

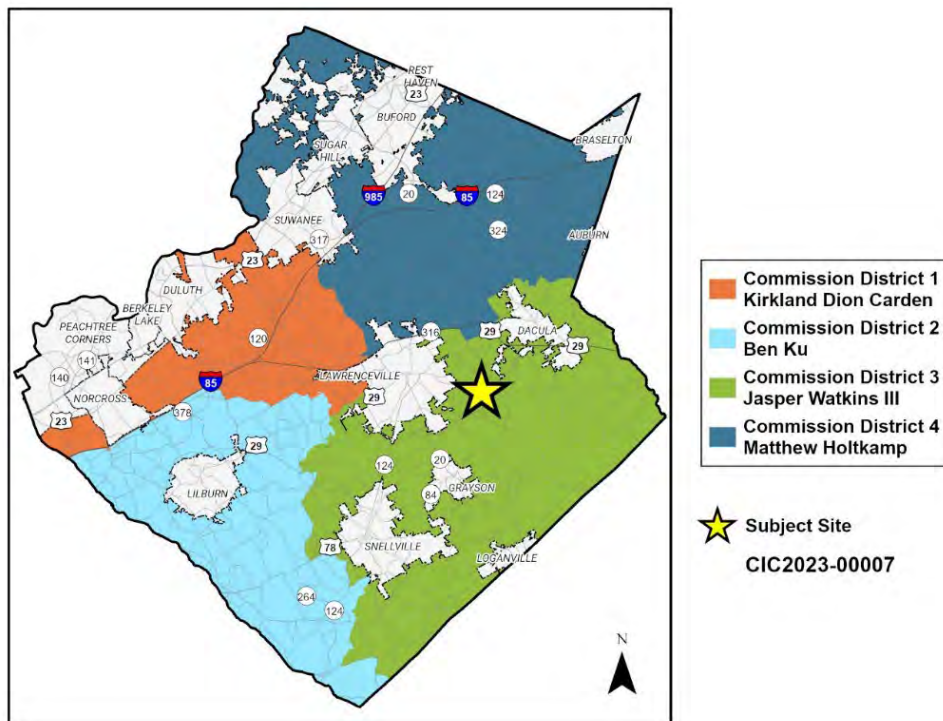


PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: CIC2023-00007
Current Zoning: R-100 (Single-Family Residence District)
Request: Change In Conditions
Address: 853 Martins Chapel Road
Map Number: R5213 001
Site Area: 6.0 acres
Square Feet: 340
Proposed Development: Accessory Structure
Commission District: District 3 – Commissioner Watkins
Character Area: Suburban Estate Living

Staff Recommendation: APPROVAL WITH CONDITIONS

Planning Commission Recommendation: APPROVAL WITH CONDITIONS



Planning Commission Advertised Public Hearing Date: 3/7/2023
Board of Commissioners Advertised Public Hearing Date: 3/28/2023

Applicant: Durke Sewell
1205 River Cove Road
Social Circle, GA 30025

Owner: Gordon Campbell
853 Martins Chapel Road
Lawrenceville, GA 30045

Contact: Durke Sewell

Contact Phone: 470.342.5800

Zoning History

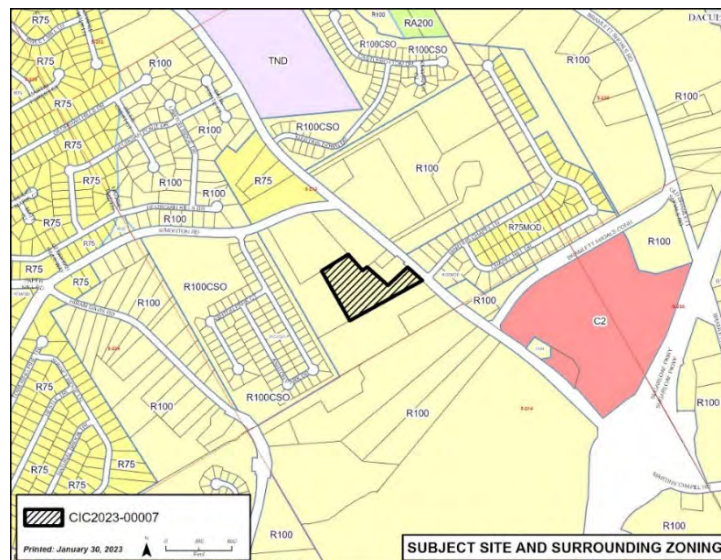
The subject property is zoned R-100 (Single-Family Residence District). In 1980, rezoning case RZ-92-80 rezoned the property from R-100 to RT-200. The RT-200 zoning expired and the property's zoning classification was returned to R-100. In 2019, special use permit case SUP2019-00042 allowed an accessory structure greater than 1,000 square feet for a recreational vehicle garage. This request is a change in conditions from this approval.

