on the northerly right of way of the aforesaid Athens Highway, said ½ inch rebar being the **Point of Beginning**.

Said tract contains 1.961 acres and is more particularly shown on a Final Plat of Creekside Sports Center, prepared by Von Itter & McGee, Inc., dated 3/9/04, last revised 10/17/06, recorded in plat book 117, page 101, Gwinnett County Records.



RECEIVED 8-5-11
SUP2011-00059

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

| <u>Present</u> | <u>VOTE</u> |
|-------------------------------|-------------|
| Charlotte J. Nash, Chairman | <u>AYE</u> |
| Shirley Lasseter, District 1 | <u>AYE</u> |
| Lynette Howard, District 2 | <u>AYE</u> |
| Michael Beaudreau, District 3 | <u>AYE</u> |
| John Heard, District 4 | <u>AYE</u> |

On motion of COMM. BEAUDREAU, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO GRANT A SPECIAL USE PERMIT

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application for a Special Use Permit by CHRIS MOON for the proposed use of LAWN/GARDEN EQUIPMENT SALES AND SERVICE on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Special Use Permit Application has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

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2/3/2022 4:45PM

CASE NUMBER SUP2011-00059

GCID 2011-0826

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners

on OCTOBER 25, 2011 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners on this, the 25TH day of OCTOBER, 2011 that the aforesaid application for a Special Use Permit is hereby **APPROVED** with the following enumerated conditions:

1. To restrict the use of the property as follows:

- A. Retail and service commercial and accessory uses. A lawn and garden equipment sales and service business, with outdoor sales and storage, may be allowed as a special use.
- B. Any physical improvements (buildings) shall continue the existing architectural treatments of the Creek Stone Sports Complex, to include full masonry front elevations and masonry water tables on the side elevations, with the balance being stucco (EIFS) or colored split-face block complete with glass, metal or other architectural treatments; and the rear elevations (loading dock side) being stucco (EIFS) or colored split-face block complete with glass, metal or other architectural treatments. The overall color scheme of any building improvement shall be of earth tone color palette.
- C. Outdoor display of lawn and garden merchandise or equipment shall be restricted to paved areas immediately adjoining the proposed building. No display of merchandise or equipment shall be permitted within the required 10-foot or 5-foot landscape strips.

REMOVE: D. Outdoor sales, storage and display shall be limited to during the business normal hours of operation, and shall be prohibited overnight.

2. To satisfy the following site development considerations:

- A. Provide a 10-foot wide landscaped strip outside of all rights-of-way.
- B. Provide 5-foot wide landscaped strips adjacent to all internal property lines.
- C. Provide a 37.5-foot wide natural buffer, undisturbed except for approved access and utility crossings and re-plantings, where sparsely vegetated, adjacent to residential property along the east property line.
- D. Provide a minimum 100-foot wide natural, undisturbed buffer and 150-foot impervious surface setback adjacent to the banks of all perennial streams within or adjacent to the property (as shown on the most recent USGS 7.5 minute quadrangle map). Restore the natural buffer in any area previously disturbed.
- E. Dumpsters shall be screened by an 8-foot high brick wall.

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2/3/2022 4:45PM

CASE NUMBER SUP2011-00059
GCID 2011-0826

- F. No billboards shall be permitted.
- G. Ground signage shall be limited to a single monument-type sign with masonry base, not to exceed 10-feet in height.
- H. The number, location, and design of driveways onto Athens Highway shall be subject to review and approval of the Georgia Department of Transportation.
- I. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
- J. Provide wet detention facilities, or approved alternatives, meeting design standards for such facilities within the Big Haynes Creek Watershed. Design and maintenance plans for the wet detention facilities shall be subject to review and approval of the Planning and Development Department and the Gwinnett Department of Transportation Stormwater Management Unit.
- K. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent residential properties.
- L. Provide inter-parcel access to adjacent outparcels to the north and east.

WINNETT COUNTY BOARD OF COMMISSIONERS

By:

Charlotte J. Nash
Charlotte J. Nash, Chairman

Date Signed:

