



**PLANNING AND DEVELOPMENT DEPARTMENT  
CASE REPORT**

**Case Number:** CIC2022-00025  
**Current Zoning:** C-2 (General Business District)  
**Overlay District:** Gateway 85  
**Request:** Change in Conditions  
**Address:** 4500 Satellite Boulevard  
**Map Number:** R6211 223  
**Site Area:** 10.57 acres  
**Square Feet:** 3,300  
**Proposed Development:** Tattoo and Body Piercing Parlor  
**Commission District:** District 1 – Commissioner Carden  
**Character Area:** Vibrant Communities

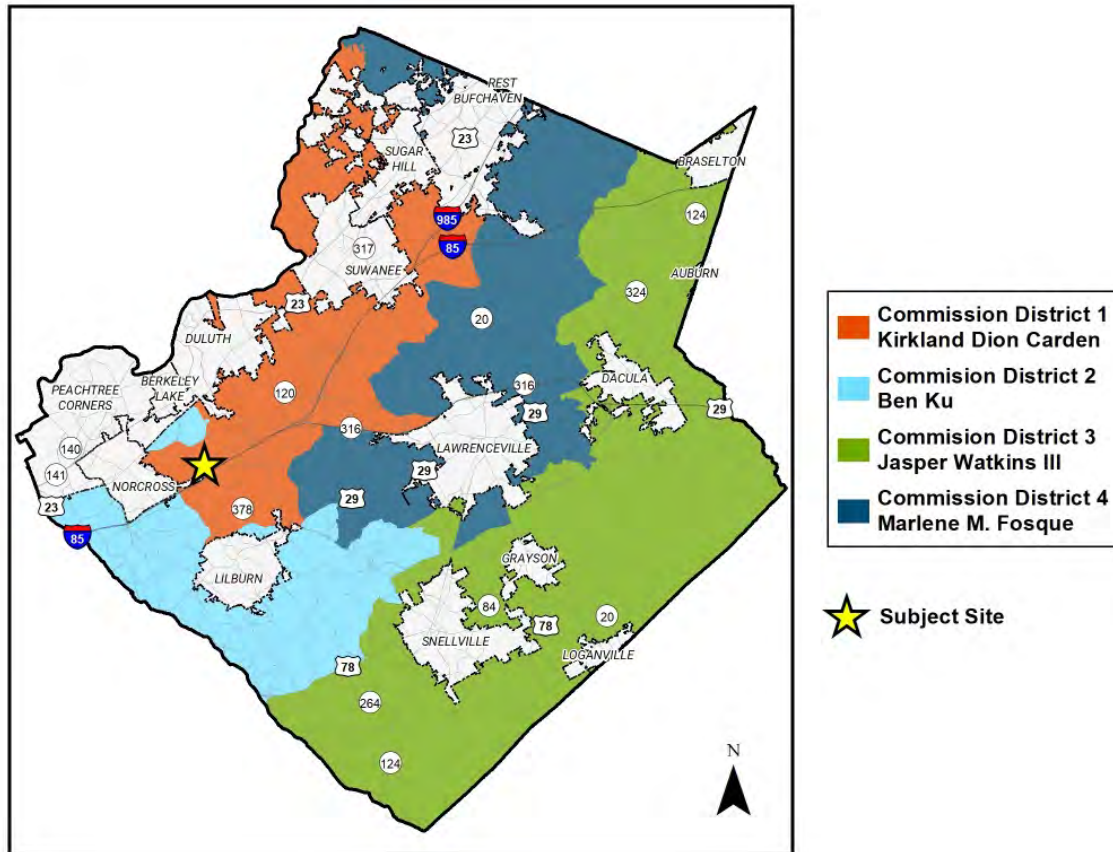
**Staff Recommendation:** APPROVAL WITH CONDITIONS

**Planning Commission Recommendation:** APPROVAL WITH CONDITIONS

**Case Number:** SUP2022-00054  
**Current Zoning:** C-2 (General Business District)  
**Overlay District:** Gateway 85  
**Request:** Special Use Permit (renewal)  
**Address:** 4500 Satellite Boulevard  
**Map Number:** R6211 223  
**Site Area:** 10.57 acres  
**Square Feet:** 3,300  
**Proposed Development:** Tattoo and Body Piercing Parlor  
**Commission District:** District 1 – Commissioner Carden  
**Character Area:** Vibrant Communities

**Staff Recommendation:** APPROVAL WITH CONDITIONS

**Planning Commission Recommendation:** APPROVAL WITH CONDITIONS



**Applicant:** Shinjo, Inc.  
 4500 Satellite Boulevard, Suite 1200  
 Duluth, GA 30096

**Owner:** Paragon Town Center, LLC  
 4500 Satellite Boulevard, Suite 1140  
 Duluth, GA 30096

**Contact:** Dong Min

**Contact Phone:** 678.862.2671

### Zoning History

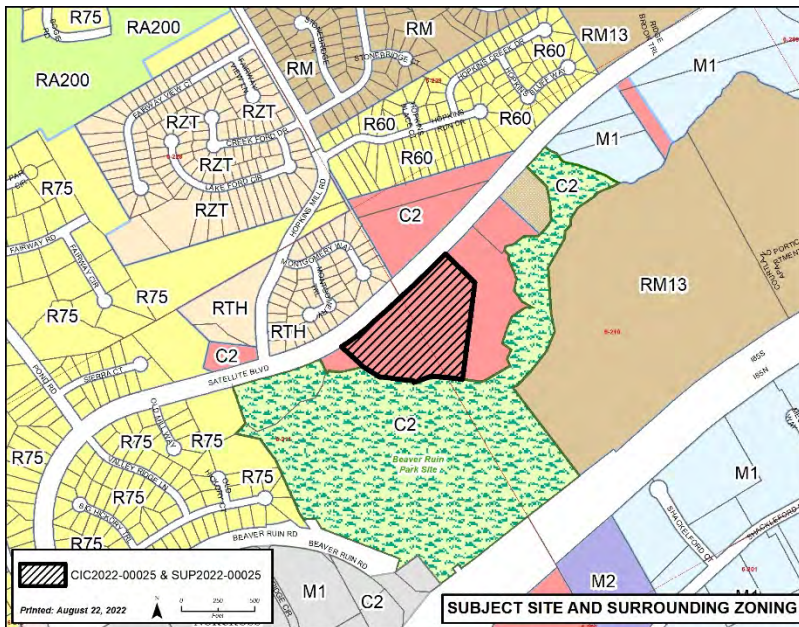
The subject property is zoned C-2 (General Business District). A buffer reduction was approved in 2006, pursuant to BRD2006-00002. There have been multiple special use permits approved for the site including, SUP2008-00023, SUP2014-00054, and SUP2020-00024 to allow for an indoor recreation facility, open storage and display, and a tattoo parlor, respectively. This special use permit renewal and change in conditions request is for SUP2020-00024 which allowed the tattoo and body piercing parlor.

## Existing Site Condition

The subject property is a 10.57-acre property containing the Paragon at Satellite, a two-story multi-tenant commercial retail center that includes retail, service and restaurant uses along with a parking lot and stormwater detention facility. The property is served by sanitary sewer, which is located along Satellite Boulevard. The frontage along Satellite Boulevard contains landscaping and a sidewalk. The nearest Gwinnett County Transit stop is located adjacent to the subject site. The applicant operates the tattoo and body piercing parlor in suite 1200 within the center. The site is located within the Gateway 85 Overlay District.

## Surrounding Use and Zoning

The subject site is located within a two-story retail building located on Satellite Boulevard east of its intersection with Hopkins Mill Road and is surrounded by a mixture of uses. To the north, across Satellite Boulevard, are single-family homes located within the Hopkins Ridge subdivision and a self-storage facility. To the east is a driving range and to the south and west is undeveloped property. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Existing	Tattoo and Body Piercing Parlor	C-2	N/A
North	Single-Family Residential	R-TH	4.29 units per acre
	Commercial	C-2	N/A
East	Commercial	C-2	N/A
South	Undeveloped	C-2	N/A
West	Undeveloped	C-2	N/A

## Project Summary

The applicant requests a change in conditions and a special use permit on a 10.37-acre property zoned C-2, for the expansion of an existing tattoo and body piercing parlor, including:

- A change in conditions of zoning case, SUP2020-00024. The applicant is requesting revisions to the following condition:
  - Condition 2, *“The tattoo parlor leased space shall not exceed 2,400 square feet”*. The applicant is requesting to revise this condition to allow the tattoo and body piercing parlor to be increased from 2,209 square feet to 3,300 square feet, an increase of 1,091 square feet.
- Expansion of the existing tattoo and body piercing parlor into an adjacent suite for additional tattoo studios, spaces for apprentices to practice, equipment cleaning and sanitizing area, and office use.
- Hours of operation Tuesday through Sunday from noon to 8pm.

## Zoning and Development Standards

The applicant is requesting a change in conditions and renewal of a special use permit for the proposed expansion of a tattoo and body piercing parlor in C-2, General Business District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Existing	Meets Standard?
Building Height	Maximum: 45'	<45'	YES*
Front Yard Setback	Minimum: 15'	>15'	YES
Side Yard Setback	Minimum: 10'	>10'	YES
Rear Yard Setback	Minimum: 30'	>30'	YES
Off-Street Parking	Minimum: 359 spaces Maximum: 898 spaces	420 spaces	YES
Landscape Strip	Minimum: 10'	>10'	YES

\*The building height is legal nonconforming.

## Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit E). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

## Staff Analysis

**Change in Conditions and Special Use Permit Analysis:** According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification, or a change in conditions, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. For Special Use Permits, the Department shall also evaluate the request and make a recommendation with respect to

the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

**A. Whether a proposed change in conditions and special use permit will permit a use that is suitable in view of the use and development of adjacent and nearby property.**

The applicant proposes to expand an existing tattoo parlor space from 2,209 square feet to 3,300 square feet, an increase of 1,091 square feet. Allowing a special use permit renewal for this tattoo and body piercing parlor and a change in conditions to allow the suite size to increase to 3,300 square feet would permit a use that is suitable in view and use of development of adjacent and nearby property.

**B. Whether a proposed change in conditions and special use permit will adversely affect the existing use or usability of adjacent or nearby property.**

Granting a change in conditions and special use permit to allow an expansion of the existing tattoo and body piercing parlor would not adversely affect the existing use and usability of adjacent and nearby property.

**C. Whether the property to be affected by a proposed change in conditions and special use permit has a reasonable economic use as currently zoned.**

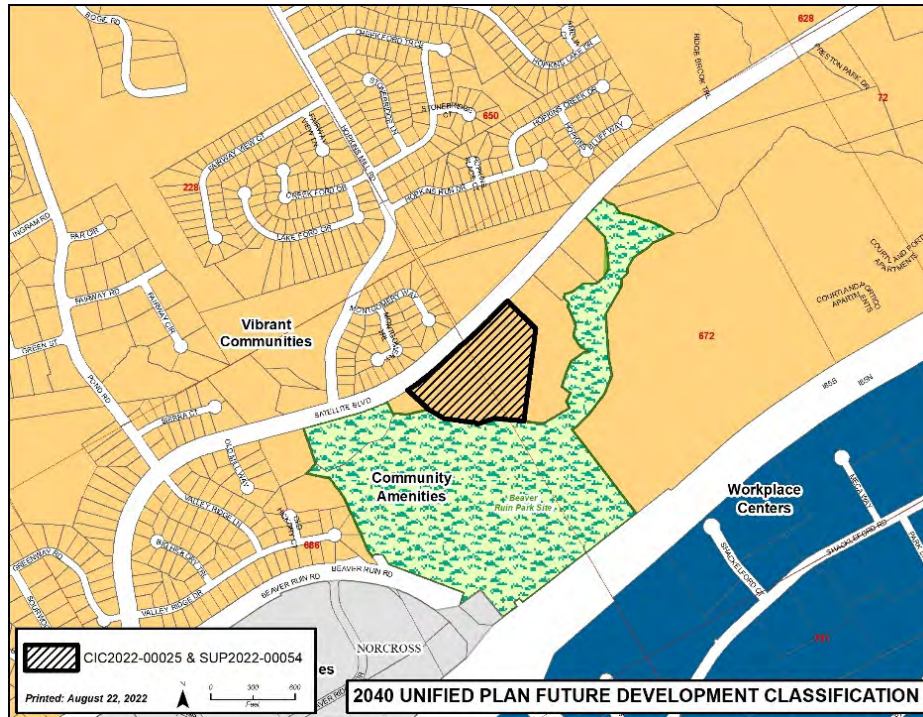
The property has a reasonable economic use as currently zoned.

**D. Whether the proposed change in conditions and special use permit will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

No impact on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff. No impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this change in conditions and special use permit request is attached (Exhibit E).

**E. Whether the proposed change in conditions and special use permit is in conformity with the policy and intent of the Unified Plan and Future Development Map.**

The 2040 Unified Plan and Future Development Map indicates that the subject property lies within the Vibrant Communities Character Area. This Character Area is intended to serve as a transition between neighborhood nodes and mixed-use activity centers and surrounding, established single-family residential areas, and is generally located away from the primary intersections where the various types of activity centers and nodes are located. The applicant proposes to continue the use of the property as a tattoo parlor. Therefore, the proposed change in conditions and special use permit is in conformity with the policy and intent of the Unified Plan and Future Development Map.



**F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in condition and special use permit.**

The applicant obtained special use approval in 2020 for the current business. There have been no code enforcement cases opened regarding the business since opening. Therefore, allowing the continued use and expansion of the business is appropriate.

**Planning Commission Recommended Conditions (includes Staff Recommended Conditions)**

Approval of a Change in Conditions and Special Use Permit (renewal) for a tattoo parlor, subject to the following enumerated conditions:

CIC2022-00025

1. The tattoo parlor leased space shall not exceed 2,400 square feet.
2. The hours of operation shall not extend past 9:00 p.m.
3. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers, and sign-twirlers shall be prohibited.
4. The Special Use Permit shall be valid for a two-year period, at which time the use shall cease, or an application shall be made for renewal of the Special Use Permit.

SUP2022-00054

1. The tattoo and body piercing parlor leased space shall not exceed 3,300 square feet.
2. The hours of operation shall not extend past 9:00 PM
3. No temporary tents, temporary canopies, temporary banners, temporary streamers, or temporary roping decorated with flags, tinsel, or other similar materials shall be displayed, hung, or strung on the site, except within 60 days of grand opening and during special events which shall occur no more than twice per calendar year, and last no longer than seven days each.

**Exhibits:**

- A. Site Visit Photos
- B. Site Plan
- C. Floor Plan of Additional Space
- D. Letter of Intent and Applicant's Response to Standards
- E. Internal and External Agency Review Comments
- F. BOC Resolution SUP2020-00024 and Site Plan
- G. Maps

**Exhibit A: Site Visit Photos**



**Paragon at Satellite Retail Center**

**Exhibit B: Site Plan**

**[attached]**



**Exhibit C: Floor Plan of Additional Space**

**[attached]**



**Exhibit D: Letter of Intent and Applicant's Response to Standards**

**[attached]**

**RECEIVED**

8/3/2022

LETTER OF INTENT

July 28, 2022

Gwinnet County Department of  
Planning & Development  
446 West Crogan Street, Suite 300  
Lawrenceville, Georgia 30046

Shinjo, Inc /DBA Camouflage Tattoo-

Requesting Revision to Condition 2 of SUP 2022-00024, The tattoo  
parlor leased space shall not exceed 2,400 square feet.

Application for Change in Conditions for Tattoo Shop located at  
4500 Satellite Blvd Ste 1200, Duluth, GA, 30096

Dear Sirs,

The applicant, Shinjo Inc/ DBA Camouflage Tattoo, requests revision to Condition 2 of SUP  
2022-00024, The tattoo parlor leased space shall not exceed 2,400 square feet.

The applicant is currently planning to expand business with renting out the office area in the  
same shopping center 2<sup>nd</sup> floor. The reason why Camouflage tattoo shop is considering  
expand the shop is that they really need extra tattoo stations, spaces for apprentices  
practicing and office use.

However, regarding to SUP Condition 2, they cannot exceed 2,400 square foot for the tattoo  
shop. Current tattoo shop, Camouflage Tattoo, is located at 4500 Satellite Blvd Ste 1200,  
Duluth GA 30096 is 2,209 square feet and desired renting space, 4500 Satellite Blvd Ste 2180,  
Duluth GA 30096, is 1091 square feet. It adds up to 3,300 square feet and over 900 square  
feet from 2,400 square feet.

The shopping center, Paragon Town Center, is located at 4500 Satellite Blvd, Duluth, GA, 30096  
next to the Satellite Blvd and Hopkins Mill Rd. The property, C2 zoned, is 10.568 acres with 420  
parking spaces and already has beauty salon, restaurants and Hookah Lounge in the shopping  
center. The properties near the Paragon Town Center are the golf center, gas station and across  
the Stellate Blvd is town houses and storage store.

Since the current property is already used as the shopping center where the salon business and  
hookah lounge and bowling center are located under C2 zoning, the intent of change in  
conditions application for Tattoo shop, SUP2020-00024 is suitable for the 4500 Satellite Blvd Ste  
2180, Duluth, GA, 30096 keeping same business hour six days a week Tuesday to Sunday from  
noon to 8 pm.

We hope this change in conditions request to be approved.  
CIC2022-00025 & SUP2022-00054

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

**RECEIVED**

8/3/2022

Sincerely,

Jisun Yoon  
Shinjo Inc

4500 Satellite Blvd Ste 1200  
Duluth, GA 30096

RECEIVED

8/3/2022

**SPECIAL USE PERMIT APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes, this strip shopping center has beauty and hair salon, Hookah Lounge, Restaurants and Bowling Center. Art and tattoo shop is suitable for the location.

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No, there is a hookah bar and salons in the shopping center and adjacent mall near the Satellite Blvd is also under C2 zoning with the Golf Center and Gas Station.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Current zoning for the strip shopping center is C2 and Art and Tattoo studio will bring positive effect economically along with other beauty shop and Recreational places.

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The proposed use will not impact on existing traffic and schools.

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed special use is suitable of current C2 zoning and purpose of current location.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

There are beauty shop, hookah lounge and recreational centers around use is suitable.

**RECEIVED**

8/3/2022

LETTER OF INTENT

July 28, 2022

Gwinnet County Department of  
Planning & Development  
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CIC2022-00025 & SUP2022-00054

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

**RECEIVED**

8/3/2022

Sincerely,

Jisun Yoon  
Shinjo Inc

4500 Satellite Blvd Ste 1200  
Duluth, GA 30096

**RECEIVED**

8/3/2022

**CHANGE IN CONDITIONS APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:  
: Yes, this strip shopping center has beauty and hair salon, Hookah Lounge, Restaurants and Bowling Center. Art and tattoo shop is suitable for the location.
- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:  
: No, there is a hookah bar and salons in the shopping center and adjacent mall near the Satellite Blvd is also under C2 zoning with the Golf Center and Gas Station.
- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:  
: Current zoning for the strip shopping center is C2 and Art and Tattoo studio will bring positive effect economically along with other beauty shop and Recreational places.
- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:  
: No, the proposed change in condition will not impact on existing traffic and schools.
- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:  
: The proposed change in condition is suitable of current C2 zoning and purpose of current location.
- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:  
: There are beauty shop, hookah lounge and recreational centers around use is suitable.