Existing Site Condition

The subject site is a 6-acre parcel located on Martins Chapel Road, immediately south of its intersection with Simonton Road and north of its intersection with Bramlett Shoals Connector. The site is developed with mature, dense tree canopy. The property contains an existing 3,125 square-foot single-family residence and a 1,416 square-foot detached garage, constructed in 2009. Martins Chapel Road does not have sidewalks along this section of the road. There's a stream located at the southern portion. The nearest Gwinnett County Transit stop is located 4.0 miles from the subject site.

Surrounding Use and Zoning

The subject site is surrounded by single-family detached subdivisions and single-family residences on large lots. To the east across Martins Chapel Road, is Martins Chapel Grove, a single-family detached subdivision and single-family residences on individual lots are located to the north and south. The City of Dacula is located roughly 3/4 mile from the subject property. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Accessory Structure	R-100	N/A
North	Single-Family Residential	R-100	5.06 units per acre
East	Single-Family Residential Single-Family Residential	R-100MOD R-100	5.39 units per acre
South	Single-Family Residential	R-100	10.12 units per acre
West	Single-Family Residential	R-100	5.39 units per acre

Project Summary

The applicant requests a change in conditions for a 6-acre property zoned R-100 to construct an accessory structure (pool cabana), including:

- A change in conditions of case SUP2019-00042. The applicant is requesting a revision to the following condition:
 - Condition 1, *“Approval of one additional 992 square-foot accessory building for the applicant’s motor home storage.”* The applicant is requesting to amend the condition to state *“The total square footage of accessory structures on the parcel shall be limited to 1,300 square feet”*.
- The property owner no longer wishes to construct the motor home storage building.
- A pool cabana located adjacent to the existing in-ground pool and 51 feet from the side property line.
- Exterior materials consisting of stacked stone, cementitious siding, and shake to match the existing structure.
- The letter of intent states that the cabana will contain a dining table, lounge furniture, and a wall mounted TV.

Zoning and Development Standards

The applicant is requesting a change in conditions in the R-100, Single-Family Residence District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	<35'	YES
Front Yard Setback	Minimum 50'	>50'	YES
Side Yard Setback	10 ft. one yard 25 ft. two yards	>25'	YES
Rear Yard Setback	Minimum 40'	>50'	YES
Off-Street Parking	2	>2	YES
Lot Size	Minimum 15,000 sq. ft. sewer, 25,500 sq. ft. septic	6 acres	YES
Accessory Structure Setback	Minimum 5 feet from side and rear property lines	51 feet	YES
Accessory Structure Size	Maximum 1,000 square feet without Special Use Permit	1,297 square feet*	YES*

*There is an existing 957 square foot accessory structure on the property. The additional proposed building would increase the total square footage of accessory structures to 1,297 square feet. SUP2019-00042 allowed accessory structures to exceed 1,000 square feet, but only for a motor home storage building.

Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit G). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Change in Conditions Request Analysis: According to the UDO, if a proposed amendment is for the change in conditions, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

A. Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The subject site is surrounded by single-family detached subdivisions and single-family residences on large lots. The proposed change in conditions is to delete the condition to allow a 992-square-foot accessory structure (garage) and to add a 340-square-foot accessory structure (pool cabana). The proposed accessory structure is a modern, one-story pool cabana, with exterior stone veneer pilaster, and hardi shakes water table, to match the existing residence. The proposed accessory structure is smaller than approved accessory building (garage).

B. Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property.

The site, as currently zoned, allows for a single-family residence with accompanying accessory structures. The change in conditions request to allow a pool cabana would not adversely affect the use or usability of adjacent or nearby property. The proposed cabana is smaller and less obtrusive than the currently approved accessory building (recreational vehicle garage).

C. Whether the property to be affected by a proposed change in conditions has a reasonable economic use as currently zoned.

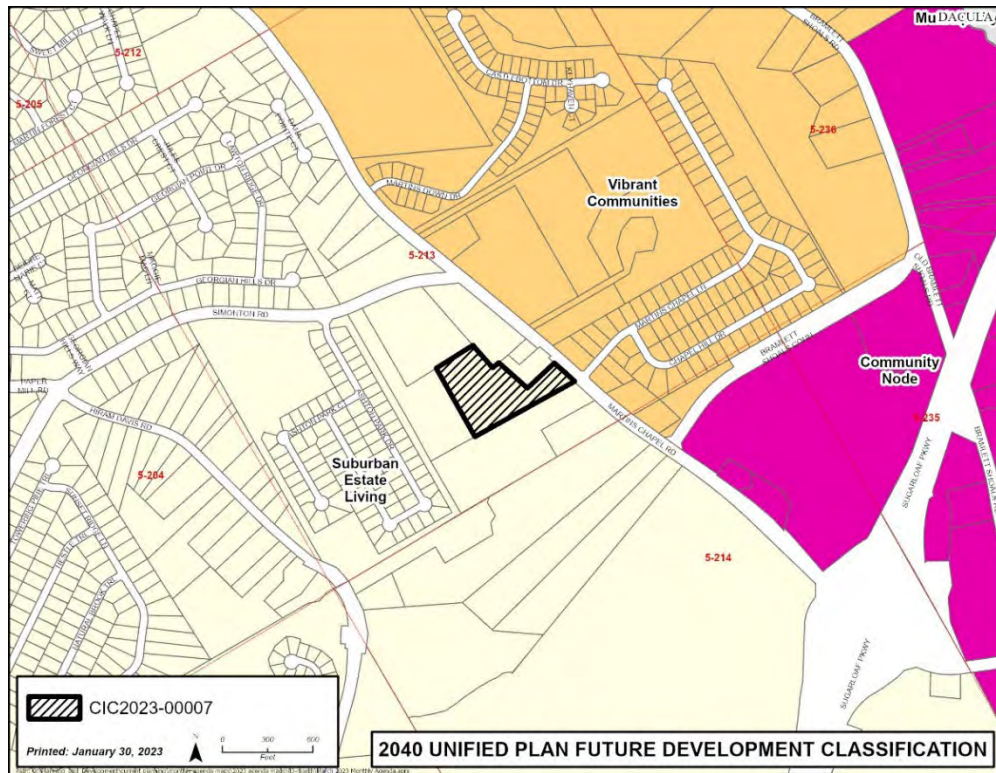
The property has a reasonable economic use as currently zoned.

D. Whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

An increase in impacts on public facilities would not be anticipated in the form of traffic, utility demand, and stormwater runoff; any impacts would be negligible and, site development requirements, and planning. An increased impact is not anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning and change in conditions request is attached (Exhibit G).

E. Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map.

The 2040 Unified Plan and Future Development Map indicate that the subject property lies within the Suburban Estate Living Area. The Suburban Estate Living Character Area is one the last remaining Character Area types that could provide large tracts of land for greenfield development and includes some remnants of agricultural uses. The area includes areas where there is a desire to preserve the historical and agricultural character so that new development is low in intensity and consists primarily of large residential lots and executive-style housing. These areas have less intense infrastructure, such as less sewer service and road capacity, and are more suitable for large lot residential development. The proposed 340-square-foot accessory structure (pool cabana) is smaller than the previously approved accessory structure (recreational vehicle garage) and the exterior materials would match the primary structure. Therefore, the requested change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions.