11/2/11

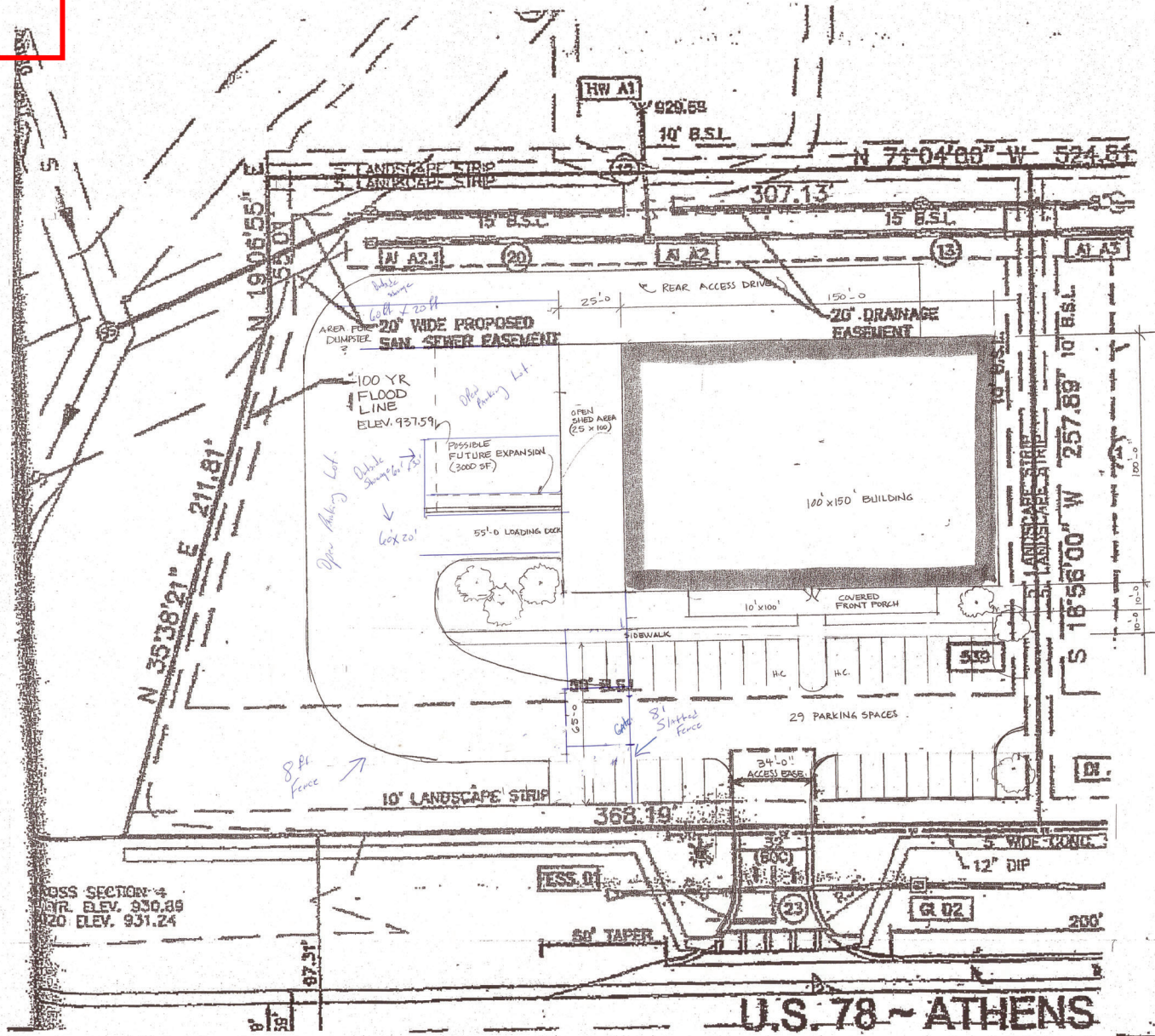
ATTEST:

Diane Kemp
County Clerk/Deputy County Clerk



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2/3/2022 4:45PM



| REVISIONS | DATE | BY | DESCRIPTION |
|-----------|------|----|-------------|
| | | | |
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|------------------|------------------|------------------|
| DESIGNED: XXX | CHECKED: XXX | APPROVED: XXX |
| DRAWN: XXX | CHECKED: XXX | APPROVED: XXX |
| DATE: 02/03/2022 | DATE: 02/03/2022 | DATE: 02/03/2022 |

4/19/13

AMT CONSULTING, LLC
1000 WOODBRIDGE DRIVE, SUITE 100
ROCKY HILL, CT 06151
(860) 261-1111
WWW.AMTCONSULTING.COM

ENGINEERS
ARCHITECTS
PLANNERS

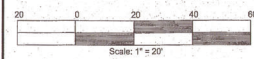
amt

Armentrout • Matheny • Thurmond

STEPHEN'S REPAIR
SHOP

HWY 78

CONCEPT
SITE
LAYOUT



C:\Documents and Settings\jteding\My Documents\Projects\US 78 Athens, TRACT 3.dwg
Thu Apr 18 2023 1:52:49pm

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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2/3/2022 4:45PM



GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

2/3/2022 3:48PM



GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

2/3/2022 4:45PM



GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

2/3/2022 4:45PM