**Exhibit E: Internal and External Agency Review Comments**

**[attached]**



Department of Planning and Development  
**TECHNICAL REVIEW COMMITTEE**

<b>TRC Meeting Date:</b>		9.16.2022	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 1	
Reviewer Email Address:		<a href="mailto:Brent.Hodges@gwinnettcounty.com">Brent.Hodges@gwinnettcounty.com</a>	
Case Number:			
Case Address:		4500 Satellite Boulevard	
<b>Comments:</b>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		<b>YES</b>	<b>NO</b>
1	Satellite Boulevard is a major arterial. ADT = 21,506.		
2	600-feet to the nearest transit facility (#2335253) Satellite Boulevard and Hopkins Mill Road.		
3			
4			
5			
6			
7			
<b>Recommended Zoning Conditions:</b>		<input type="checkbox"/>	<input checked="" type="checkbox"/>
		<b>YES</b>	<b>NO</b>
1			
2			
3			
4			
5			
6			
7			

**Note:** Attach additional pages, if needed

Revised 7/26/2021

**Exhibit F: BOC Resolution SUP2020-00024 and Site Plan**

**[attached]**

CASE NUMBER SUP2020-00024  
GCID 2020-0450

GWINNETT COUNTY  
BOARD OF COMMISSIONERS  
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: GRANT OF A SPECIAL USE PERMIT

ADOPTION DATE: JUNE 23, 2020

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Gwinnett Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

---

	<u>Present</u>	<u>Vote</u>
Charlotte J. Nash, Chairman	Yes	Aye
Jace Brooks, District 1	Yes	Aye
Ben Ku, District 2	Yes	Aye
Tommy Hunter, District 3	Yes	Aye
Marlene Fosque, District 4	Yes	Aye

---

On motion of COMM. BROOKS, which carried 5-0, the following Resolution was adopted:

A RESOLUTION TO GRANT A SPECIAL USE PERMIT

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application for a Special Use Permit by SHINJO, INC. for the proposed use of TATTOO STUDIO on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Special Use Permit Application has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on JUNE 23, 2020 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners, this the 23<sup>rd</sup> day of JUNE 2020, that the aforesaid application for a Special Use Permit is hereby **APPROVED** with the following enumerated conditions:

1. Retail and service commercial and accessory uses, which may include a tattoo parlor as a Special Use.
2. The tattoo parlor leased space shall not exceed 2,400 square feet.
3. The hours of operation shall not extend past 9:00 p.m.
4. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance and shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.
5. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state, or federal law. Flashing or blinking signs and neon or LED signs shall be prohibited. Exposed or visible LED strips mounted on the building or around window frames shall be prohibited.
6. Peddlers and/or parking lot sales shall be prohibited.
7. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
8. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers, and sign-twirlers shall be prohibited.

9. The Special Use Permit shall be valid for a two-year period, at which time the use shall cease or an application shall be made for renewal of the Special Use Permit.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Charlotte J. Nash  
Charlotte J. Nash, Chairman

Date Signed: 7-6-20

ATTEST:

Diane Kelly  
County Clerk/Deputy County Clerk



Type: DEED Book: 53139 Page: 00652

DK 53139 PG0652

EXHIBIT "A"

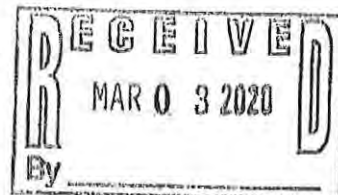
LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL of land lying and being in Land Lots 210 and 211 of the 6<sup>th</sup> District, Gwinnett County, Georgia, being designated as Tract 3 of Paragon at Satellite, containing 10.568 acres, according to that certain Subdivision Plat for Platting Purposes Only of Paragon at Satellite for Cornerstone Investment Group, LLC, dated November 28, 2005, recorded in Plat Book 117, Pages 130 through 136, Gwinnett County, Georgia Records, said plat being incorporated herein by reference.

TOGETHER WITH all easement rights set forth in that certain Declaration of Easements for Paragon at Satellite by Cornerstone Investment Group, LLC, filed for record October 19, 2006 and recorded in Deed Book 47154, Page 501, Gwinnett County, Georgia Records.

SUP '20 024

11



**Exhibit G: Maps**

**[attached]**



HOPKINS MILL RD

MONTGOMERY WAY

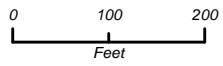
MONTGOMERY TRL

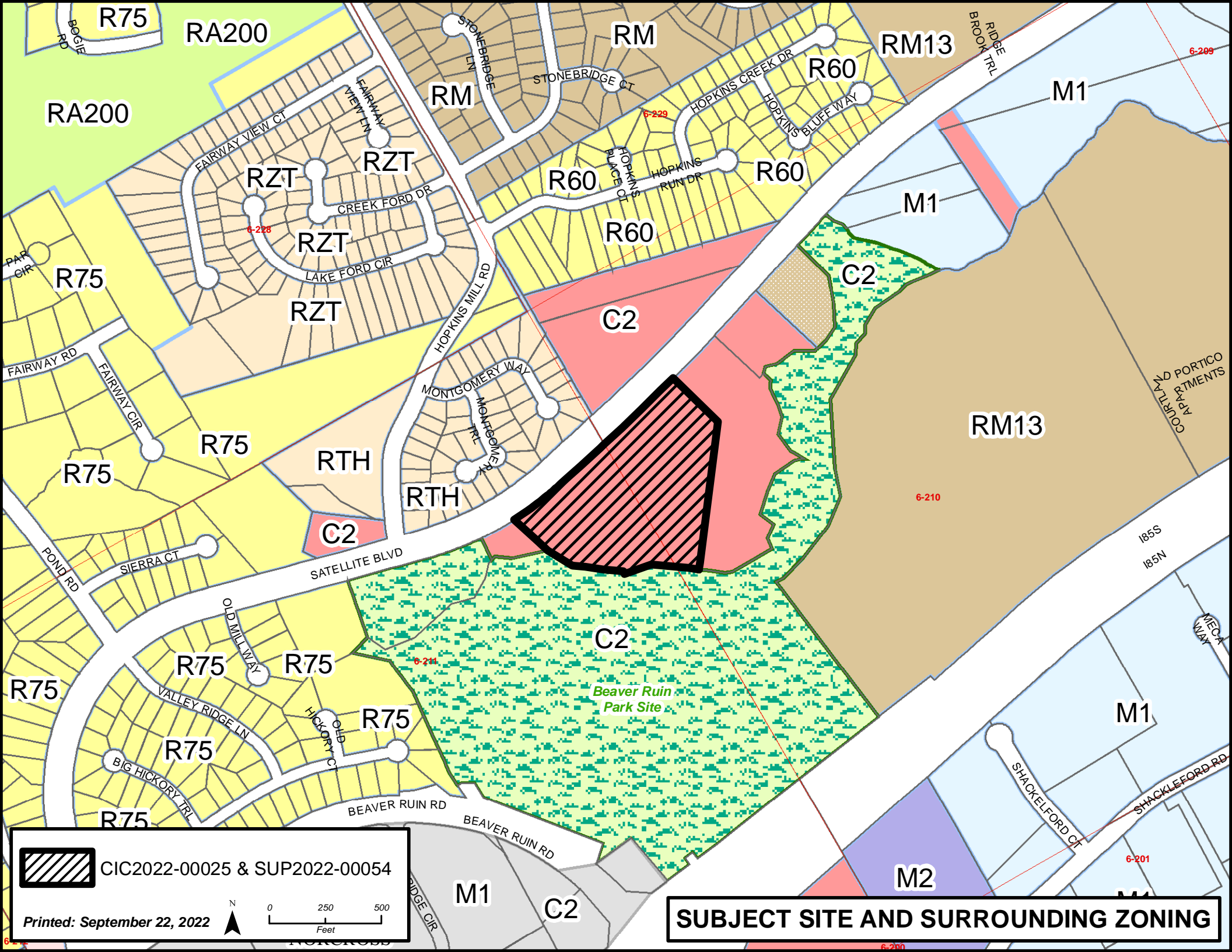
SATELLITE BLVD




CIC2022-00025 & SUP2022-00054

Printed: August 22, 2022



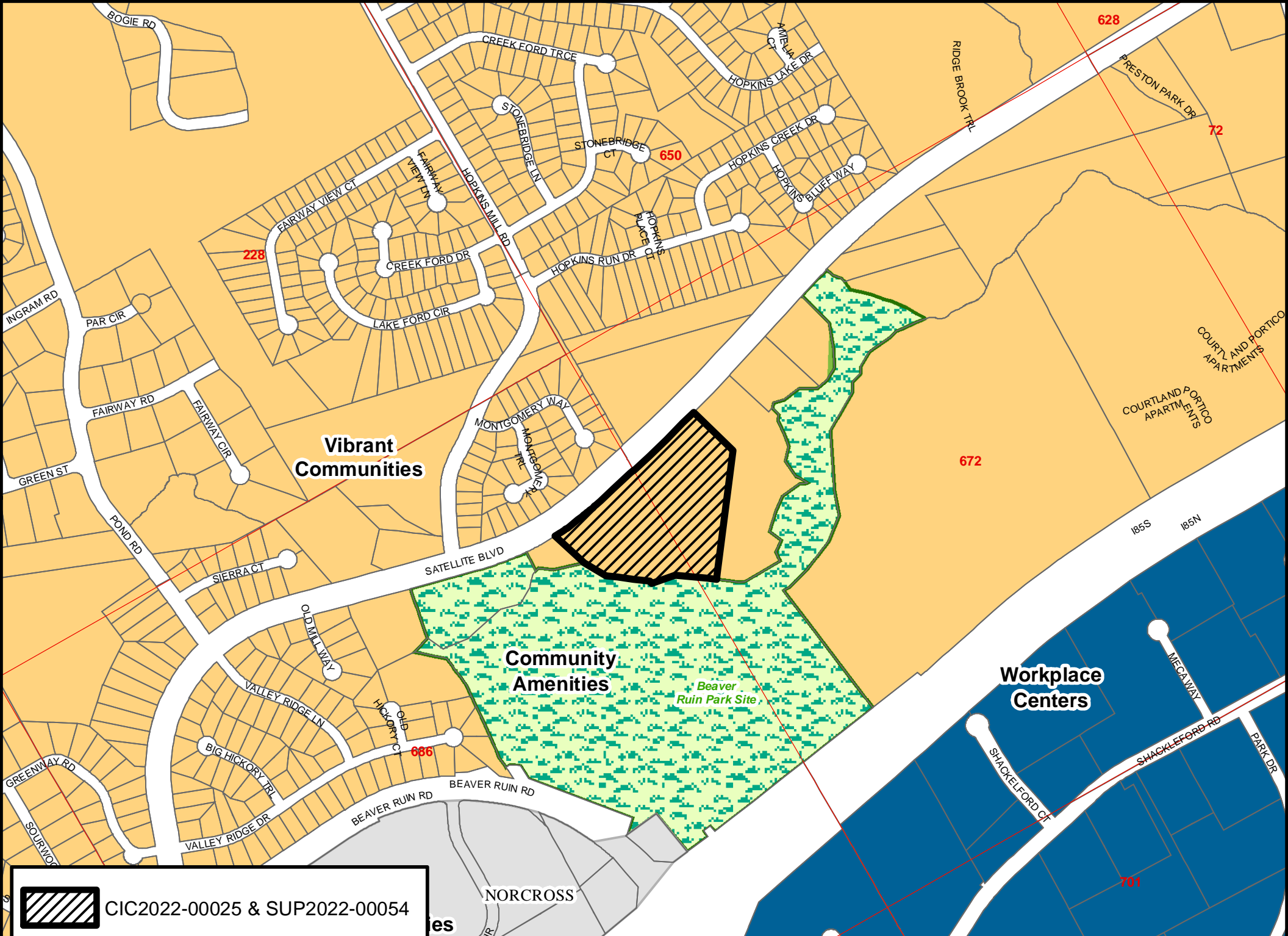



 CIC2022-00025 & SUP2022-00054

Printed: September 22, 2022

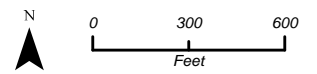



**SUBJECT SITE AND SURROUNDING ZONING**



 CIC2022-00025 & SUP2022-00054

Printed: August 22, 2022



**2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION**

**RECEIVED**

8/3/2022

**CHANGE IN CONDITIONS APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Shinjo Inc</u>	NAME: <u>Paragon TownCenter, LLC</u>
ADDRESS: <u>4500 Stellite Blvd #1200</u>	ADDRESS: <u>4500 Stellite Blvd #1140</u>
CITY: <u>Duluth</u>	CITY: <u>Duluth</u>
STATE: <u>GA</u> ZIP: <u>30096</u>	STATE: <u>GA</u> ZIP: <u>30096</u>
PHONE: <u>678-862-2671</u>	PHONE: <u>770-638-0247</u>
EMAIL: <u>marksoul8701@gmail.com</u>	EMAIL: <u>simon@ndidevelopment.com</u>
CONTACT PERSON: <u>Dong Min</u> PHONE: <u>678-862-2671</u>	
CONTACT'S E-MAIL: <u>marksoul8701@gmail.com</u>	

**APPLICANT IS THE:**

OWNER'S AGENT   
 PROPERTY OWNER   
 CONTRACT PURCHASER

ZONING DISTRICTS(S): C2                      PRIOR ZONING CASE: \_\_\_\_\_

PARCEL NUMBER(S): R6-211-223                      ACREAGE: 10.568

ADDRESS OF PROPERTY: 4500 Stellite Blvd #2180, Duluth GA 30096

PROPOSED CHANGE IN CONDITIONS: Revision to condition 2 of SUP2020-00024

RESIDENTIAL DEVELOPMENT:	NON-RESIDENTIAL DEVELOPMENT:
NO. OF LOTS/DWELLING UNITS: _____	NO. OF BUILDINGS/LOTS: <u>1</u>
DWELLING UNIT SIZE (Sq. Ft.): _____	TOTAL GROSS SQUARE FEET: <u>1091 sqft</u>
GROSS DENSITY: _____	DENSITY: _____
NET DENSITY: _____	

**PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED**

**RECEIVED**

8/3/2022

**CHANGE IN CONDITIONS APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:  
: Yes, this strip shopping center has beauty and hair salon, Hookah Lounge, Restaurants and Bowling Center. Art and tattoo shop is suitable for the location.
- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:  
: No, there is a hookah bar and salons in the shopping center and adjacent mall near the Satellite Blvd is also under C2 zoning with the Golf Center and Gas Station.
- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:  
: Current zoning for the strip shopping center is C2 and Art and Tattoo studio will bring positive effect economically along with other beauty shop and Recreational places.
- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:  
: No, the proposed change in condition will not impact on existing traffic and schools.
- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:  
: The proposed change in condition is suitable of current C2 zoning and purpose of current location.
- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:  
: There are beauty shop, hookah lounge and recreational centers around use is suitable.

**RECEIVED**

8/3/2022

Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 10/2021

**CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



08/03/2022

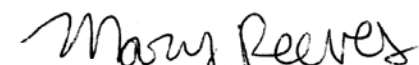
\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

Byungil Son/ Representative

\_\_\_\_\_  
Type or Print Name and Title

MARY REEVES  
NOTARY PUBLIC  
Gwinnett County, Georgia  
My Commission Expires 6/5/2024

  
\_\_\_\_\_  
Signature of Notary Public

8-3-22  
\_\_\_\_\_  
Date


\_\_\_\_\_  
Notary Seal

**RECEIVED**

8/3/2022

**CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

  
\_\_\_\_\_  
Signature of Property Owner

8.3.22  
\_\_\_\_\_  
Date

Simon Wang property Manager  
\_\_\_\_\_  
Type or Print Name and Title

MARY REEVES  
NOTARY PUBLIC  
Gwinnett County, Georgia  
My Commission Expires 6/5/2024

Mary Reeves 8-3-22  
\_\_\_\_\_  
Signature of Notary Public                      Date

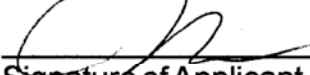
\_\_\_\_\_  
Notary Seal


**RECEIVED**

8/3/2022


**CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS**

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

 08/03/2022 Jisun Yoon/ Owner  
Signature of Applicant Date Type of Print Name and Title

 08/03/2022 Byungil Son/ Representative  
Signature of Applicant's Attorney or Representative Date Type or Print Name and Title

MARY REEVES  
NOTARY PUBLIC  
Gwinnett County, Georgia  
My Commission Expires 6/5/2024

 8-3-22  
Signature of Notary Public Date Notary Seal

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES  NO

Jisun Yoon

\_\_\_\_\_  
Your Name

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

RECEIVED

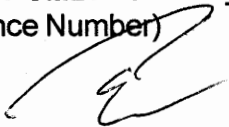
8/4/2022

**VERIFICATION OF CURRENT PAID PROPERTY TAXES  
FOR CHANGE IN CONDITIONS**

THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\* NOTE: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: 6 - 211 - 223  
(Map Reference Number) District Land Lot Parcel



08/03/2022

Signature of Applicant

Date

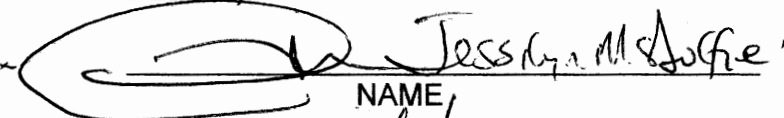
Byungil Son/ Representative

Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)



NAME

TSA

TITLE

8/4/22

DATE

**RECEIVED**

8/3/2022

### **CHANGE IN CONDITIONS CHECKLIST**

The following is a checklist of information required for submission of a Change in Conditions application. The Planning and Development Department reserves the right to reject any incomplete applications.

- Pre-Application Acknowledgement Form (if applicable)
- Application Form
- Boundary Survey
- Legal Description
- Site Plan (One (1) digital copy)
- Standards Governing Exercise of the Zoning Power
- Letter of Intent
- Applicant Certification with Notarized Signature
- Property Owner Certification with Notarized Signature
- Conflict of Interest Certification/Campaign Contributions
- Verification of Paid Property Taxes (most recent year)
- Application Fee – make checks payable to Gwinnett County

**Additional Exhibits (if required):**

- Additional site plan requirements for OSC, TND, R-SR, R-TH, MU-N, MU-C, MU-R and HRR rezoning requests
- Traffic Study
- Review Form for Development of Regional Impact

**Please bring this checklist when filing for a Change in Conditions.**

**RECEIVED**

8/3/2022

LETTER OF INTENT

July 28, 2022

Gwinnet County Department of  
Planning & Development  
446 West Crogan Street, Suite 300  
Lawrenceville, Georgia 30046

Shinjo, Inc /DBA Camouflage Tattoo-

Requesting Revision to Condition 2 of SUP 2022-00024, The tattoo  
parlor leased space shall not exceed 2,400 square feet.