The surrounding area is primarily single-family residential uses and the proposed accessory structure (pool cabana) would not adversely impact the surrounding residences. The proposed location of the accessory structure exceeds the minimum setback requirement and the dense vegetation on the lot would make it unlikely that the structure would be visible from the adjoining properties. In addition, the proposed accessory structure (pool cabana) is significantly smaller than the previously approved accessory structure (recreational vehicle garage).

Staff Recommendation

Based on the staff's evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

Planning Commission Recommendation

Based on staff's evaluation of the request, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

Planning Commission Recommended Conditions (includes Staff Recommended Conditions)

The conditions below are those from SUP2019-00042 with suggested changes in bold or strikethrough.

Approval of a Change in Conditions for an accessory structure, subject to the following conditions:

1. ~~Approval of one additional 992 square foot accessory building for the applicant's motor home storage.~~ **The total square footage of accessory structures on the parcel shall be limited to 1,300 square feet.**
2. ~~The accessory building may be constructed in the front yard as shown on the site plan. The building shall be set back a minimum of 150 feet from the Martins Chapel Road frontage and 20 feet from the side property line.~~
3. ~~The accessory building shall be constructed of materials to match the existing residence.~~
4. ~~Accessory structures shall not be used in the operation of a commercial business, home occupation, or to store a commercial vehicle.~~
5. ~~No provisions for kitchens, plumbing, or human habitation shall be permitted in the accessory structures.~~

Exhibits:

- A. Site Visit Photos
- B. Previously Approved Resolution
- C. Proposed Site Plan
- D. Proposed Building Elevation
- E. Letter of Intent and Applicant's Response to Standards
- F. Application and Disclosure of Campaign Contributions
- G. Internal and External Agency Review Comments
- H. Maps

Exhibit A: Site Visit Photos



Location of Proposed Cabana (North View)



Location of Proposed Cabana (Northwest View)

Exhibit B: Previously Approved Resolution

[attached]

CASE NUMBER SUP2019-00042
GCID 2019-0482

GWINNETT COUNTY
BOARD OF COMMISSIONERS
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: GRANT OF A SPECIAL USE PERMIT

ADOPTION DATE: MAY 28, 2019

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Gwinnett Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

	<u>Present</u>	<u>Vote</u>
Charlotte J. Nash, Chairman	Absent	Absent
Jace Brooks, District 1	Yes	Aye
Ben Ku, District 2	Yes	Aye
Tommy Hunter, District 3	Yes	Aye
Marlene Fosque, District 4	Yes	Aye

On motion of COMM. FOSQUE, which carried 4-0, the following Resolution was adopted:

A RESOLUTION TO GRANT A SPECIAL USE PERMIT

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application for a Special Use Permit by DURKE SEWELL for the proposed use of an ACCESSORY STRUCTURE GREATER THAN 1,000 SQUARE FEET on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Special Use Permit Application has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on MAY 28, 2019 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners, this the 28th day of MAY 2019, that the aforesaid application for a Special Use Permit is hereby **APPROVED** with the following enumerated conditions:

1. Approval of one additional 992 square foot accessory building for the applicant's motor home storage.
2. The accessory building may be constructed in the front yard as shown on the site plan. The building shall be set back a minimum of 150 feet from the Martins Chapel Road frontage and 20 feet from the side property line.
3. The accessory building shall be constructed of materials to match the existing residence.
4. Accessory structures shall not be used in the operation of a commercial business, home occupation, or to store a commercial vehicle.
5. No provisions for kitchens, plumbing, or human habitation shall be permitted in the accessory structures.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Charlotte J. Nash
Charlotte J. Nash, Chairman

Date Signed: 6/12/19

ATTEST:

Oliver Kemp
County Clerk/Deputy County Clerk



BK50467 PG0342

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA

10-DEC 30 PM 2:00
TOM LAWLER, CLERK

GANEK WRIGHT MINSK PC
Bill Wright, Esquire
4170 Ashford Dunwoody Road, Ste 285
Atlanta, GA 30319
PHONE: (770)391-0073
FAX: (770)395-9610
File Number: BW100870

Gordon H. Campbell

PT-61 # 067-2010-031562
GWINNETT CO. GEORGIA
REAL ESTATE TRANSFER TAX
\$ None
TOM LAWLER CLERK OF
SUPERIOR COURT
QUITCLAIM DEED SPOUSAL