Application for Change in Conditions for Tattoo Shop located at  
4500 Satellite Blvd Ste 1200, Duluth, GA, 30096

Dear Sirs,

The applicant, Shinjo Inc/ DBA Camouflage Tattoo, requests revision to Condition 2 of SUP 2022-00024, The tattoo parlor leased space shall not exceed 2,400 square feet.

The applicant is currently planning to expand business with renting out the office area in the same shopping center 2<sup>nd</sup> floor. The reason why Camouflage tattoo shop is considering expand the shop is that they really need extra tattoo stations, spaces for apprentices practicing and office use.

However, regarding to SUP Condition 2, they cannot exceed 2,400 square foot for the tattoo shop. Current tattoo shop, Camouflage Tattoo, is located at 4500 Satellite Blvd Ste 1200, Duluth GA 30096 is 2,209 square feet and desired renting space, 4500 Satellite Blvd Ste 2180, Duluth GA 30096, is 1091 square feet. It adds up to 3,300 square feet and over 900 square feet from 2,400 square feet.

The shopping center, Paragon Town Center, is located at 4500 Satellite Blvd, Duluth, GA, 30096 next to the Satellite Blvd and Hopkins Mill Rd. The property, C2 zoned, is 10.568 acres with 420 parking spaces and already has beauty salon, restaurants and Hookah Lounge in the shopping center. The properties near the Paragon Town Center are the golf center, gas station and across the Stellate Blvd is town houses and storage store.

Since the current property is already used as the shopping center where the salon business and hookah lounge and bowling center are located under C2 zoning, the intent of change in conditions application for Tattoo shop, SUP2020-00024 is suitable for the 4500 Satellite Blvd Ste 2180, Duluth, GA, 30096 keeping same business hour six days a week Tuesday to Sunday from noon to 8 pm.

We hope this change in conditions request to be approved.

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

**RECEIVED**

8/3/2022

Sincerely,

Jisun Yoon  
Shinjo Inc

4500 Satellite Blvd Ste 1200  
Duluth, GA 30096



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT  
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2020-00024**  
ZONING :**C-2**  
LOCATION :**4500 BLOCK OF SATELLITE BOULEVARD**  
MAP NUMBER :**R6211 223**  
ACREAGE :**10.57 ACRES**  
SQUARE FEET :**2,209 SQUARE FEET**  
PROPOSED DEVELOPMENT :**TATTOO STUDIO**  
COMMISSION DISTRICT :**(1) BROOKS**

FUTURE DEVELOPMENT MAP: **VIBRANT COMMUNITIES**

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

APPLICANT: SHINJO, INC.  
1907 GRANVILLE DRIVE  
LAWRENCEVILLE, GA 30044

CONTACT: COLIN SON PHONE: 470.655.8812

OWNER: PARAGON TOWN CENTER, LLC  
4500 SATELLITE BOULEVARD, #1140  
DULUTH, GA 30096



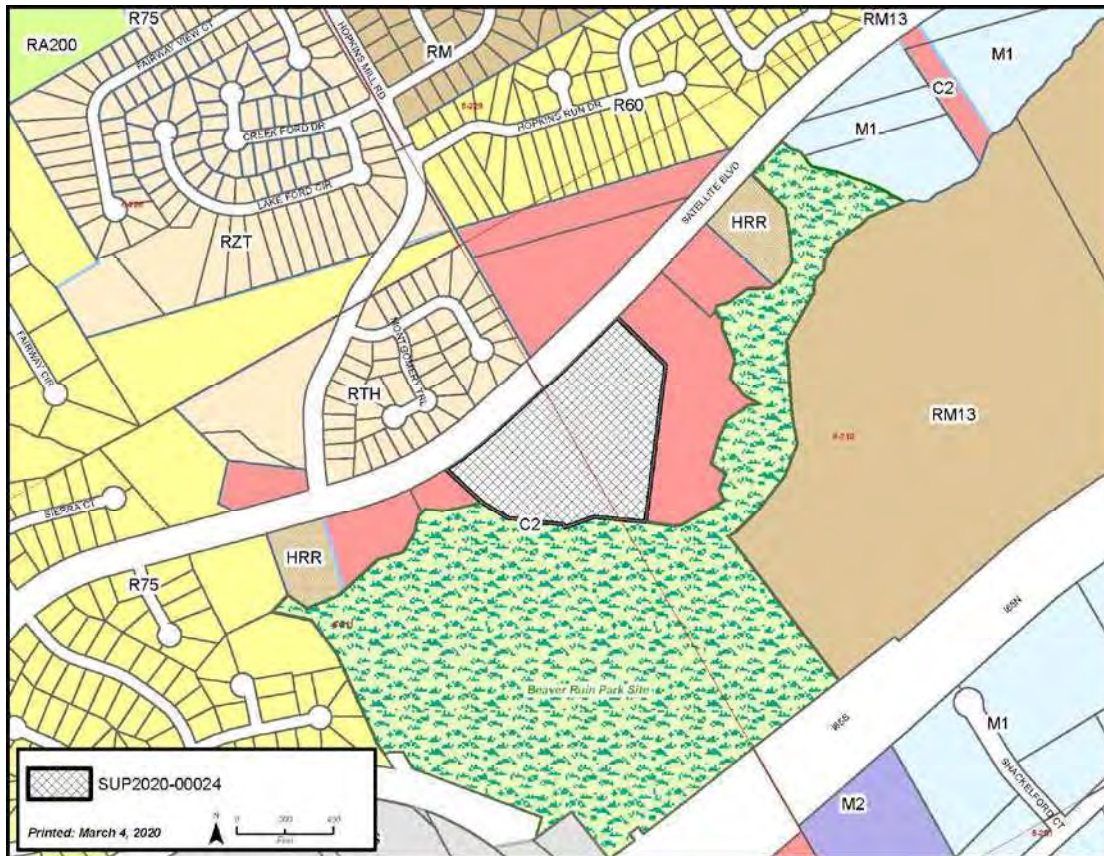


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8/3/2022

SUP2020-00024 (KA)

The surrounding area is characterized by commercial/retail uses with residential developments located beyond this segment of Satellite Boulevard. To the north, across Satellite Boulevard are the Hopkins Ridge Subdivision and a mini-warehouse facility. To the south of the site is a large floodplain and wetland protected by a conservation easement. To the east of the subject property are the Menlo Creek and Preston Park at Satellite apartment complexes, zoned RM-13, as well as the Recycling Bank of Gwinnett. To the west is a county owned property and the Hickory Ridge subdivision zoned R-75.



In conclusion, the requested Special Use Permit could be consistent with the Unified Plan's intent to encourage commercial retail in transitional areas between neighborhood nodes and mixed-use activity centers such as the subject site. Additionally, the request could be compatible with the surrounding commercial development pattern. The Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

**RECEIVED**

8/3/2022

**ADDITIONAL SITE PHOTOS**



(NORTHERN) PROPERTY LINE

**RECEIVED**

SUP2020-00024 (KA)

8/31/20  
**PLANNING AND DEVELOPMENT DEPARTMENT  
RECOMMENDED CONDITIONS**

Approval of a Special Use Permit for a tattoo parlor, subject to the following enumerated conditions:

1. Retail and service commercial and accessory uses, which may include a tattoo parlor as a Special Use.
2. The tattoo parlor leased space shall not exceed 2,400 square feet.
3. The hours of operation shall not extend past 9:00 p.m.
4. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance and shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.
5. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state, or federal law. Flashing or blinking signs and neon or LED signs shall be prohibited. Exposed or visible LED strips mounted on the building or around window frames shall be prohibited.
6. Peddlers and/or parking lot sales shall be prohibited.
7. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
8. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers, and sign-twirlers shall be prohibited.
9. The Special Use Permit shall be valid for a two-year period, at which time the use shall cease or an application shall be made for renewal of the Special Use Permit.

**RECEIVED**

8/3/2022

SUP2020-00024 (KA)

**PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS  
STANDARDS GOVERNING THE EXERCISE OF ZONING**

**SUITABILITY OF USE**

The proposed Special Use Permit to allow a tattoo parlor may be suitable based on the heavily developed retail and commercial nature of the area, and that minimal changes are proposed to the existing building.

**ADVERSE IMPACTS**

With the recommended conditions, potential impacts on neighboring properties could be reduced.

**REASONABLE ECONOMIC USE AS ZONED**

The property has a reasonable economic use as currently zoned.

**IMPACTS ON PUBLIC FACILITIES**

A negligible increase in traffic and utility demand could be anticipated from the request.

**CONFORMITY WITH POLICIES**

The request for a tattoo parlor could be compatible with the policies and intent of the 2040 Unified Plan and Future Development Map which provides for a variety of commercial uses in designated commercial areas within the Vibrant Communities Character Area.

**CONDITIONS AFFECTING ZONING**

The subject property lies within a highly commercial/retail segment of Satellite Boulevard. With appropriate conditions and limitations, the proposed use of a tattoo parlor could be suitable to this area.

RECEIVED

8/3/2022

**SPECIAL USE PERMIT APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes, this strip shopping center has beauty and hair salon, Hookah Lounge, Restaurants and Bowling Center. Art and tattoo shop is suitable for the location.

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No, there is a hookah bar and salons in the shopping center and adjacent mall near the Satellite Blvd is also under C2 zoning with the Golf Center and Gas Station.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SOCIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Current zoning for the strip shopping center is C2 and Art and Tattoo studio will bring positive effect economically along with other beauty shop and Recreational places.

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

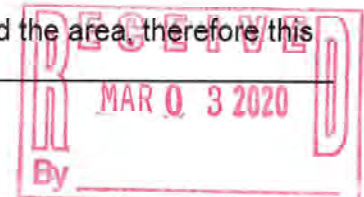
The proposed use will not impact on existing traffic and schools.

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed special use is suitable of current C2 zoning and purpose of current location.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

There are beauty shop, hookah lounge and recreational centers around the area, therefore this use is suitable.



**RECEIVED**

8/3/2022

LETTER OF INTENT

February 27, 2020

Gwinnet County Department of  
Planning & Development  
446 West Crogan Street, Suite 250  
Lawrenceville, Georgia 30046

Shinjo, Inc- Application for Special Use Permit for Art and Tattoo Shop located at  
4500 Satellite Blvd Ste 1200, Duluth, GA, 30096

Dear Sirs,

The applicant, Shinjo Inc, desires to establish an Art and Tattoo shop business and lease the space in the shopping center, named Paragon Town Center, located at 4500 Satellite Blvd, Duluth, GA, 30096. The shopping center is 10.568 acres with 420 parking spaces and desired leasing space, suite 1200, is 2,209 square feet. The applicant plans to operate the shop Six days a week, Tuesday through Sunday, Noon to 8:00PM

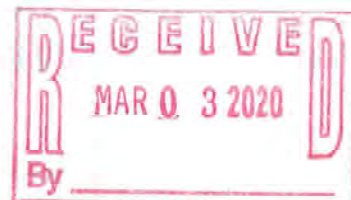
The shopping center is located next to the Satellite Blvd and Hopkins Mill Rd. The property, C2 zoned, already has beauty salon, restaurants and Hookah Lounge in the shopping center. The properties near the Paragon Town Center are the golf center, gas station and across the Stellate Blvd is town houses and storage store.

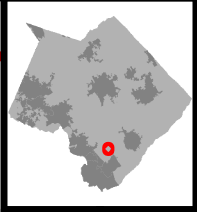
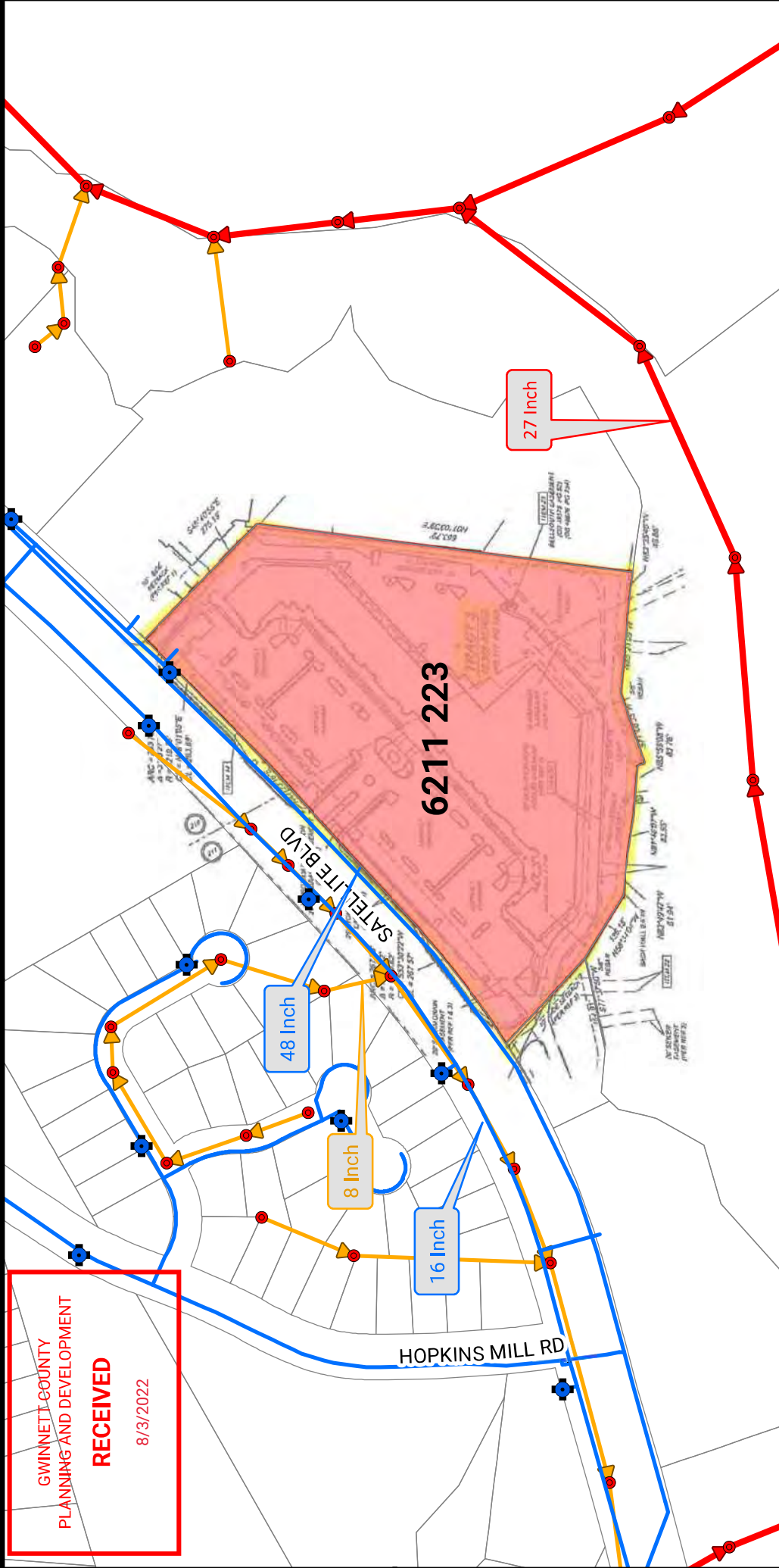
Since the current property is already used as the shopping center where the salon business and hookah lounge and bowling center are located under C2 zoning, the intent of this special use permit application for Art and Tattoo shop is suitable for the 4500 Satellite Blvd Ste 1200, Duluth, GA, 30096. We hope this special use permit request to be approved.

Sincerely,

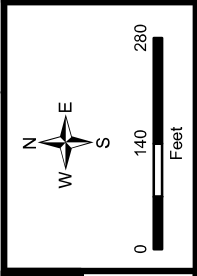
Jisun Yoon  
Shinjo Inc  
1907 Granville Dr  
Lawrenceville, GA 30044

SUP '20 024





LOCATION



# SUP2020-00024

## Water & Sewer Utility Map

**LEGEND**

	Flow Management		Sewer Force Main
	Pump Station		Effluent Outfall
	Regional		Sewer Collector
	Manhole		Sewer Interceptor
	Hydrant		
	City		
	Water Main		
	Reuse Main		

**Water Comments:** No DWR Comments

**Sewer Comments:** No DWR Comments

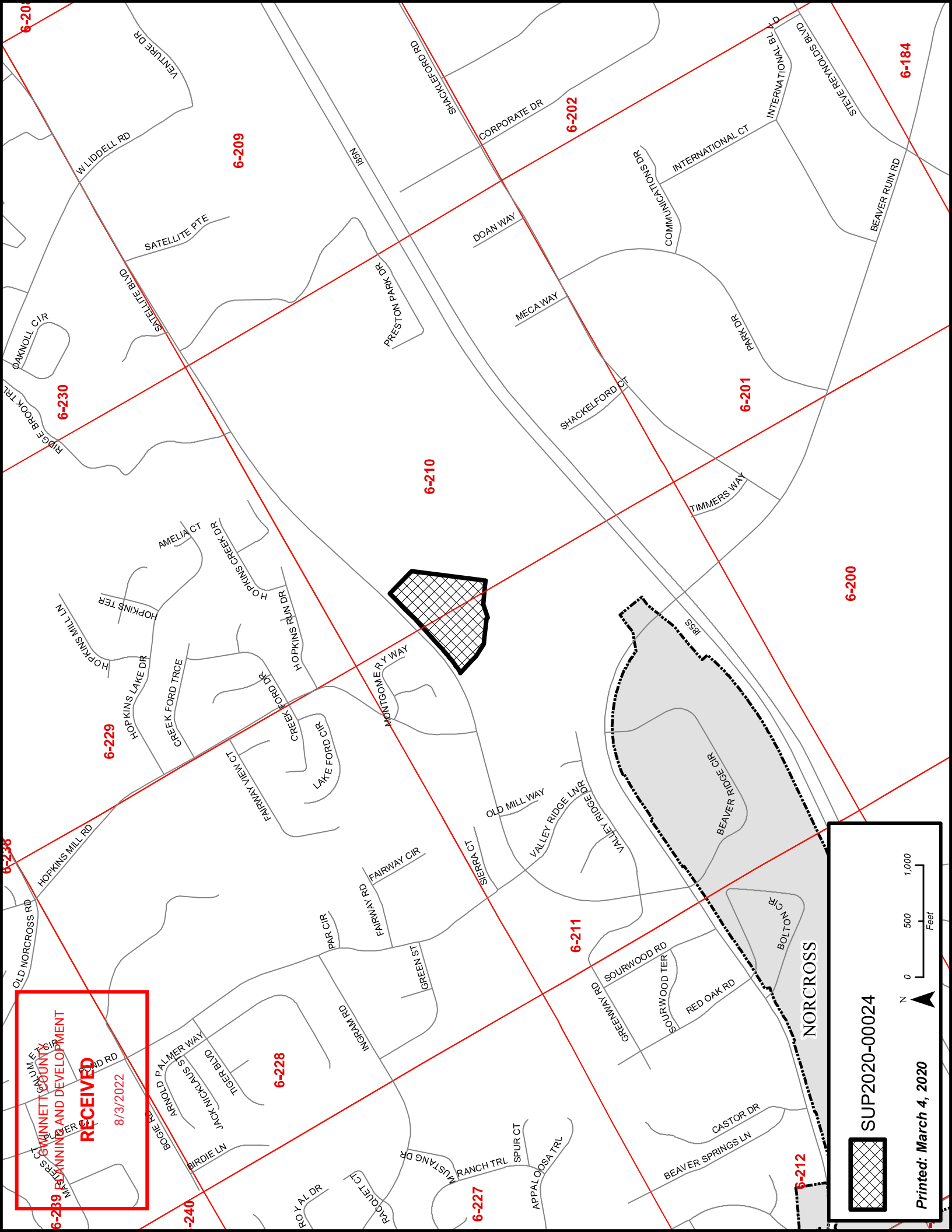
**Water Availability:** Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.


**Sewer Availability:** A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

**Water and Sewer Design and Construction Requirements:** Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 15th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

**Private Road Developments:** Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

6-289  
SUNNYSIDE  
PLANNING AND DEVELOPMENT  
**RECEIVED**  
8/3/2022



 SUP2020-00024


Printed: March 4, 2020

Scale: 0, 500, 1,000 Feet

North Arrow




**RECEIVED**  
GWINNETT COUNTY  
PLANNING AND DEVELOPMENT  
3/3/2020

 SUP2020-00024

Printed: March 4, 2020

0 200 400 Feet

N 



SATELLITE BLVD

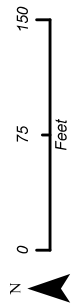
MONTGOMERY WAY

MONTGOMERY TRL

SWINNETT COUNTY  
PLANNING AND DEVELOPMENT  
**RECEIVED**  
4/3/2022



SUP2020-00024



Printed: March 4, 2020







**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT  
SPECIAL USE PERMIT ANALYSIS**

ZONING: \_\_\_\_\_  
LOCATION: \_\_\_\_\_  
MAP NUMBER: \_\_\_\_\_  
ACREAGE: \_\_\_\_\_  
PROPOSAL: \_\_\_\_\_  
COMMISSION DISTRICT: ( \_\_\_ ) \_\_\_\_\_

APPLICANT: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CONTACT: \_\_\_\_\_ PHONE: \_\_\_\_\_

OWNER: \_\_\_\_\_  
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**Application Intake Evaluation Checklist  
Special Use Permit**

**Purpose:** This checklist is to be used to ensure that new Special Use Permit applications are complete prior to being assigned to a Case Planner for a more thorough review. This form should be completed within one business day of receipt of the application.

Date Received: \_\_\_\_\_ Date Checklist Completed: \_\_\_\_\_

Reviewer Initials: \_\_\_\_\_

Property is located within unincorporated Gwinnett County?  Yes or  No  
(If no, the application may not be accepted)

**Confirm that the following items have been submitted (Y/N):**

- \_\_\_\_\_ Completed Application Form
- \_\_\_\_\_ Responses to Standards Governing the Exercise of Zoning Power
- \_\_\_\_\_ Notarized Applicant's Certification
- \_\_\_\_\_ Notarized Property Owner's Certification
- \_\_\_\_\_ Application Fee
- \_\_\_\_\_ Legal Description
- \_\_\_\_\_ Boundary Survey
- \_\_\_\_\_ Site Plan
- \_\_\_\_\_ Reduced (8.5" x 11") copy of the site plan (if necessary)
- \_\_\_\_\_ Letter of Intent
- \_\_\_\_\_ Notarized Conflict of Interest Certification Form
- \_\_\_\_\_ Verification of Paid Property Taxes
- \_\_\_\_\_ Notarized Special Use Permit in a Residential District Form (For SUP in a Residential District)
- \_\_\_\_\_ Signed Pre-Application Form

Application Complete?  Yes or  No

**YES?** Place a copy of the application in the Pending folder per the PC-BOC Application Acceptance and Review SOPs.

**NO?** Create an Incomplete Application Letter per the PC-BOC Application Acceptance and Review SOPs.

**NOTE:** Add this form to the front of the application.



## PRE-APPLICATION INFORMATION FORM

**NOTE:** Once the Pre-Application Meeting is complete, staff will provide the applicant with a signed copy of this form. This signed copy must be submitted with your official zoning/variance application.

### Applicant Information:

Name: Dong Wook Min

Company: SHINJO INC

Mailing Address: 4500 Satellite Blvd Ste 1200

City, State, Zip Code: Duluth, GA, 30096

Phone Number: 678 862 2671 Email Address: Marksoul8701@gmail.com

### Project Summary:

Address of Project: 4500 Satellite Blvd Ste 1200 Duluth GA 30096

Name of Project: Camouflage Tattoo Studio

Application Type (Rezoning, Change in Conditions, Special Use Permit, Buffer Reduction, Variance, Other):  
Renewing Special Use Permit, Change in Condition

Total Project Acreage: 10,57 Total Square Footage: 2,209 Total Number of Lots/Units: 1

Detailed Description (Include Proposed Use(s) and Square Footage of Floor Area for each use):  
Renewing Special Use Permit; SUP2020-00024,  
And requesting change in condition regarding current plan to rent out office room in the same mall  
for expanding shop.

### Pre-Application Information Form Submittal Checklist:

- Completed Pre-Application Information Form
- One PDF digital version of Concept Plan

### For Internal Use Only:

Pre-Application Meeting Date: 7/19/2022

Staff Printed Name: Gabrielle Carreau Signed: 



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT  
SPECIAL USE PERMIT ANALYSIS**

ZONING: \_\_\_\_\_  
LOCATION: \_\_\_\_\_  
MAP NUMBER: \_\_\_\_\_  
ACREAGE: \_\_\_\_\_  
PROPOSAL: \_\_\_\_\_  
COMMISSION DISTRICT: ( \_\_\_ ) \_\_\_\_\_

APPLICANT: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CONTACT: \_\_\_\_\_ PHONE: \_\_\_\_\_

OWNER: \_\_\_\_\_  
\_\_\_\_\_  
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**Application Intake Evaluation Checklist  
Special Use Permit**

**Purpose:** This checklist is to be used to ensure that new Special Use Permit applications are complete prior to being assigned to a Case Planner for a more thorough review. This form should be completed within one business day of receipt of the application.

Date Received: \_\_\_\_\_ Date Checklist Completed: \_\_\_\_\_

Reviewer Initials: \_\_\_\_\_

Property is located within unincorporated Gwinnett County?  Yes or  No  
(If no, the application may not be accepted)

**Confirm that the following items have been submitted (Y/N):**

- \_\_\_\_\_ Completed Application Form
- \_\_\_\_\_ Responses to Standards Governing the Exercise of Zoning Power
- \_\_\_\_\_ Notarized Applicant's Certification
- \_\_\_\_\_ Notarized Property Owner's Certification
- \_\_\_\_\_ Application Fee
- \_\_\_\_\_ Legal Description
- \_\_\_\_\_ Boundary Survey
- \_\_\_\_\_ Site Plan
- \_\_\_\_\_ Reduced (8.5" x 11") copy of the site plan (if necessary)
- \_\_\_\_\_ Letter of Intent
- \_\_\_\_\_ Notarized Conflict of Interest Certification Form
- \_\_\_\_\_ Verification of Paid Property Taxes
- \_\_\_\_\_ Notarized Special Use Permit in a Residential District Form (For SUP in a Residential District)
- \_\_\_\_\_ Signed Pre-Application Form

Application Complete?  Yes or  No

**YES?** Place a copy of the application in the Pending folder per the PC-BOC Application Acceptance and Review SOPs.

**NO?** Create an Incomplete Application Letter per the PC-BOC Application Acceptance and Review SOPs.

**NOTE:** Add this form to the front of the application.



## PRE-APPLICATION INFORMATION FORM

**NOTE:** Once the Pre-Application Meeting is complete, staff will provide the applicant with a signed copy of this form. This signed copy must be submitted with your official zoning/variance application.

### Applicant Information:

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Company: SHINJO INC

Mailing Address: 4500 Satellite Blvd Ste 1200

City, State, Zip Code: Duluth, GA, 30096

Phone Number: 678 862 2671 Email Address: Marksoul8701@gmail.com

### Project Summary:

Address of Project: 4500 Satellite Blvd Ste 1200 Duluth GA 30096

Name of Project: Camouflage Tattoo Studio

Application Type (Rezoning, Change in Conditions, Special Use Permit, Buffer Reduction, Variance, Other):  
Renewing Special Use Permit, Change in Condition

Total Project Acreage: 10,57 Total Square Footage: 2,209 Total Number of Lots/Units: 1

Detailed Description (Include Proposed Use(s) and Square Footage of Floor Area for each use):  
Renewing Special Use Permit; SUP2020-00024,  
And requesting change in condition regarding current plan to rent out office room in the same mall  
for expanding shop.

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- Completed Pre-Application Information Form
- One PDF digital version of Concept Plan

### For Internal Use Only:

Pre-Application Meeting Date: 7/19/2022

Staff Printed Name: Gabrielle Carreau Signed: 

**RECEIVED** A.org - Image Index

8/3/2022

Type: DEED Book: 53139 Page: 00652

DK 53139 PG0652

EXHIBIT "A"

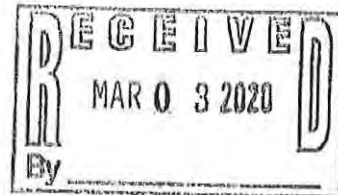
LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL of land lying and being in Land Lots 210 and 211 of the 6<sup>th</sup> District, Gwinnett County, Georgia, being designated as Tract 3 of Paragon at Satellite, containing 10.568 acres, according to that certain Subdivision Plat for Platting Purposes Only of Paragon at Satellite for Cornerstone Investment Group, LLC, dated November 28, 2005, recorded in Plat Book 117, Pages 130 through 136, Gwinnett County, Georgia Records, said plat being incorporated herein by reference.

TOGETHER WITH all easement rights set forth in that certain Declaration of Easements for Paragon at Satellite by Cornerstone Investment Group, LLC, filed for record October 19, 2006 and recorded in Deed Book 47154, Page 501, Gwinnett County, Georgia Records.

SUP '20 024

11



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8/3/2022

**SPECIAL USE PERMIT APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Shinjo Inc</u>	NAME: <u>Paragon Town Center, LLC</u>
ADDRESS: <u>4500 Stellite Blvd #1200</u>	ADDRESS: <u>4500 Stellite Blvd #1140</u>
CITY: <u>Duluth</u>	CITY: <u>Duluth</u>
STATE: <u>GA</u> ZIP: <u>30096</u>	STATE: <u>GA</u> ZIP: <u>30096</u>
PHONE: <u>678-862-2671</u>	PHONE: <u>770-638-0247</u>
EMAIL: <u>marksoul8701@gmail.com</u>	EMAIL: <u>simon@ndidevelopment.com</u>
CONTACT PERSON: <u>Dong Min</u> PHONE: <u>678-862-2671</u>	
CONTACT'S E-MAIL: <u>marksoul8701@gmail.com</u>	

\*Include any person having a property interest and any person having a financial interest in any business entity having property interest (use additional sheets if necessary).

APPLICANT IS THE:	
<input type="checkbox"/> OWNER'S AGENT	<input type="checkbox"/> PROPERTY OWNER <input checked="" type="checkbox"/> CONTRACT PURCHASER
EXISTING/PROPOSED ZONING: <u>C2</u> BUILDING/LEASED SQUARE FEET: <u>2209</u>	
PARCEL NUMBER(S): <u>R6-211-223</u> ACREAGE: <u>10.568</u>	
ADDRESS OF PROPERTY: <u>4500 Satellite Blvd Ste 1200, Duluth GA 30096</u>	
SPECIAL USE REQUESTED: <u>Art and Tattoo Studio</u>	

**PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED**

RECEIVED

8/3/2022

**SPECIAL USE PERMIT APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes, this strip shopping center has beauty and hair salon, Hookah Lounge, Restaurants and Bowling Center. Art and tattoo shop is suitable for the location.

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No, there is a hookah bar and salons in the shopping center and adjacent mall near the Satellite Blvd is also under C2 zoning with the Golf Center and Gas Station.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Current zoning for the strip shopping center is C2 and Art and Tattoo studio will bring positive effect economically along with other beauty shop and Recreational places.

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The proposed use will not impact on existing traffic and schools.

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed special use is suitable of current C2 zoning and purpose of current location.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

There are beauty shop, hookah lounge and recreational centers around use is suitable.

**RECEIVED**

8/3/2022

Gwinnett County Planning Division  
Special Use Permit Application  
Last Updated 10/2021

**SPECIAL USE PERMIT APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



08/03/2022

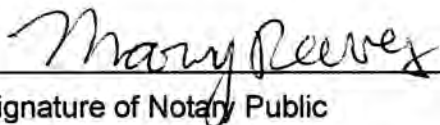
Signature of Applicant

Date

Byungil Son/ Representative

Type or Print Name and Title

MARY REEVES  
NOTARY PUBLIC  
Gwinnett County, Georgia  
My Commission Expires 6/5/2024



8/3/22

Signature of Notary Public

Date

Notary Seal

RECEIVED

8/3/2022


**SPECIAL USE PERMIT PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

  
Signature of Property Owner

8.3.22  
Date

Simon Wang, Property Manager  
Type or Print Name and Title

  
Signature of Notary Public

8-3-22  
Date

MARY REEVES  
NOTARY PUBLIC  
Gwinnett County, Georgia  
My Commission Expires 6/5/2024


Notary Seal


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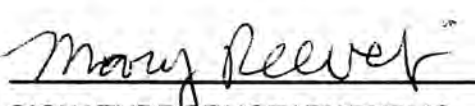
8/3/2022

**CONFLICT OF INTEREST CERTIFICATION FOR SPECIAL USE PERMIT**

The undersigned below, making application for a Special Use Permit, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

 08/03/2022 Jisun Yoon/ Owner  
SIGNATURE OF APPLICANT DATE TYPE OR PRINT NAME AND TITLE

 08/03/2022 Byungil Son/ Representative  
SIGNATURE OF APPLICANT'S DATE TYPE OR PRINT NAME AND TITLE  
ATTORNEY OR REPRESENTATIVE

 8-3-22  
SIGNATURE OF NOTARY PUBLIC DATE NOTARY SEAL  
MARY REEVES  
NOTARY PUBLIC  
Gwinnett County, Georgia  
My Commission Expires 6/5/2024

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES  NO Jisun Yoon  
YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

**RECEIVED**

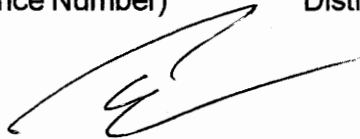
8/4/2022

**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.**

PARCEL I.D. NUMBER:                              6         -         211         -         223          
(Map Reference Number)                      District                      Land Lot                      Parcel



08/03/2022

Signature of Applicant

Date

Byungil Son/ Representative

Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

JMSuffe  
NAME

TSA  
TITLE

8/4/22  
DATE

**RECEIVED**

8/3/2022

### **SPECIAL USE PERMIT CHECKLIST**

The following is a checklist of information required for submission of a Special Use Permit application. The Planning and Development Department reserves the right to reject any incomplete application.

- Application Form
- Legal Description
- Boundary Survey and Existing Conditions
- Site Plan (One (1) digital copy)
- Standards Governing Exercise of the Zoning Power
- Letter of Intent
- Applicant Certification with Notarized Signature
- Property Owner Certification with Notarized Signature
- Conflict of Interest Certification/Campaign Contributions
- Verification of Paid Property Taxes (most recent year)
- Application Fee – make checks payable to Gwinnett County

**Additional Exhibits (if required):**

- Additional site plan requirements for OSC, TND, R-SR, R-TH, MU-N, MU-C, MU-R and HRR rezoning requests
- Traffic Study
- Review Form for Development of Regional Impact
- Building Compliance Inspection

**Please bring this checklist when filing for a Special Use Permit.**

**RECEIVED**

8/3/2022

LETTER OF INTENT

July 28, 2022

Gwinnet County Department of  
Planning & Development  
446 West Crogan Street, Suite 300  
Lawrenceville, Georgia 30046

Shinjo, Inc /DBA Camouflage Tattoo-  
Renewing Application for Special Use Permit for Art and Tattoo Shop  
located at  
4500 Satellite Blvd Ste 1200, Duluth, GA, 30096

Dear Sirs,

The applicant, Shinjo Inc/ DBA Camouflage Tattoo, requests renewing Special Use Permit, SUP2020-00024. The shop is located inside of Paragon Town Center, located at 4500 Satellite Blvd, Duluth, GA, 30096. The shopping center is 10.568 acres with 420 parking spaces and current leasing space, suite 1200, is 2,209 square feet. The applicant has established business since 2020 and managed the shop without any violations and problems since opening. Camouflage tattoo shop operates the shop six days a week, Tuesday through Sunday, Noon to 8:00PM.

The shopping center is located next to the Satellite Blvd and Hopkins Mill Rd. The property, C2 zoned, already has beauty salon, restaurants and Hookah Lounge in the shopping center. The properties near the Paragon Town Center are the golf center, gas station and across the Satellite Blvd is town houses and storage store.

Since the current property is already used as the shopping center where the salon business and hookah lounge and bowling center are located under C2 zoning, the intent of renewing special use permit application for Art and Tattoo shop is suitable for the 4500 Satellite Blvd Ste 1200, Duluth, GA, 30096. We hope this renewing special use permit request to be approved.

Sincerely,

Jisun Yoon  
Shinjo Inc

4500 Satellite Blvd Ste 1200  
Duluth, GA 30096



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT  
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER : **SUP2020-00024**  
ZONING : **C-2**  
LOCATION : **4500 BLOCK OF SATELLITE BOULEVARD**  
MAP NUMBER : **R6211 223**  
ACREAGE : **10.57 ACRES**  
SQUARE FEET : **2,209 SQUARE FEET**  
PROPOSED DEVELOPMENT : **TATTOO STUDIO**  
COMMISSION DISTRICT : **(1) BROOKS**

FUTURE DEVELOPMENT MAP: **VIBRANT COMMUNITIES**

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

APPLICANT: SHINJO, INC.  
1907 GRANVILLE DRIVE  
LAWRENCEVILLE, GA 30044

CONTACT: COLIN SON PHONE: 470.655.8812

OWNER: PARAGON TOWN CENTER, LLC  
4500 SATELLITE BOULEVARD, #1140  
DULUTH, GA 30096



RECEIVED

8/3/2020 **PROJECT SUMMARY**

- ❖ The applicant requests a Special Use Permit for a tattoo studio. The proposed use would be contained within Paragon Town Center, a shopping center which is located along Satellite Boulevard, north of its intersection with Beaver Ruin Road.
- ❖ The subject property is 10.5 acres and is zoned C-2 (General Business District).
- ❖ As indicated within the letter of intent, the applicant seeks to use an approximate 2,200 square foot suite within the shopping center. Additionally, the applicant plans to establish hours of operation from 12 p.m. to 8:00 p.m., Tuesday through Sunday.