STATE OF GEORGIA

COUNTY OF Dekalb

THIS INDENTURE, made September 24, 2010 between

GORDON H. CAMPBELL, II,

as party or parties of the first part, hereinafter called Grantor, and

GORDON H. CAMPBELL, II and JERRI LOUISE CAMPBELL
AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP

as party or parties of the second part, hereinafter called Grantee (the words, "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND NO/100 ----- (\$10.00) DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, remise, release and quitclaim unto the said Grantee,

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 213 OF THE 15TH DISTRICT, GWINNETT COUNTY, GEORGIA AND BEING SHOWN AS TRACT 1 CONTAINING 6.00 ACRES ON EXEMPTION PLAT FOR CHARLES A. RUTTER AND RITA C. RUTTER, PREPARED BY R & V LAND SURVEYING, INC., DATED November 11, 1998, AS PER PLAT RECORDED IN PLAT BOOK 72, PAGE 126, GWINNETT COUNTY, GEORGIA RECORDS, SAID PLAT BEING INCORPORATED HEREIN BY REFERENCE,

1. This conveyance is made subject to those certain Deed(s) to Secure Debt between Grantor of even date herewith regardless of the order of recording of same. By acceptance of this deed, Grantees subordinate this conveyance to the priority of those security instruments.

TO HAVE AND TO HOLD the said described premises unto the said Grantee, so that neither the said Grantor, nor any other person or persons claiming under Grantor shall at any time, claim or demand any right, title or interest to the aforesaid described premises or its appurtenances.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

Signed, sealed and delivered in the presence of:

[Signature]
UNOFFICIAL WITNESS

[Signature]
GORDON H. CAMPBELL, II
(Seal)

NOTARY PUBLIC
MY COMMISSION EXPIRES:
(NOTARY SEAL)



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MAR 06 2019

Planning & Development

SUP '19 042

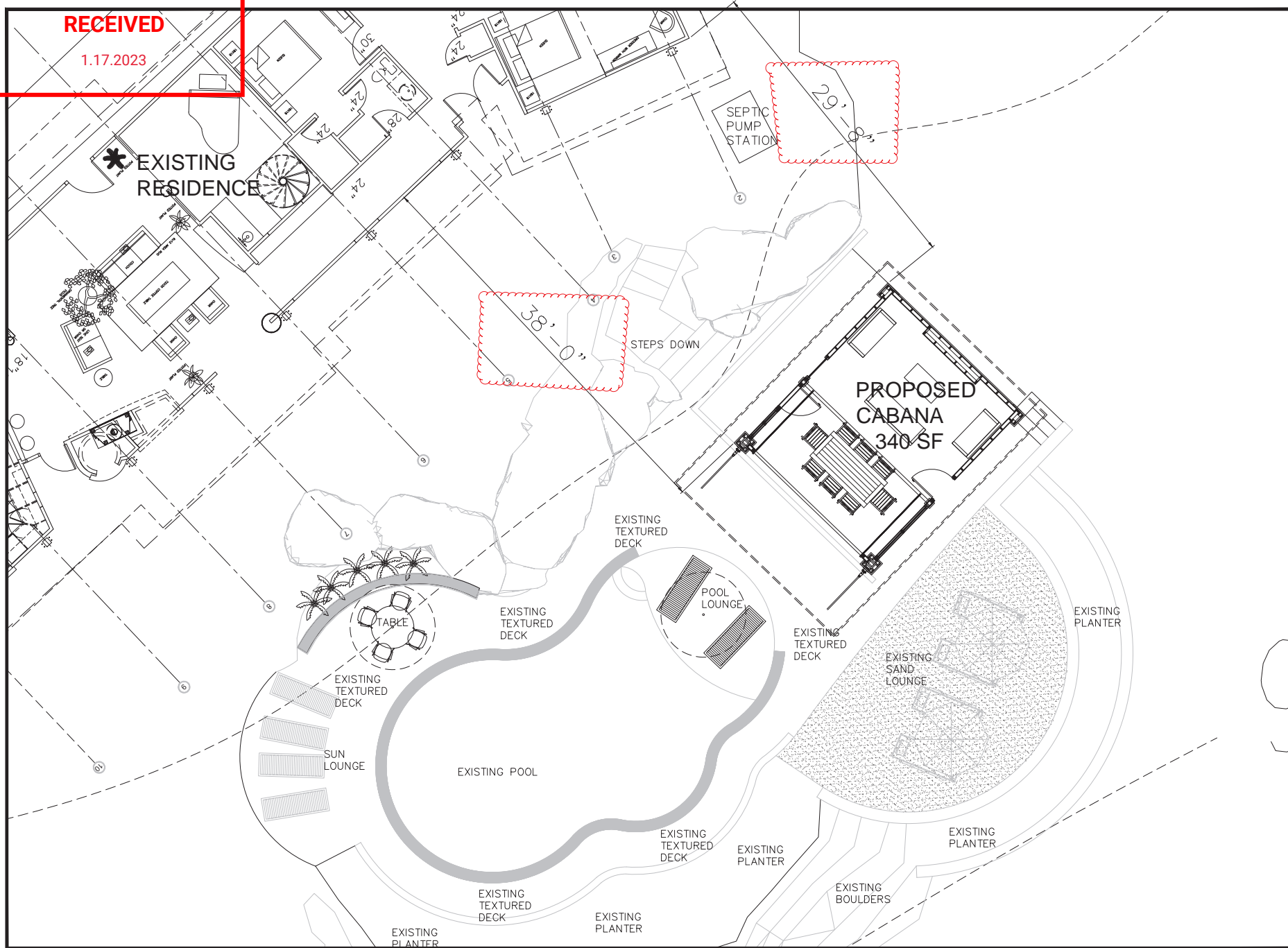
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Exhibit C: Site Plan