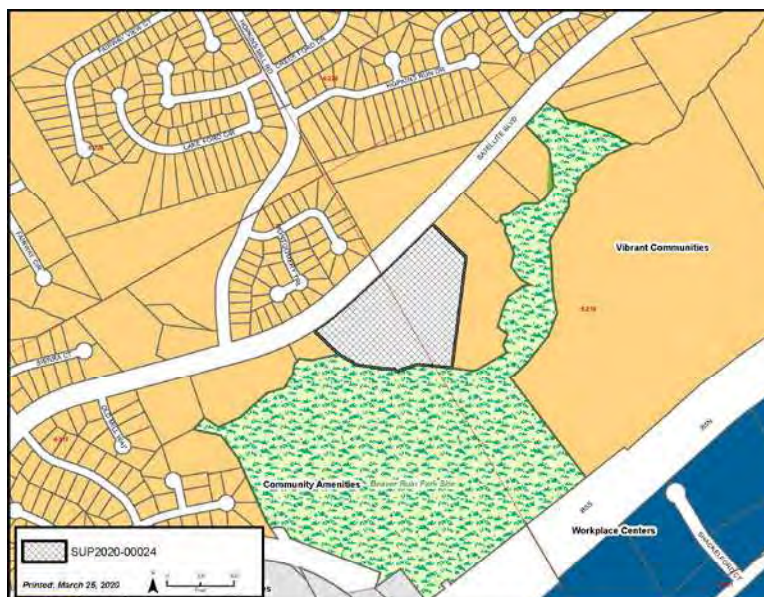
**ZONING HISTORY**

The property was zoned C-2 in 1970. In 2008, the property was granted a Special Use Permit, pursuant to SUP2008-00023, to allow for an indoor recreation facility. In 2014, an additional SUP was granted to allow for outdoor storage and display, pursuant to SUP2014-00054.

**DEPARTMENT ANALYSIS**

The subject property is located on the southern side of Satellite Boulevard, just north of its intersection with Beaver Ruin Road. The site is developed as the Paragon Shopping Center, where the applicant seeks to operate a tattoo parlor.

The 2040 Unified Plan Future Development Map indicates that the property lies within a Vibrant Communities Character Area. This character area is intended for corner/neighborhood serving non-residential developments/uses and encourages commercial retail in the form of shopping plazas. With recommended conditions, the proposed tattoo parlor could be consistent with the policies of the future development map.

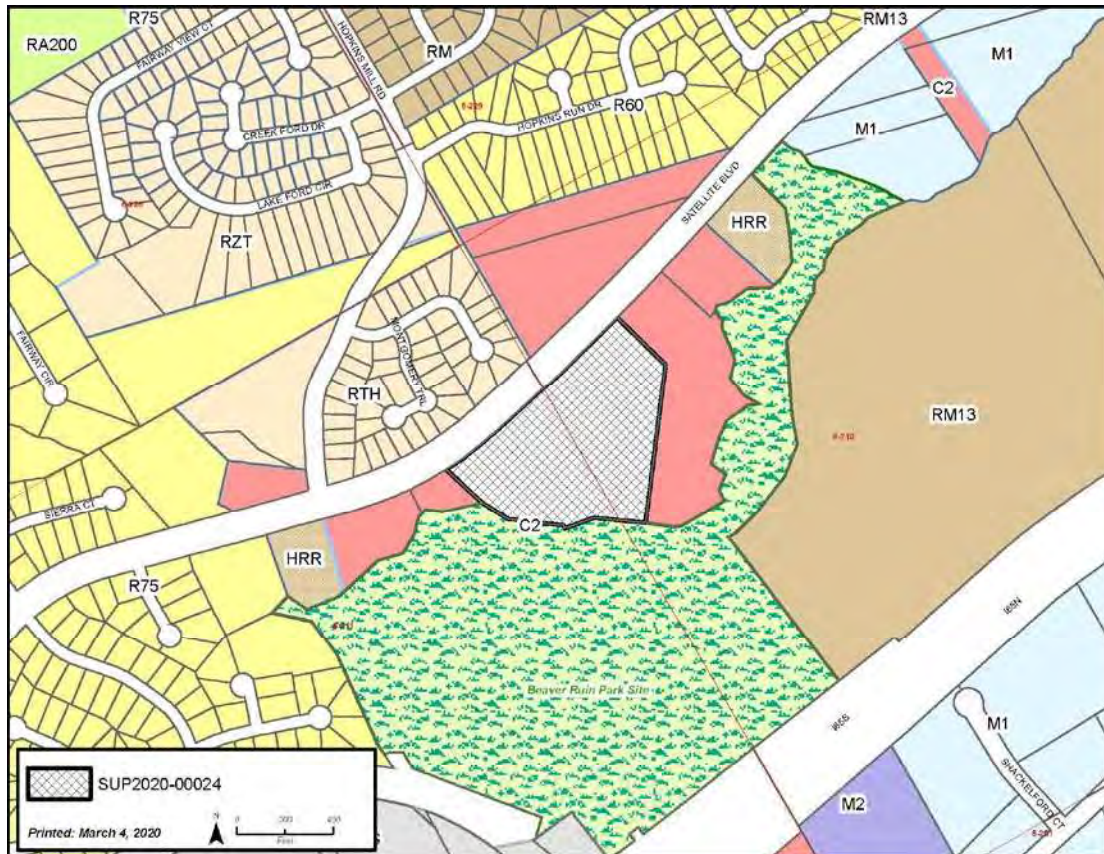


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8/3/2022

SUP2020-00024 (KA)

The surrounding area is characterized by commercial/retail uses with residential developments located beyond this segment of Satellite Boulevard. To the north, across Satellite Boulevard are the Hopkins Ridge Subdivision and a mini-warehouse facility. To the south of the site is a large floodplain and wetland protected by a conservation easement. To the east of the subject property are the Menlo Creek and Preston Park at Satellite apartment complexes, zoned RM-13, as well as the Recycling Bank of Gwinnett. To the west is a county owned property and the Hickory Ridge subdivision zoned R-75.



In conclusion, the requested Special Use Permit could be consistent with the Unified Plan's intent to encourage commercial retail in transitional areas between neighborhood nodes and mixed-use activity centers such as the subject site. Additionally, the request could be compatible with the surrounding commercial development pattern. The Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

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8/3/2022

SUP2020-00024 (KA)

**ADDITIONAL SITE PHOTOS**



(NORTHERN) PROPERTY LINE

**RECEIVED**

8/31/2020

**PLANNING AND DEVELOPMENT DEPARTMENT  
RECOMMENDED CONDITIONS**

Approval of a Special Use Permit for a tattoo parlor, subject to the following enumerated conditions:

1. Retail and service commercial and accessory uses, which may include a tattoo parlor as a Special Use.
2. The tattoo parlor leased space shall not exceed 2,400 square feet.
3. The hours of operation shall not extend past 9:00 p.m.
4. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance and shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.
5. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state, or federal law. Flashing or blinking signs and neon or LED signs shall be prohibited. Exposed or visible LED strips mounted on the building or around window frames shall be prohibited.
6. Peddlers and/or parking lot sales shall be prohibited.
7. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
8. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers, and sign-twirlers shall be prohibited.
9. The Special Use Permit shall be valid for a two-year period, at which time the use shall cease or an application shall be made for renewal of the Special Use Permit.

**RECEIVED**

8/3/2022

**PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS  
STANDARDS GOVERNING THE EXERCISE OF ZONING**

**SUITABILITY OF USE**

The proposed Special Use Permit to allow a tattoo parlor may be suitable based on the heavily developed retail and commercial nature of the area, and that minimal changes are proposed to the existing building.

**ADVERSE IMPACTS**

With the recommended conditions, potential impacts on neighboring properties could be reduced.

**REASONABLE ECONOMIC USE AS ZONED**

The property has a reasonable economic use as currently zoned.

**IMPACTS ON PUBLIC FACILITIES**

A negligible increase in traffic and utility demand could be anticipated from the request.

**CONFORMITY WITH POLICIES**

The request for a tattoo parlor could be compatible with the policies and intent of the 2040 Unified Plan and Future Development Map which provides for a variety of commercial uses in designated commercial areas within the Vibrant Communities Character Area.

**CONDITIONS AFFECTING ZONING**

The subject property lies within a highly commercial/retail segment of Satellite Boulevard. With appropriate conditions and limitations, the proposed use of a tattoo parlor could be suitable to this area.

RECEIVED

8/3/2022

**SPECIAL USE PERMIT APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes, this strip shopping center has beauty and hair salon, Hookah Lounge, Restaurants and Bowling Center. Art and tattoo shop is suitable for the location.

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No, there is a hookah bar and salons in the shopping center and adjacent mall near the Satellite Blvd is also under C2 zoning with the Golf Center and Gas Station.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Current zoning for the strip shopping center is C2 and Art and Tattoo studio will bring positive effect economically along with other beauty shop and Recreational places.

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

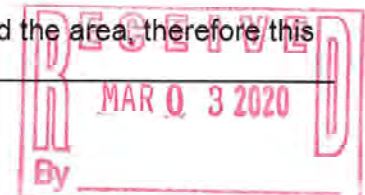
The proposed use will not impact on existing traffic and schools.

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed special use is suitable of current C2 zoning and purpose of current location.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

There are beauty shop, hookah lounge and recreational centers around the area, therefore this use is suitable.



**RECEIVED**

8/3/2022

LETTER OF INTENT

February 27, 2020

Gwinnet County Department of  
Planning & Development  
446 West Crogan Street, Suite 250  
Lawrenceville, Georgia 30046

Shinjo, Inc- Application for Special Use Permit for Art and Tattoo Shop located at  
4500 Satellite Blvd Ste 1200, Duluth, GA, 30096

Dear Sirs,

The applicant, Shinjo Inc, desires to establish an Art and Tattoo shop business and lease the space in the shopping center, named Paragon Town Center, located at 4500 Satellite Blvd, Duluth, GA, 30096. The shopping center is 10.568 acres with 420 parking spaces and desired leasing space, suite 1200, is 2,209 square feet. The applicant plans to operate the shop Six days a week, Tuesday through Sunday, Noon to 8:00PM

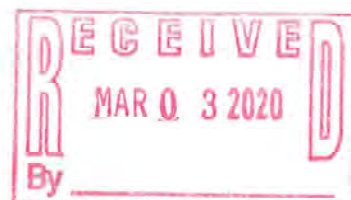
The shopping center is located next to the Satellite Blvd and Hopkins Mill Rd. The property, C2 zoned, already has beauty salon, restaurants and Hookah Lounge in the shopping center. The properties near the Paragon Town Center are the golf center, gas station and across the Stellate Blvd is town houses and storage store.

Since the current property is already used as the shopping center where the salon business and hookah lounge and bowling center are located under C2 zoning, the intent of this special use permit application for Art and Tattoo shop is suitable for the 4500 Satellite Blvd Ste 1200, Duluth, GA, 30096. We hope this special use permit request to be approved.

Sincerely,

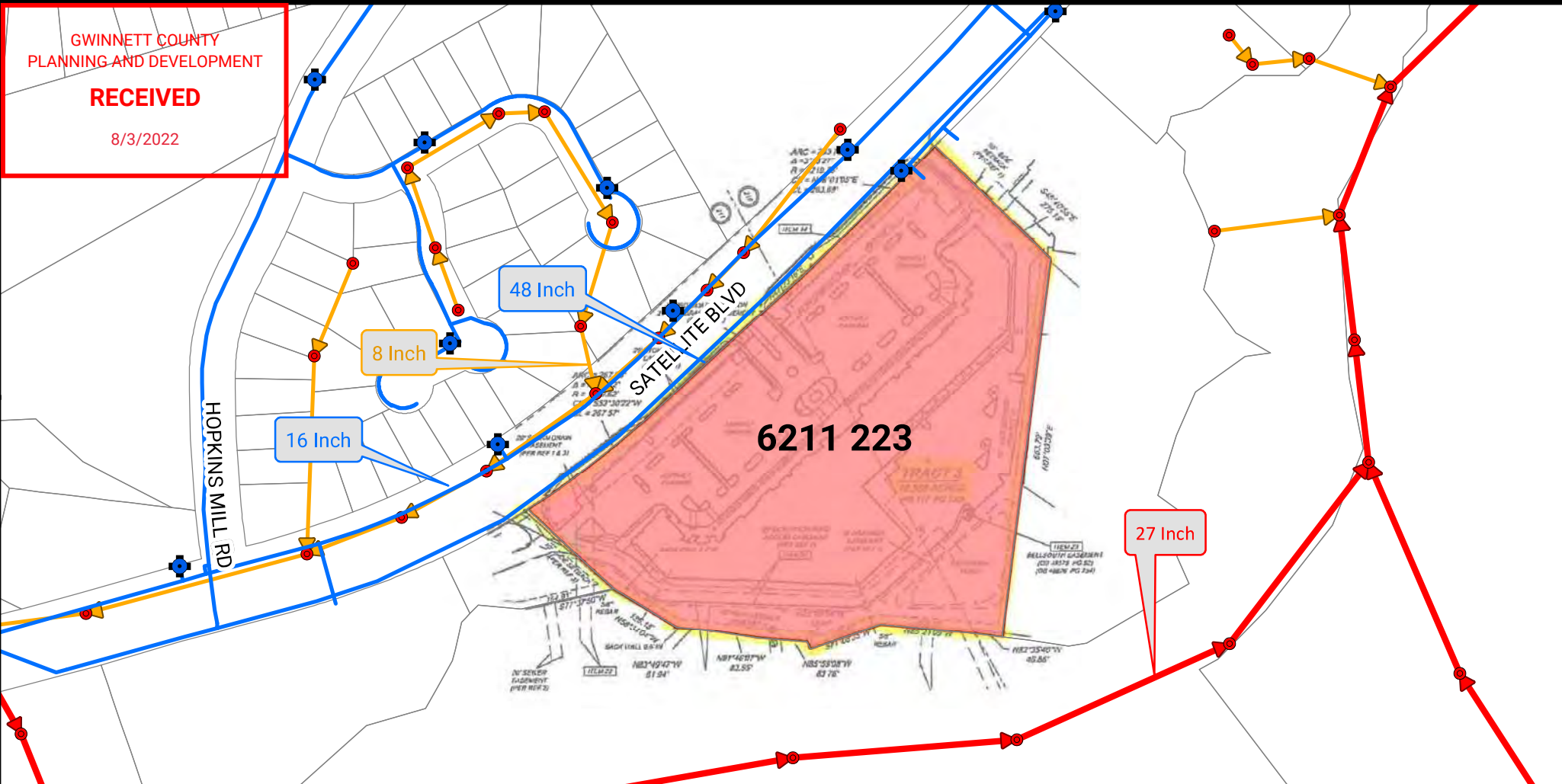
Jisun Yoon  
Shinjo Inc  
1907 Granville Dr  
Lawrenceville, GA 30044

SUP '20 024



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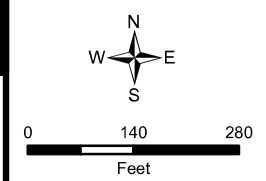
8/3/2022



	Flow Management		Hydrant		Sewer Force Main
	Pump Station		City		Effluent Outfall
	Regional		Water Main		Sewer Collector
	Manhole		Reuse Main		Sewer Interceptor

**SUP2020-00024**

**Water & Sewer  
Utility Map**



**Water Comments:** No DWR Comments

**Sewer Comments:** No DWR Comments

**Water Availability:** Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

**Sewer Availability:** A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

**Water and Sewer Design and Construction Requirements:** Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

**Private Road Developments:** Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.



GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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SUP2020-00024



0 200 400  
Feet

Printed: March 4, 2020

GWINNETT COUNTY  
PLANNING AND DEVELOPMENT

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8/19/2022

MONTGOMERY WAY

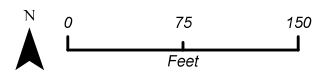
MONTGOMERY TRL

SATELLITE BLVD



SUP2020-00024

Printed: March 4, 2020



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8/3/2022

# INTERIOR FINISH

# FOR CAMOUFLAGE TATTOO STUDIO

4500 SATELLITE BLVD. #1200 DULUTH, GA 30096



SEAL

ARCHITECT:  
CHING CHENG CHANG  
GEORGIA REG.# 35257

RYAN YEO  
PROJECT MANAGER  
PHONE: 770.658.0975  
EMAIL: ryan@ccchimed.com

REVISIONS

NO.	DATE	DESCRIPTION

## BUILDING CODES

GWINNETT COUNTY APPLICABLE CODES / YEAR 2022

**CONSTRUCTION CODES**

- International Building Code (IBC), 2018 Edition with 2020 Amendments
- National Electrical Code (NECA), 2017 Edition
- National Electrical Code (NECA), 2017 Edition
- International Fuel Gas Code (IFGC), 2018 Edition with 2020 Amendments
- International Mechanical Code (IMC), 2018 Edition with 2020 Amendments
- International Plumbing Code (IPC), 2018 Edition with 2020 Amendments
- International Residential Code for One- & Two-Family Dwellings (IRC), 2018 Edition with 2020 Amendments, and IRC Appendix F
- International Energy Conservation Code (IECC), 2018 Edition with 2020 Amendments
- International Swimming Pool and Spa Code (ISPC), 2018 Edition with 2020 Georgia State Amendments
- International Existing Building Code (IEBC), 2015 Edition with 2015 Amendments
- Gwinnett County Construction Code (2015 Edition)

**FIRE CODES**

- Gwinnett County Ordinance for Fire Protection and Life Safety
- NFPA Codes and Standards Editions ( \* )
- NFPA (a) Life Safety Code, 2018 Edition ( \* )
- International Fire Code (IGC), 2018 Edition ( \* )
- ( \* ) Referenced codes are modified by the State Fire Marshal per Ch. 120-3-5 of Rules and Regulations of the Safety Fire Commissioner
- O.G.S.A. Title 28 (State Fire Law)
- O.G.S.A. Title 50 (Access to and Use of Public Facilities by Persons with Disabilities)
- 2010 ADA Standards

## GWINNETT COUNTY FIRE MARSHAL NOTES

- GWINNETT COUNTY FIRE MARSHAL INSPECTIONS ARE TO BE SCHEDULED ONLINE AT <https://eappspermits.gwinnettcountry.com/ctizenaccess/>
- 50% = INSPECTIONS OF VERTICAL PENETRATIONS
- 80% = INSPECTIONS OF ANY FIRE RATED PARTITIONS, FLOOR OR CEILING, CEILING COVER UP
- 100% = FINAL INSPECTION. ALL SYSTEMS AND EQUIPMENT ARE INSTALLED AND OPERATIONAL
- ANY INSPECTION REQUESTS MADE AFTER 2:00 PM WILL BE SCHEDULED FOR THE NEXT BUSINESS DAY.
- THE FOLLOWING (CODE REFERENCES) SHALL BE PLACED ON THE COVER SHEET OF PLANS SUBMITTED, 2019 GWINNETT COUNTY ORDINANCE FOR FIRE PROTECTION AND LIFE SAFETY, THE CURRENT EDITION OF NFPA CODES AND STANDARDS AS ADOPTED AND MODIFIED BY THE STATE FIRE MARSHAL, NFPA 101 LIFE SAFETY CODE 2020 EDITION, INTERNATIONAL FIRE CODE (IGC) 2020 EDITION WITH 2024 AMENDMENTS MODIFIED BY THE STATE FIRE MARSHAL PER CH. 120-3-5 OF RULES AND REGULATIONS OF SAFETY FIRE COMMISSIONER, O.G.S.A. TITLES 28 STATE FIRE LAW AND 50 ACCESS TO AND USE OF PUBLIC FACILITIES BY PERSONS WITH DISABILITIES, 2010 ADA STANDARDS
- SIGN, LOCATION, NUMBER AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN. CONTACT DEVELOPMENT DIVISION AT (678) 518-6000 FOR ADDITIONAL FOR INFORMATION.
- \*A SIGN CLEARLY STATING THAT SMOKING IS PROHIBITED SHALL BE CONSPICUOUSLY POSTED BY THE BUILDING OWNER, OPERATOR, MANAGER, OR OTHER PERSON IN CONTROL, IN EVERY PUBLIC PLACE AND PLACE OF EMPLOYMENT.
- NO SMOKING SIGNS OR THE INTERNATIONAL NO SMOKING SYMBOL CONSISTING OF A PICTORIAL REPRESENTATION OF A BURNING CIGARETTE ENCLOSED IN A RED CIRCLE WITH A RED BAR ACROSS IT, BE POSTED.
- SMOKING IS PROHIBITED IN ALL ENCLOSED PUBLIC PLACES AND IN ALL ENCLOSED SEATS, TABLES AND WORK SURFACES COMPLYING WITH THE REQUIREMENTS OF RULE 120-3-20-15 OF THE GEORGIA ACCESSIBILITY CODE, SHALL BE PROVIDED.
- HEIGHT OF TABLES OR COUNTERS, THE TOPS OF ACCESSIBLE TABLES AND COUNTERS SHALL BE FROM 56" FROM FLOOR LEVEL, PER 2010 ADA STANDARDS.
- STORAGE: MECHANICAL PURCHASE ROOM, JANITOR CLOSET, IN EXCESS OF 12 SQ. FT. SHALL BE SEPARATED FROM THE REST OF THE BUILDING BY A HOUR FIRE RATED CONSTRUCTION. ALL OPENINGS SHALL BE PROTECTED BY 45 MINUTE LABELED FIRE DOORS TO INCLUDE SELF-CLOSING AND POSITIVE LATCHING NFPA 101 LIFE SAFETY CODE 2020 EDITION, CHAPTER 8 (802-4.11.1) OR YOU MAY UTILIZE DOMESTIC WATER SUPPLIED SPRINKLER PROTECTION (NFPA LIFE SAFETY CODE 2015 EDITION, CHAPTER, SECTION 8.7.1.2) USING THE FOLLOWING CRITERIA.
  - (A) MAXIMUM PROTECTED AREA: 800 SQ.FT.
  - (B) MAXIMUM NUMBER OR HEADS PER DOMESTIC SYSTEM IS SIX (6).
  - (C) MINIMUM PIPE SIZE SUPPLYING DOMESTIC SYSTEM SHALL BE ONE (1) INCH NOMINAL DIAMETER, EXCEPT DOMESTIC SYSTEM COMPOSED WHOLLY OF COPPER TUBE MAY BE 3/4".
  - (D) MAXIMUM AREA OF COVERAGE PER SPRINKLER HEAD OF 100 SQ.FT. (0 TO X10)
  - (E) NO CONTROL VALVE TO ISOLATE THE SYSTEM UNLESS SUPPLEMENTED.
  - (F) PROTECTED AREA DEFINED BY PHYSICAL BARRIERS THAT EXTEND FROM FLOOR TO CEILING AND OF CONSTRUCTION THAT WILL RESIST THE HEAT AND RADIANT FLUX OF A FIRE.
  - (G) OPENING PROTECTIVE (I.E. DOORS), SHALL BE EQUIPPED WITH SELF-CLOSING DEVICES AND BE POSITIVE LATCHING.

## GENERAL NOTES

- DO NOT SCALE DRAWINGS. USE ALL WRITTEN DIMENSIONS ONLY. CONTRACTOR TO SUBMIT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE BUILDING CODES, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, AND ALL MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR BUILDING THIS PROJECT IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS AND STATE AND LOCAL CODES, UNLESS WRITTEN NOTIFICATION RECEIVED FROM THE ARCHITECT.
- THE ARCHITECT DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT IN ANY RESPECT OTHER THAN THE ARCHITECTURAL WORK PERFORMED WHICH MEETS THE STANDARDS OF PROFESSIONAL CARE.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL WORK DURING THE CONSTRUCTION PERIOD.
- FLOOR FINISH ON BOTH SIDES OF A DOOR SHALL BE LEVEL FOR A DISTANCE EQUAL TO THE WIDTH OF THE WIDEST SINGLE DOOR.
- THESE DRAWINGS HAVE IN PART BEEN DEVELOPED FROM ORIGINAL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY THAT THESE DRAWINGS CORRESPOND TO EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY WORK INDICATED IN THE CONTRACT DOCUMENTS THAT CANNOT BE PERFORMED IN ACCORDANCE WITH THE DOCUMENTS DUE TO EXISTING FIELD CONDITIONS.
- DAMAGE TO THE EXISTING BUILDING SHALL BE REPAIRED, INCLUDING WORK TO UPGRADE FIRE ASSEMBLIES ON COLLARS, BEAMS, FLOORS AND WALLS. ALL REPAIRS SHALL MATCH THE EXISTING BUILDING CONSTRUCTION AND SHALL BE PERFORMED AS PART OF THIS CONTRACT.

## GWINNETT COUNTY NOTES

- FIRE EXTINGUISHER NOTE
- FIRE EXTINGUISHER SHALL BE 2A-10BC, LOCATE 50' THAT THE TOP OF EXTINGUISHER IS NOT MORE THAN 4'-0" ABOVE FINISH FLOOR. MIN. REQUIRED: 1 EXTINGUISHER PER 3,000 SF, W/ MAX. TRAVEL OF 75'
- GWINNETT COUNTY CLEAN INDOOR AIR ORDINANCES CHAPTER 42, ARTICLE VI SECTION 42-204: A SIGN CLEARLY STATING THAT SMOKING IS PROHIBITED SHALL BE CONSPICUOUSLY POSTED WITHIN EACH BUILDING AND AT EACH BUILDING ENTRANCE FOR COMPLIANCE WITH GLINT COUNTY CLEAN AIR ORDINANCE. ACCEPTABLE SIGNS SHALL DISPLAY EITHER "NO SMOKING" OR THE INTERNATIONAL NO SMOKING SYMBOL, CONSISTING OF A REPRESENTATION OF A BURNING CIGARETTE ENCLOSED IN A RED CIRCLE WITH A BAR ACROSS IT.
- CONTACT INFORMATION
- DEVELOPMENT REVIEW - 678.518.6010
- DEVELOPMENT SERVICES - 678.518.6001
- PLANNING (ZONING INFO) - 678.518.6000
- FIRE MARSHAL'S OFFICE - 678.518.6100
- PUBLIC UTILITIES (WATER/SEWER DIVISION) - 678.518.6150

## SIGNAGE NOTES

- TENANT MUST SUBMIT SIGNAGE PACKAGE ON SEPARATE PACKAGE.
- SPRINKLER, FIRE ALARM, COMMERCIAL HOODS, HOOD SUPPRESSION, PAINT BOOTH SUPPRESSION SYSTEMS, AND STORAGE TANKS (UNDER AND GALLONS) REQUIRE PLAN REVIEW TO THE FIRE MARSHAL'S OFFICE PRIOR TO INSTALLATION.

## DRAWING INDEX

- 6810 COVER SHEET
- LS10 LIFE SAFETY PLAN
- AI1 FLOOR PLAN & SCHEDULE
- AI2 REFLECTED CEILING PLAN
- E1 ELECTRICAL PLAN NOTES & SCHEDULE
- M1 HVAC PLAN NOTES & SCHEDULE
- P1 PLUMBING PLAN NOTES & SCHEDULE

## PROJECT TEAM

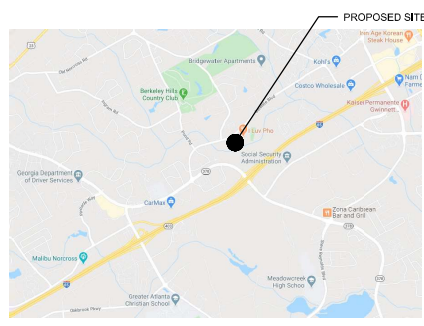
**PROPERTY OWNER (landlord):**

NAME : PARASON TOWN CENTER  
ADDRESS : 4500 SATELLITE BLVD. #1140 DULUTH, GA 30096  
CONTACT PERSON : SIMON HANG  
CELL : 770 458-0241  
EMAIL : [hsimon@parasondevelopment.com](mailto:hsimon@parasondevelopment.com)

**TENANT:**

NAME : SHILO INC.  
ADDRESS : 4500 SATELLITE BLVD. #1200 DULUTH, GA 30096  
TEL : 678) 604-5008  
CONTACT PERSON : JACK SON  
EMAIL : [jackson@shiloinc.com](mailto:jackson@shiloinc.com)

## VICINITY MAP



## PROJECT CRITERIA

PROJECT NAME  
CAMOUFLAGE TATTOO STUDIO

DESCRIBE SCOPE OF WORK  
I want to change the existing retail shop to tattoo studio.  
No structure work, part of the partition, re-install the duct and diffuser of the existing air conditioner, re-install the lamp

PROJECT ADDRESS & SUITE NUMBER  
4500 SATELLITE BLVD. #1200  
DULUTH, GA 30096

OCCUPANCY CLASSIFICATION  
BUSINESS

### OCCUPANT LOAD CALCULATIONS

OCCUPANCY	SQUARE FOOTAGE	CALCULATIONS	OCCUPANT LOAD	NOTE
RECEPTION AREA	142 SF	100 GROSS	3 PERSONS	
WAITING AREA	142 SF	15 NET	10 PERSONS	
TATTOO STUDIO	816 SF	60 GROSS	14 PERSONS	
CONFERENCE ROOM	128 SF	15 NET	4 PERSONS	
EQUIPMENT HANDLING ROOM	114 SF	300 GROSS	1 PERSONS	
PRIVACY TATTOO ROOM	278 SF	100 GROSS	3 PERSONS	
TOTAL	-	-	34 PERSONS	

BUILDING CONSTRUCTION TYPE  
II - B

SPRINKLERED  
YES

FIRE ALARM  
YES

PROPOSED TOTAL FLOOR SQFT.  
TOTAL : 2,209SF

ZONING  
C2

NUMBER OF STORIES  
1 STORY OF 2 STORES BUILDING

OPEN HOURS

SUNDAY : 12PM - 8PM  
MONDAY : 12PM - 8PM  
TUESDAY : 12PM - 8PM  
WEDNESDAY : 12PM - 8PM  
THURSDAY : 12PM - 8PM  
FRIDAY : 12PM - 8PM  
SATURDAY : 12PM - 8PM

## KEY PLAN



INTERIOR FINISH  
 CAMOUFLAGE TATTOO STUDIO  
 4500 SATELLITE BLVD. #1200  
 DULUTH, GA 30096

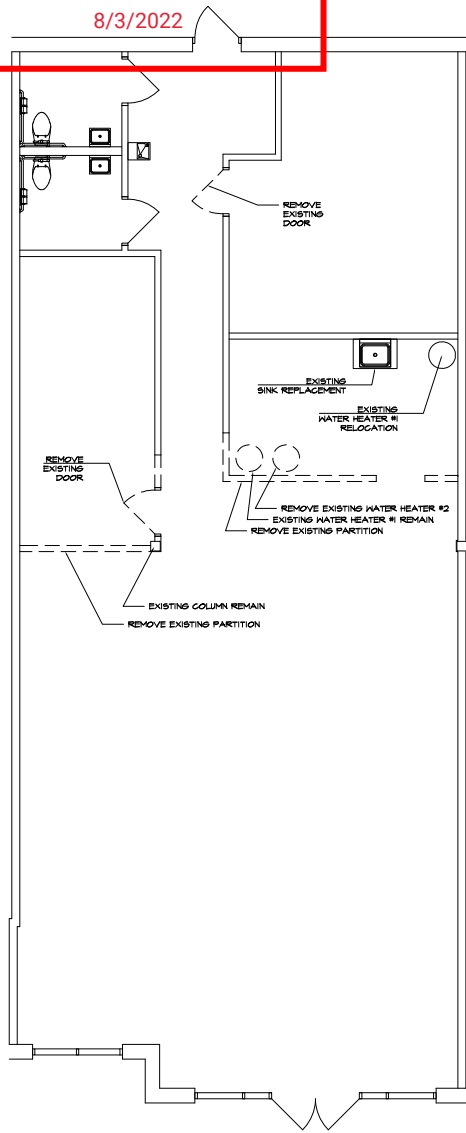
DATE	DRAWN	CHECKED	FOR NO.
JUL 14, 2020	P.S	2020E027	
SHEET NUMBER	TITLE		

**CS10 COVER SHEET**

ISSUED/RELEASED FOR CONSTRUCTION

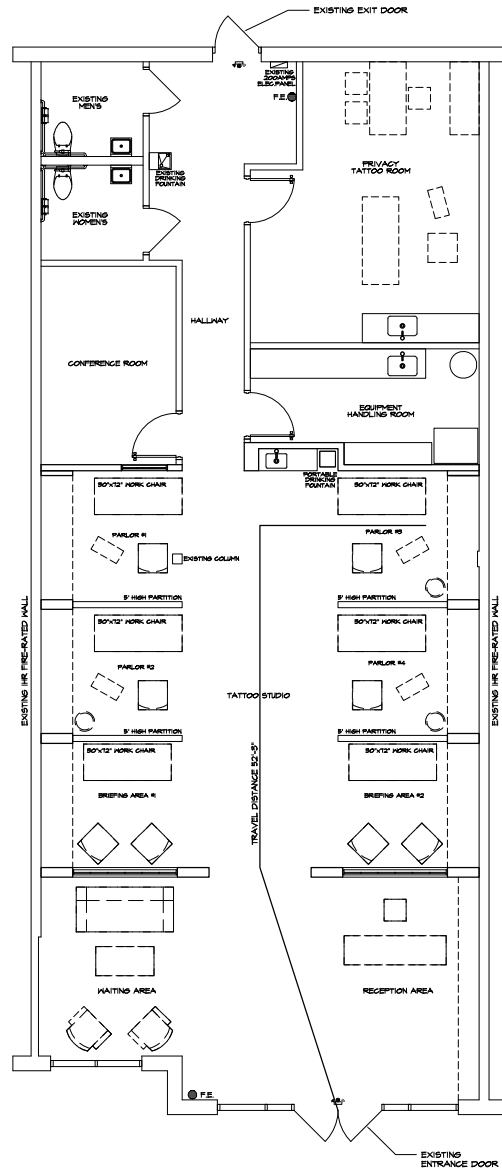
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# 1 DEMOLITION PLAN

SCALE 1/4" = 1'-0"



# 2 LIFE SAFETY PLAN

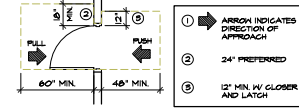
SCALE 1/4" = 1'-0"

\*NOTES - EXISTING - BUILDING TYPE I-B,  
SPRINKLERED-YES, FIRE ALARM-YES

## TOTAL GROSS AREAS / OCCUPANT LOADS

OCCUPANCY	SQUARE FOOTAGE	CALCULATIONS	OCCUPANT LOAD	EGRESS REQUIRED	NOTES
RECEPTION AREA	142 SF	100 GROSS	2 PERSONS	24 X 0.2 IN = 5 IN. REQUIRED AND 1 EXITS REQUIRED	ALL EXIT DOORS ARE PROVIDED PANIC HARDWARE, NFPA 101 LIFE SAFETY CODE, CHAPTER 7, SEC.7.2.1.1, 2000 EDITION.
HAIRING AREA	142 SF	18 NET	10 PERSONS	- 2 EXITS TOTALING 66 IN. PROVIDED	
TATTOO STUDIO	813 SF	60 GROSS	14 PERSONS		
CONFERENCE ROOM	126 SF	18 NET	4 PERSONS		
EQUIPMENT HANDLING ROOM	114 SF	300 GROSS	1 PERSONS		
PRIVACY TATTOO ROOM	278 SF	100 GROSS	3 PERSONS		
TOTAL	-	-	34 PERSONS		

## FIRE EXTINGUISHER DETAIL



## 3 ADA DOOR CLEARANCES

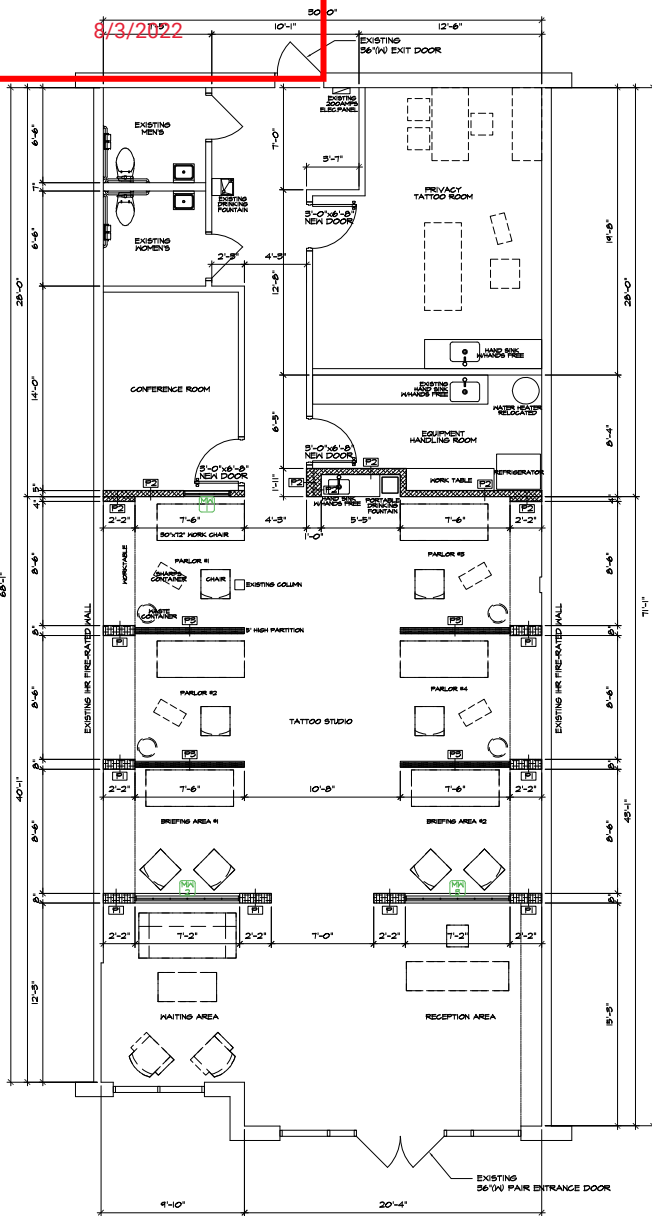
NOT TO SCALE

## LEGEND

- NON RATED PARTITION
- F.E. FIRE EXTINGUISHER, LOCATED PER NFPA-10
- EXISTING DOOR
- NEW DOOR
- ⚡ EMERGENCY EXIT LIGHT WITH BATTERY BACK-UP

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# 1 FLOOR PLAN

SCALE 1/4" = 1'-0"

## PARTITION LEGEND

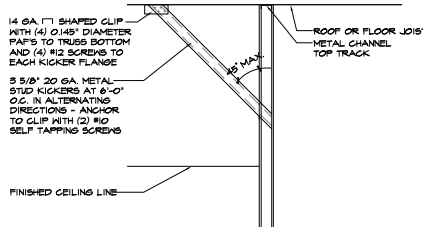
[P1]	HEIGHT, EXTEND TO BOTTOM OF ROOF DECK. SYMBOL: [Symbol] NON-RATED ONE (1) LAYER OF 5/8" TYPE-X GYPSUM WALL BOARD APPLIED AT RIGHT ANGLES OR PARALLEL TO EACH SIDE OF 20 GA. 6" METAL STUDS AT 16" O.C. WITH 1" TYPE 'B' SCREWS AT 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS.
[P2]	HEIGHT, EXTEND TO BOTTOM OF ROOF DECK. SYMBOL: [Symbol] NON-RATED ONE (1) LAYER OF 1/2" GYPSUM WALL BOARD APPLIED AT RIGHT ANGLES OR PARALLEL TO EACH SIDE OF 20 GA. 6" METAL STUDS AT 16" O.C. WITH 1" TYPE 'B' SCREWS AT 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS. BRACE TO STRUCTURE ABOVE WITH 20 GA. 6" METAL STUDS AT 8'-0" O.C.
[P3]	HEIGHT, 8' HIGH SYMBOL: [Symbol] NON-RATED ONE (1) LAYER OF 1/2" GYPSUM WALL BOARD APPLIED ON ONE (1) LAYER OF 5" PLYWOOD AT RIGHT ANGLES OR PARALLEL TO EACH SIDE OF 20 GA. 6" METAL STUDS AT 16" O.C. WITH 1" TYPE 'B' SCREWS AT 8" O.C. TO VERTICAL EDGES AND 12" O.C.