[attached]

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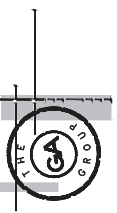
1.17.2023



DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE ARCHITECT
OF ANY DIMENSIONAL ERRORS,
OMISSIONS OR DISCREPANCIES BEFORE
BEGINNING OR FABRICATING ANY WORK

Campbell Pool Cabana
853 MARTINS CHAPEL ROAD
LAWRENCEVILLE, GA 30045

SITE PLAN



DRAWN BY: DS
DATE: 5-20-2022
REVISIONS: 8-12-2022

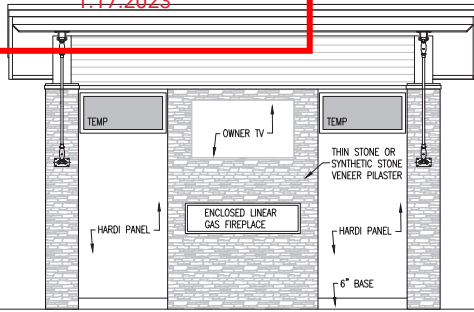
GA022013
JOB NUMBER
SHEET NUMBER

A1
OF 4 SHEETS
ORIGINAL ISSUE 5-20-2022

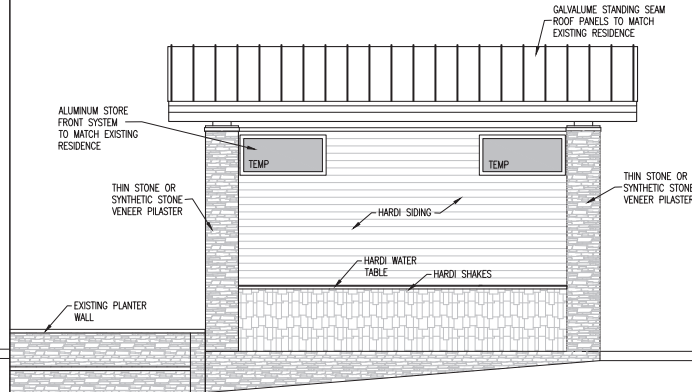
**Exhibit D: Proposed Building Elevation
[attached]**