## METAL STUD NOTES

1. FOR FASTENING TRACK TO CONCRETE PROVIDE HILTI SDF PINS (OR EQUAL) AT 16" O.C. AND 12" FROM EACH END.
2. FOR FASTENING STUD TO STUD PROVIDE BUILDEX #10-16 TRACK (OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS - MINIMUM OF 3 SCREWS.
3. TALLEST NON-LOAD BEARING 6" METAL STUD INTERIOR PARTITION = 15'-8" ALLOWABLE HURST CASE = L/360 = 20'-0" FOR 25 GA. AT 16" O.C.
4. TALLEST NON-LOAD BEARING 5 5/8" METAL STUD INTERIOR PARTITION = 10'-4" ALLOWABLE HURST CASE = L/360 = 14'-0" FOR 25 GA. AT 16" O.C.

## GENERAL NOTES

1. INSPECT AND VERIFY CONDITIONS PRIOR TO SUBMITTAL OF BID.
2. NOTIFY ARCHITECT IMMEDIATELY IF QUESTIONABLE OR UNFORESEEN CONDITIONS ARE ENCOUNTERED.
3. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
4. PROVIDE MOISTURE RESISTANT GYPSUM BOARD FOR WALLS WITH PLUMBING FIXTURES.
5. REFER TO HALL TYPE LEGEND FOR HALL INFORMATION.
6. PROVIDE SOUND ATTENUATION BATTS IN ALL PARTITIONS AS INDICATED BY THE HALL TYPE LEGEND.
7. ALL FURNISHINGS, DECOR, BUSINESS EQUIPMENT AND OTHER INTERIOR DESIGN ITEMS SHALL BE FURNISHED AND INSTALLED BY THE OWNER.
8. ALL COLORS, PATTERNS, ETC. SHALL BE SELECTED BY THE OWNER.



## 2 BRACING DETAIL

SCALE N.T.S.

## LEGEND

[Symbol]	EXISTING HALL	[Symbol]	EXISTING DOOR TO REMAIN
[Symbol]	NEW HALL / PARTITION	[Symbol]	NEW DOOR
[Symbol]	PARTITION ABOVE		
(V.I.P)	VERIFY EXACT DIMENSION IN FIELD		
[Symbol]	SECTION DETAIL MARK		

## FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	HALL	REMARKS
RECEPTION AREA	F1	B1	W	
WAITING AREA	F1	B1	W	
TATTOO STUDIO	F1	B1	W	
CONFERENCE ROOM	F1	B1	W	
EQUIPMENT HANDLING ROOM	F2	B2	W/H2	
CORRIDOR	F1	B1	W	
PRIVACY TATTOO ROOM	F1	B1	W	
RESTROOM(M)	F1	B2	K2/H5	
RESTROOM(W)	F3	B2	K2/H5	

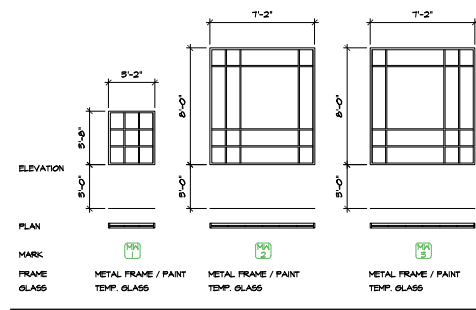
## INTERIOR FINISHES SCHEDULE

FLOORS:	BASE:	HALL:
[F1] EPOXY SEALER	[B1] 4" WOOD BASE	[W] PAINT
[F2] QUARRY TILE	[B2] VINYL HALL BASE	[K] FRP PANEL
[F3] PORCELAIN TILE		[H] CERAMIC TILE

## FINISH NOTES

1. ALL FINISH SELECTIONS TO BE APPROVED BY OWNER

## WINDOW SCHEDULE



**ECOBUE 99**

ARCHITECT: CHING-CHENG CHANG  
GEORGIA REG.# 52557

INTERIOR FINISH  
CAMOUFLAGE TATTOO STUDIO  
4500 SATELLITE BLVD. #1200  
DULUTH, GA 30096

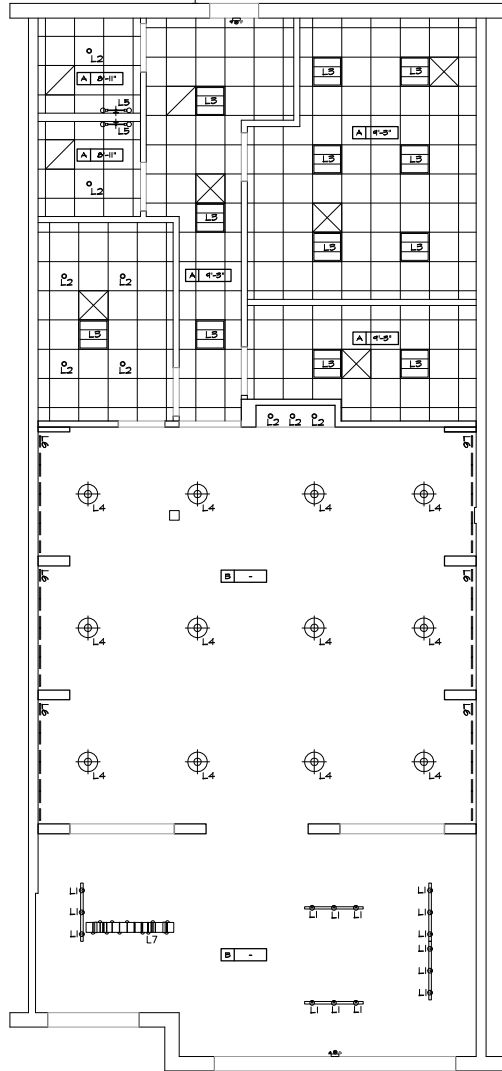
DATE: JUL 14, 2020  
DRAWN: P.S.  
CHECKED: [Signature]  
FOR NO. 2020E027

**A1.1**  
FLOOR PLAN,  
SCHEDULE

ISSUED/RELEASED FOR CONSTRUCTION

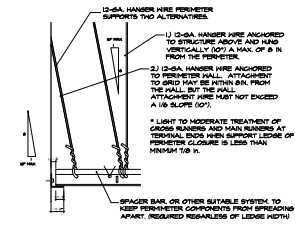
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# 1 REFLECTED CEILING PLAN

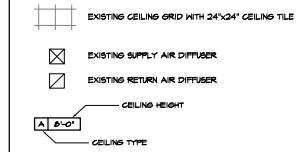
SCALE 1/4" = 1'-0"



NOTE  
1. CEILING LAY - N 2X3 REGULAR SUPPLIED & COULICAL PANEL  
CEILING SYSTEM  
2. CEILING LAY - N 2X4 REGULAR SUPPLIED & COULICAL PANEL  
CEILING SYSTEM

SUSPENDED CEILING GRID SYSTEMS DETAIL  
SCALE: NONE

## CEILING LEGEND



## CEILING TYPE

- A 24" x 24" ACOUSTICAL CEILING TILE
- B EXISTING ROOF DECK / PAINT

## LIGHT LEGEND

SYMBOL	NUMBER	NAME	NOTES
	L1	Track Light	
	L2	LED Recessed Light	
	L5	Troffer Light	
	L4	Pendant Light	
	L5	Wall Sconce	
	L6	LED Strip Light	UNDER SHELVE, HIDDEN LIGHT
	L7	Hanging Disc Chandelier	
	L8	EMERGENCY EXIT LIGHT WITH BATTERY BACK UP	

SCALE

ARCHITECT  
CHING CHENG CHANG  
GEORGIA REG.# 35257  
RYAN YEO #18,688,0978  
RYAN@BLUE99.COM  
WWW.BLUE99.COM

REVISIONS

NO.	DATE	DESCRIPTION
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INTERIOR FINISH  
CAMOUFLAGE TATTOO STUDIO  
4500 SATELLITE BLVD. #1200  
DULUTH, GA 30096

FOR NO.  
2020EB-027

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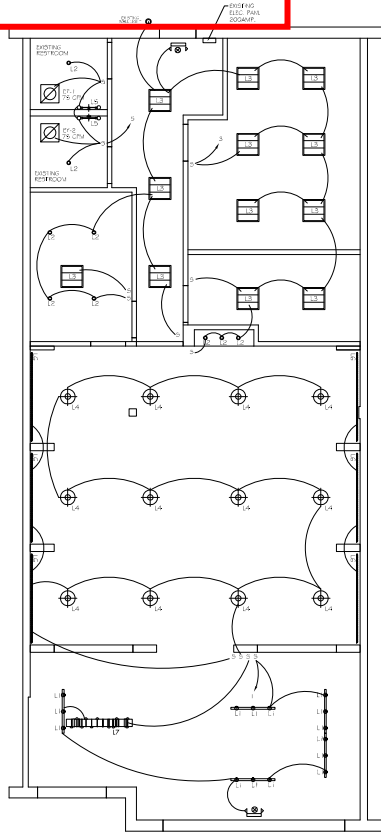
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SHEET NUMBER  
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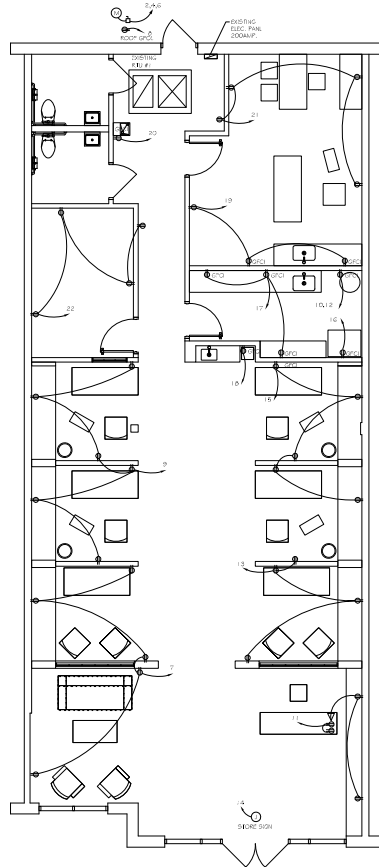
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CEILING PLAN

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8/3/2022



1 LIGHTING PLAN  
SCALE: 3/16" = 1'-0"

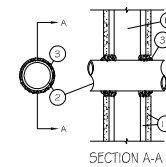


2 POWER PLAN  
SCALE: 3/16" = 1'-0"

System No. W-L-1001.

(Formerly System No. 147)

- F Ratings - 1, 2, 3 and 4Hr (see Items 2 and 3)
- T Ratings - 0, 1, 2, 3 and 4Hr (see Item 3)
- 1 Ratings At Ambient - less than 1 CFM/ft<sup>2</sup>
- 1 Ratings At 40°F - less than 1 CFM/ft<sup>2</sup>



1. Wall Assembly - The 1, 2, 3 or 4 hr fire-rated gypsum wallboard shall be assembled shall be constructed of the material and in the manner described in the respective U300 or U400 Series wall or Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

a. Studs - Wall framing may consist of either wood studs (Max. 2hr fire-rated assemblies) or steel channel studs. Wood studs to consist of nominal 2 by 4 in. lumber spaced 16 in. OC with nominal 2 by 4 in. lumber end plates and cross-braces. Steel studs to be min 3-5/8 in. wide by 1-3/8 in. deep channels spaced max 24 in. OC.

b. Gypsum Board - Nom 1/2 or 5/8 in. thick, 48" wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max. diam of opening is 1.5x16 in.

2. Pipe or Conduit - Nom 1/2 in. diam (or smaller) Schedule 10 (or heavier) steel pipe, nom 1 1/2 in. diam (or smaller) service weight (or heavier) cast iron soil pipe, nom 1 1/2 in. diam (or smaller) Class 50 (or heavier) ductile iron encasement pipe, nom 6 in. diam (or smaller) steel conduit, nom 4 in. diam (or smaller) Type L or (or heavier) copper tubing or 1 in. diam (or smaller) flexible steel conduit. When copper pipe is used, max F Rating of fire stop system (Item 3) is 2H. Steel pipes or conduits larger than nom. dia. shall may only be used in walls constructed using steel channel studs. A max of one pipe or conduit is permitted in the fire stop system. Type or conduit to be installed near center of stud cavity width and to be rigidly supported on both sides of wall assembly.

3. Fill, Void or Cavity Material - Calk - Calk fill material installed to completely fill annular space between pipe or conduit and gypsum wallboard and with a min 1/16 in. diam bead of caulk applied to perimeter of pipe or conduit as it passes from the wall. Caulk installed symmetrically on the both side of wall assembly. The hourly F Rating of the fire stop system is dependent upon the hourly fire rating of the wall assembly in which it is installed, as shown in the following table. The hourly F Rating of the fire stop system is dependent upon the type or size of the pipe or conduit and the hourly fire rating of the wall assembly in which it is installed, as tabulated below:

Max pipe or Conduit Diam In.	Annular Space In.	F Rating Hr	T Rating Hr
1	0 to 3/16	1 or 2	0 +, 1 or 2
1	3/16 to 1/8	3 or 4	3 or 4
1	1/8 to 1/4	1 or 2	0
1	1/4 to 3/8	3 or 4	0
1	3/8 to 3/4	1 or 2	0

+ when copper pipe is used, T Rating is 0 H.  
3M Company - CF 254B-1.  
\* Bearing the UL Classification Mark.

ELECTRICAL POWER NOTES

1. Drawing are diagrammatic and indicate general arrangement of system and work. Follow drawing in laying out work and check drawings of other trades to verify existing space and conditions. Maintain design requirements but adjust as required to fit. Contractor shall provide complete and working system.
2. Verify locations and orientation of outlets and switches in finished room with the architectural drawing and owners representatives. Locations of equipment and other movable items and subject to modification and shall be verified with owners representatives prior to installation.
3. Each panel breaker furnished and installed under this contract shall be complete with a ground bus. The ground bus shall have a conductor grounding location for every branch circuit breaker and future branch circuit breaker location. The same shall apply to fused switch enclosures. The conductor grounding location shall be noted. In accordance with Table 250-122 of the National Electrical Code (NEC).
4. A pull wire shall be installed between telephone outlets and the plywood mounting board installed for telephone equipment.
5. Contractor to verify condition of existing panels, meters and service drops and make any changes required by the design of the NEC.
6. All work performed by the contractor on this project shall be performed in a workmanlike manner and in accordance with all local and state code, the NEC, OSHA and National Electrical Safety.
7. All permits required for the construction of this work shall be obtained by the contractor. Copies of all permits shall be turned over to the owner at the completion of work.
8. Contractor shall provide "As Built" panel schedules complete with circuit designations and conductor load data to the owner upon completion of work as well as providing a copy on the inside of the door of each panel.