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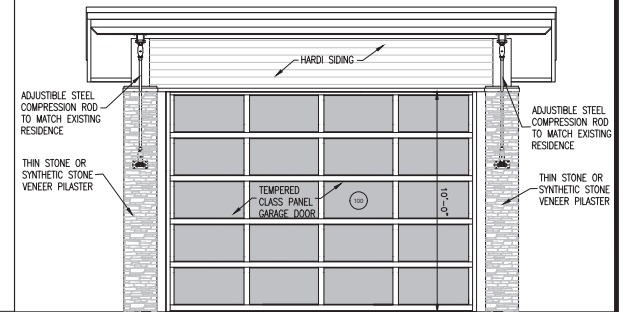
1.17.2023



6 ELEVATION
Scale: 3/8" = 1'-0"

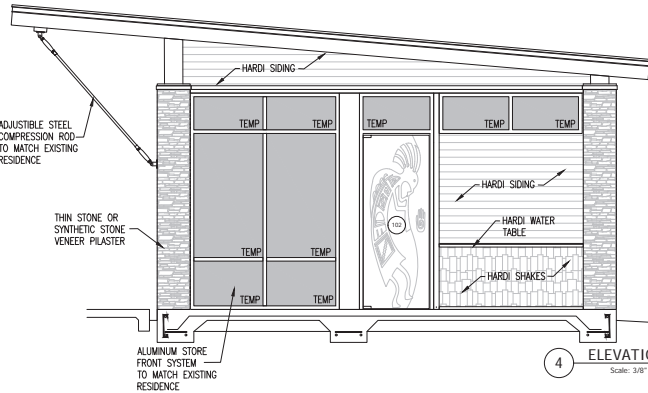


3 ELEVATION
Scale: 3/8" = 1'-0"

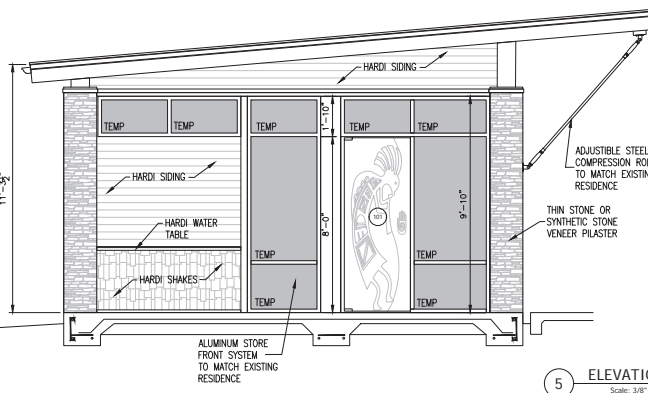


2 ELEVATION
Scale: 3/8" = 1'-0"

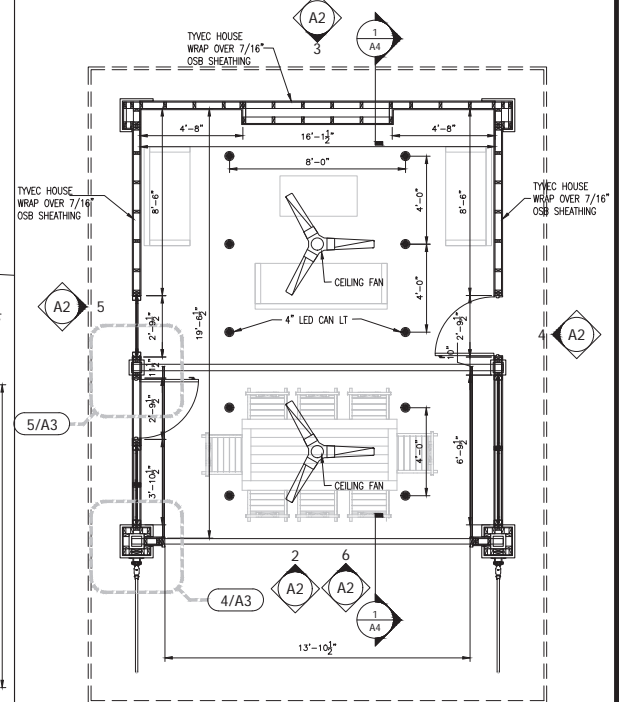
DOOR SCHEDULE						
NUMBER	LOCATION	SIZE	MATERIAL	FINISH	HARDWARE	REMARKS
100	GARAGE DOOR	14'-0" X 10'-0"	TEMPERED GLASS PANEL	CLEAR ALUM	SELECT BY OWNER	OVERHEAD DOOR COMPANY INSTALL U-FACTOR < 0.30 SHGC < 0.25
101	SIDE DOOR	2'-6" X 9'-0"	SOLID CORE	CUSTOM FINISH	CUSTOM	ARTISAN DOOR SLAB WITH INTERIOR THUMB TURN AND KEYED ACCESS
102	SIDE DOOR	2'-6" X 9'-0"	SOLID CORE	CUSTOM FINISH	CUSTOM	ARTISAN DOOR SLAB WITH INTERIOR THUMB TURN AND KEYED ACCESS