SYMBOLS

- RECESSED FLUORESCENT FIXTURE
- SURFACE MTD FLUORESCENT FIXTURE AND OUTLET
- RECESSED PL FLUORESCENT FIXTURE AND OUTLET
- EXIT SIGN
- WIRING DEVICES
- SINGLE POLE TOGGLE SWITCH 20A/277V ARROW-HART 1301-48" AFF
- DUPLEX RECEPTACLE 15A/1 20V ARROW-HART 5262 18" AFF
- GN DUPLEX RECEPTACLE 15A/1 20V ARROW-HART GP 5242 42" AFF UNLESS NOTED OTHERWISE
- JUNCTION BOX
- POWER CONDUIT AND WIRE CONCEALED IN CEILING AND/OR WALL
- CONDUIT AND WIRE CONCEALED IN FLOOR AND/OR UNDERGRADE
- DISCONNECT SWITCH 30AMP UNLESS NOTED OTHERWISE
- ABOVE FINISHED FLOOR
- NEMA 3R ENCLOSURE
- SIGNAL TELEPHONE OUTLET 18" AFF - STUB 1" C. OUT ABOVE CEILING GRID

EXISTING PANELBOARD 'A' SCHEDULE

CIRCUIT NO.	TO SERVE	LOAD KW	CIRCUIT BREAKER TRIP	200AMP		M.L.L.		CIRCUIT BREAKER LOAD KW	TO SERVE	CIRCUIT NO.	
				TRIP	POLES	TRIP	POLES				
1	LIGHTS (FRONT AREA)	0.3	20A					350A	10.5	EXISTING RTU #1 - C.OTON	4
3	LIGHTS (BACK AREA)	0.5	20A								4
5	PAN/LIGHTS (RESTROOM)	1.0	20A								6
7	RECEPT (FRONT AREA)	1.0	20A					20A	0.5	CP1	8
9	RECEPT (FRONT AREA)	1.0	20A					30A	6.0	WATER HEATER	10
11	RECEPT (FRONT AREA)	1.0	20A								12
13	RECEPT (FRONT AREA)	1.0	20A					20A	0.5	STORE SIGN	14
15	RECEPT (FRONT AREA)	1.0	20A					20A	0.5	BEF	16
17	RECEPT (EQUIPMENT ROOMS)	1.0	20A					20A	0.5	D.P.	18
19	RECEPT (IPRIVACY ROOMS)	1.0	20A					20A	0.5	D.P.	20
21	RECEPT (IPRIVACY ROOMS)	1.0	20A					20A	1.0	RECEPT (REFERENCE ROOM)	22
23	SPARE							20A	1.0	RECEPT (BREAKROOM)	24
25	SPARE									SPARE	26

CONNECTED LOAD = 30.8 x 1.000 / 1.732 / 208 = 86.0 A  
ALL BRANCH BREAKERS NOT SPECIFIED SHALL BE 20 AMP, SINGLE POLE.  
ALL BRANCH CIRCUITS CONDUCTORS NOT SPECIFIED SHALL BE #12 WIRE WITH #12 GROUND.  
\* BACK BREAKER

SYMBOL	NUMBER	NAME	DIMMABLE	BULB	WATTAGE	COLOR TEMPERATURE	LUMENS	LOCATION
L1	Track Light	○	Y1	6 W	Soft White (3,000K)	460	Reception, Lounge area	
L2	(LED Receptacle Light)	○	Included	6.5 W	Soft White (3,000K)	400	Restrooms, Menstrua Room	
L3	Troffer Lights	○	Included	29 W	Cool White (4,000K)	3,200	Rooms, Hallway	
L4	Pendant Light	○	B2	7 W	Soft White (3,000K)	600	Tattoo Service Area	
L5	Wall sconce	○	B3	5.5 W	Soft White (3,000K)	500	Restrooms	
L6	LED Strip Light	○	Included		Cool White (4,000K)		Tattoo Service Area	
L7	Handmade Chandelier	○	B3	5.5 W	Soft White (3,000K)	500	Lounge area	

UNDER SHELVES, HIDDEN LIGHT

FTB COLUE 99  
8/18/22

ARCHITECT: CHUNG CHANG CHANG  
GEORGIA REG.# 15259

RYAN YEO  
PHONE # 678.508.1273  
jyung@bcb.com

REVISIONS

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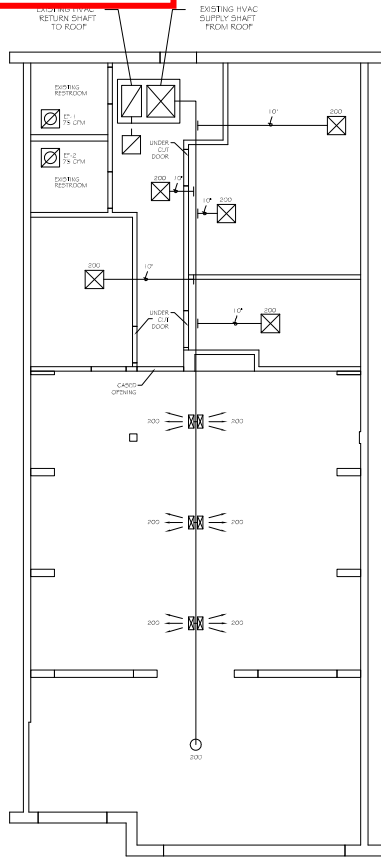
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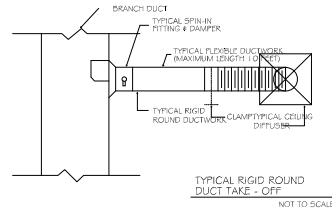
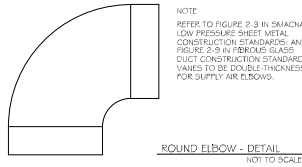
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8/3/2022



HVAC PLAN  
SCALE: 3/16" = 1'-0"



MECHANICAL NOTES

- Mechanical contractor shall obtain the mechanical permit for the work.
- Contractor shall make the existing heating and air conditioning equipment operable for the intended use to meet the current code requirements.
- Duct work shall pass leak test.
- All duct work shall have proper 2" thick fire insulation and shall have access door to clean inside of the ducts.
- Clean all existing air handling equipment in the space.
- All fans supplying more than 2,000 cfm shall be installed with a smoke detector in compliance with Section 602.2.1 of the I.M.C. The smoke detector shall be wired to stop the fan upon detection of smoke.

AIR CALCULATION

FRESH AIR PROVIDED BASED ON IMC TABLE 403.3.50 CFM/PERSON AT NON-SMOKING AREA. AND REQUIRED FRESH AIR CALCULATION AS FOLLOWS:

- NON-SMOKING
  - PARLOR AREA (840 SF)  
 $(301.000) \times (840) \div (3.5) \times (0.2) = (470 + 1) \times 1.3 = 563$
  - CONFERENCE AREA (126 SF)  
 $(301.000) \times (126) \div (6.35) + (1.2) \times (0.0) = (32 + 8) = 40$
  - RECEPTION AREA (142 SF)  
 $(301.000) \times (142) \div (4.2) \times (0.5) + (1.4) \times (0.0) = (21 + 9) = 30$
  - WAITING AREA (142 SF)  
 $(301.000) \times (142) \div (4.2) \times (0.5) + (1.4) \times (0.0) = (21 + 9) = 30$
  - CORRIDOR AREA (462 SF)  
 $(462) \times (0.0) = 28$
  - EQUIPMENT HANDLING ROOM AREA (114 SF)  
 $(701.000) \times (114) \div (7.39) \times (0.5) + (1.4) \times (0.0) = (60 + 21) = 81$

792 CFM (FRESH AIR REQUIRED)  
850 CFM (FRESH AIR PROVIDED)

AIR BALANCE SCHEDULE (CFM)

A/C UNITS PROVIDED	850
REST ROOM EXH. FANS	-150
BALANCE	700

NOTE:

Low pressure insulated flexible duct shall be designed in accordance with ACCA (Air Conditioning Contractors of America) duct sizing calculation based on a friction loss of 0.1.  
The degree and amount of radius bends will also affect the calculated air flow, route duct to prevent oval flex as recommended by the manufacturer. The following chart is based on straight runs and is taken from the ACCA duct sizing calculations.

CFM	DUCT DIAMETER
0 - 60	6"
61 - 165	8"
166 - 300	10"
301 - 500	12"
501 - 650	14"

MARK	LOCATION	TYPE	CFM	EXT SP IN WG	DRIVE	MOTOR			REMARKS
						HP	W/THZ	RFM	
EF-1	TOILET	CEILING MOUNT	75	0.5	DIRECT	1/8	110/160		NFPA - DG
EF-2	TOILET	CEILING MOUNT	75	0.5	DIRECT	1/8	110/160		NFPA - SG

TAG	AREA SERVED	NOMINAL TONS	CARRIER MODEL NO.	TOTAL CFM	ESP INCHES	O.A. CFM	MAX. FAN H.P.	COOLING				HEATING NAT. GAS			M.A.K. WEIGHT LBS.	CALL NOTES APPLY ACCESSORIES		
								TOTAL MBH	SENS. MBH	EAT. (COIL) DB	LAT (COIL) DB	MIN. SEER (SEE)	INPUT MBH	OUTPUT MBH			AFLUE %	
RTU - 1	AS SHOWN	6TON	24PH 006	2400	0.6	650	3.0	76.2	56.8	80.0	67.0	95.0	13.0	125.5	100.0	80.0	ARO	EXISTING

1. UNIT COOLING CAPACITIES, AND MINIMUM REFRIG. RINGS ARE BASED AS: 30.0 BHP/1 MB COIL, 1/4" AND 1 1/2" OR ENTERING CONDENSER COIL.  
COOLING CAPACITIES SHALL BE WITHIN 5% OF THE VALUES SCHEDULED COOLING VALUES SHOWN ARE SCHEDULED.  
2. FOR OVER PRESS. STATES THE FINAL MINIMUM OUTSIDE AIR QUANTITY SHALL BE DETERMINED SUBING THE FRESH FINISH PHASE OF WORK SET DAMPER AT 20% FOR THIS PHASE OF WORK, FOR WHITE BOAT FINISH SUITS, SEE OUTSIDE AIR.  
3. WEIGHT INCLUDES CASE UNIT ALL ACCESSORIES ROOF CURB AND 150LBS FOR SOUND ALTERATION INSULATION WITHIN THE ROOF CURB AND A MINIMUM SAFETY FACTOR. IF CONTRACTOR WANT TO PROVIDE AN ALTERNATE UNIT, HE SHALL COORDINATE THE TOTAL WEIGHT OF UNIT AND THE REQUIRED ROOF PENETRATION SIZES AND OPENINGS WITH THE STRUCTURAL ENGINEER AND THE ARCHITECT PRIOR TO ORDERING EQUIPMENT. FOR ADDITIONAL INFORMATION, & SUBMIT SHOP DRAWINGS INDICATING THE PROPOSED UNITS CAPACITIES OF THE SCHEDULED VALUE VALUES.

PROJECT  
RUCOLO  
99  
SEAL

ARCHITECT:  
CHUNG CHENG CHANG  
GEORGIA REG.#:5259  
RYAN YEO  
PHONE #1-678-508-9273  
songdat00@hotmail.com

REVISIONS

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JOB NO.  
2020R-0027

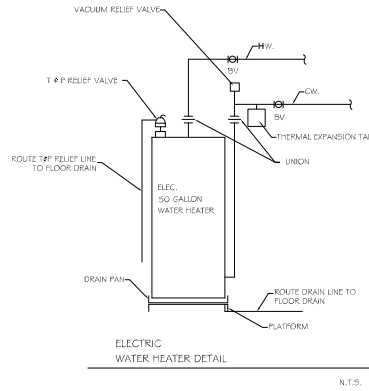
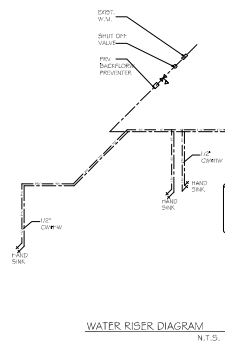
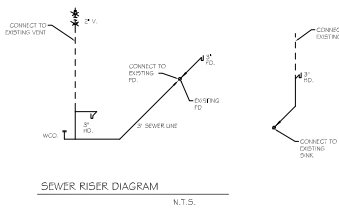
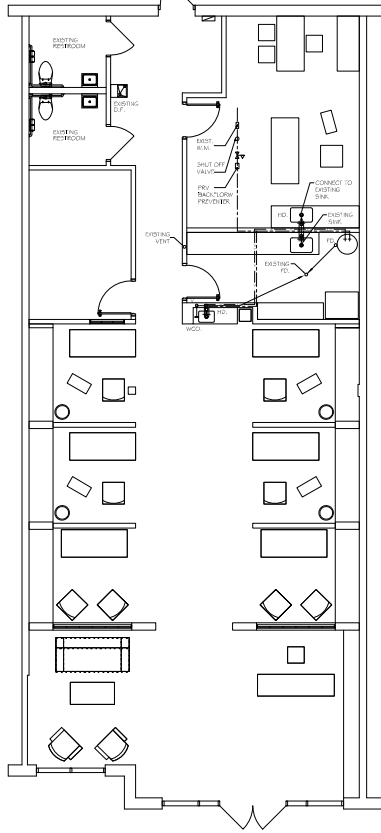
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P.S.

DATE  
JUL 14, 2020  
SHEET NUMBER  
M1  
TITLE  
HVAC PLAN  
NOTES & SCHEDULE

ISSUED/RELEASED FOR CONSTRUCTION

RECEIVED

8/3/2022



PLUMBING NOTES

- DRAWING ARE DIAGRAMMATIC ONLY AND SHOW THE INTENT OF THE DESIGN. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO INSTALL A COMPLETE AND OPERATING SYSTEM. THE CONTRACTOR SHALL APPLY FOR AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- PLUMBING SHALL CONFORM TO THE 2010 INTERNATIONAL PLUMBING CODE AND ALL STATE AND LOCAL AMENDMENTS. ALL NATURAL GAS PIPING (NIP) AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2010 INTERNATIONAL FUEL GAS CODE AND STATE AND LOCAL AMENDMENTS.
- ALL SANITARY, WASTE AND VENT PIPE SHALL BE SCHEDULE 40 DWV PVC OR ABS PIPING AND FITTINGS.
- ALL HOT AND COLD WATER PIPING AND FITTING ABOVE GROUND SHALL BE RIGID TYPE 'K' COPPER AND PIPING AND FITTINGS. BELOW GROUND SHALL BE RIGID TUBE TYPE 'K' COPPER. ALL NATURAL GAS PIPE AND FITTINGS SHALL BE SCHEDULE 40 BLACK STEEL WITH SCREWED FITTINGS FOR PIPES 2" AND SMALLER, WELDED FITTINGS FOR PIPES LARGER THAN 2".
- ALTERNATE MANUFACTURERS OF PLUMBING FIXTURES, FLOOR DRAINS, CLEANOUTS AND GREASE INTERCEPTOR MAY BE USED WITH THE APPROVAL OF THE ENGINEER. EQUIPMENT CUT SHEETS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL.
- ALL PLUMBING FIXTURES SHALL BE NEW AND SHALL COMPLY WITH ANSI 117.1, 1990, OR LOCAL REQUIREMENT.
- ELEC. WATER HEATER IS 50 GAL STORAGE. WATER HEATER SHALL HAVE CODE APPROVED EXPANSION TANK.
- ALL WATER HEATER SHALL HAVE T&P RELIEF VALVE WITH DISCHARGE PIPED TO 1'-0" ABOVE THE GROUND OUTSIDE OR NEAREST FLOOR DRAIN.
- ALL PIPING SHALL BE TYPED FROM PIPE HANGERS AS MANUFACTURED BY THE GRIMMELL CO., OR EQUIVALENT, AT 10'-0" O.C. MAXIMUM. PERFORATED METAL STRIPS AND WIRE SHALL NOT BE USED.
- ALL VENT FOR WASTE LINE TO VENT THROUGH ROOF(VTR) AS NOTED.

- ALL PLUMBING OUTLETS AND CONNECTIONS SHOWN ON THIS PLAN ARE FOR FIXTURES AND EQUIPMENT SHOWN ON P.E.C. FLOOR PLAN ONLY. FOR ADDITIONAL FLOOR DRAINS AND BUILDING PLUMBING REQUIREMENTS SEE ARCHITECT, GENERAL CONTRACTOR, OR OWNER.
- PLUMBING CONTRACTOR TO CONNECT ALL WATER LINES, GAS LINES, (PINE SYSTEM SOLENOID), WASTE LINES, ETC. FOR SINKS, ETC. AND RUN DRAIN LINES FROM ALL REFRIGERATED UNITS, ETC. (SEE NOTE #5) TO FLOOR DRAINS AND DIRECT OR INDIRECT WASTE LINES TO BE NOT SMALLER THAN SUPPLY OF FIXTURE ITSELF.
- WATER PROVIDED TO COFFEE LENS OR COFFEE MAKERS MUST NOT FEED OFF WATER SOFTENERS, UNLESS OTHERWISE DIRECTED. EACH EQUIPMENT MUST HAVE SEPARATE FEED W/OUT VALVE.
- ALL WORK SHOWN ON FIXTURE PLUMBING PLAN AND OUTLINED IN ABOVE NOTES TO BE PERFORMED BY PLUMBING CONTRACTOR AND BUILDING CONTRACTOR. IT IS THE PLUMBING CONTRACTOR'S RESPONSIBILITY TO SEE THAT HIS PHASE OF WORK MEETS AND IS INSTALLED IN ACCORDANCE WITH STANDARDS REQUIRED BY ALL GENERAL STATE AND FEDERAL LAWS INCLUDING HEALTH CODES AND ANY AND ALL CODES FAMILIAR TO THE MUNICIPALITY OF AREA WHERE JOB IS BEING INSTALLED.
- ALL REFRIGERATION UNITS WITHIN FACILITY MUST MEET CURRENT HSP 7 STANDARDS AND UL APPROVED.

ABBREVIATIONS :

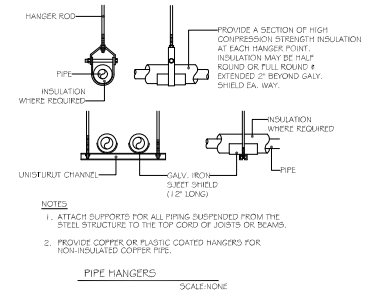
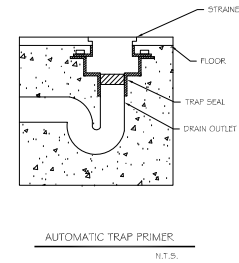
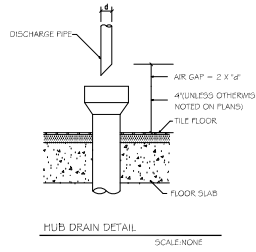
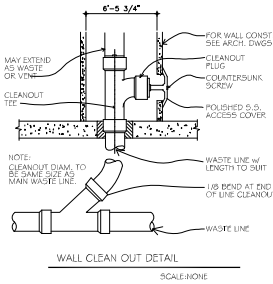
CO	CLEAN OUT
CW	COLD WATER
FD	FLOOR DRAIN
HD	HUB DRAIN
HW	HOT WATER
V	VENT
WH	WATER HEATER
HS	HAND SINK

DOMESTIC WATER HEATER SCHEDULE							
UNIT	SERVICE	SOURCE	BTU/HR	ELECTRIC		CAPACITY GALLON	MANUFACTURER & MODEL NO.
				KW	VOLTS		
WH1	DOMESTIC	ELEC.	---	G.P.	---	50	STATE INDUSTRIES (INCPCS220RTA)

PLUMBING PLAN  
SCALE: 3/16" = 1'-0"

LEGEND

CO	CLEAN OUT	HW	HOT WATER LINE
CW	COLD WATER	HD	HUB DRAIN
FD	FLOOR DRAIN	HD	HUB DRAIN
HD	HUB DRAIN	HW	HOT WATER
HW	HOT WATER	S	SINK
V	VENT	VT	VENT WATER HEATER
WH	WATER HEATER		



- NOTES
- ATTACH SUPPORTS FOR ALL PIPING SUSPENDED FROM THE STEEL STRUCTURE TO THE TOP CORNER OF JOISTS OR BEAMS.
  - PROVIDE COPPER OR PLASTIC COATED HANGERS FOR NON-INSULATED COPPER PIPE.

PROJECT NO. 99  
SEAL

ARCHITECT: MING CHANG  
GEORGIA REG. #35257  
RYAN YEO  
PHONE #: 678.508.9273  
ranging@domain.com

INTERIOR FINISH  
CAMOUFLAGE TATTOO STUDIO  
4500 SATELLITE BLVD. #1200  
DULUTH, GA 30096

PLUMBING PLAN  
NOTES & SCHEDULE

DATE: JUL 14, 2020  
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