4 ELEVATION
Scale: 3/8" = 1'-0"



5 ELEVATION
Scale: 3/8" = 1'-0"



5 FLOOR PLAN
Scale: 3/8" = 1'-0"

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

Campbell Pool Cabana
853 MARTINS CHAPEL ROAD
LAWRENCEVILLE, GA 30045

FLOOR PLAN
AND ELEVATIONS



DRAWN BY: DS
DATE: 5-20-2022
REVISIONS: 8-12-2022

GA022013
JOB NUMBER
SHEET NUMBER

A2
OF 2 SHEETS

ORIGINAL ISSUE 5-20-2022

Exhibit E: Letter of Intent and Applicant's Response to Standards

[attached]



RIVER COVE DEVELOPMENT

TO:

Planning and Development
One Justice Square
446 West Crogan St. Lawrenceville, GA 30046

Letter of Intent

DATE:

Jan-4-2023

PROJECT:

Campbell accessory pool cabana
853 Martins Chapel Road
Lawrenceville, GA 30045

Georgia GC. Lic. No. GCCO004729

FROM:

Durke L Sewell
470-342-5800
durke@rivercovedev.com

We respectfully request a Change in Conditions to the approved 2019 SUP2019-00042.

The owner would like to construct a 340 sf Pool Cabana in leu of the approved accessory garage indicated in the 2019 SUP.

The owner will abandon the proposed construction of the accessory garage.

The current zoned R-100, 6 acre site is uniquely situated where adjacent properties will not be adversely affected by the construction of a pool cabana.

The cabana will be located in the rear yard and adjacent to the pool with a 51'-0" side yard setback. See attached site plan.

The cabana will be constructed to match the primary residence construction with respect to materials and finishes. See attached construction documents.

The cabana will not have a kitchen.

An enclosed linear gas fireplace will be installed.

Dining table and lounge furniture with a wall mounted tv will be housed.

Thank you,

Durke Sewell



GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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1/5/2023
CIC2023-00007

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1/5/2023

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

The pool cabana is suitable in view of the use and development.

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

The pool cabana will not affect the usability of adjacent or nearby property.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The pool cabana is a reasonable use for R-100 zone. The parcel acreage is large enough to support an additional accessory structure.

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The pool cabana will not affect streets, transportation, utilities, or schools.

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The pool cabana is in conformity with the policy and intent of the land use plan.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

There are no existing or changing conditions.

Exhibit F: Application and Disclosure of Campaign Contributions

[attached]

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1/5/2023

CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Durke Sewell</u>	NAME: <u>Gordon Campbell</u>
ADDRESS: <u>1205 River Cove Road</u>	ADDRESS: <u>853 Martins Chapel Road</u>
CITY: <u>Social Circle</u>	CITY: <u>Lawrenceville</u>
STATE: <u>GA</u> ZIP: <u>30025</u>	STATE: <u>GA</u> ZIP: <u>30045</u>
PHONE: <u>470-342-5800</u>	PHONE: <u>770-331-0082</u>
EMAIL: <u>durke@rivercovedev.com</u>	EMAIL: <u>gordon.campbell@multicellpkg.com</u>
CONTACT PERSON: <u>Durke Sewell</u> PHONE: <u>470-342-5800</u>	
CONTACT'S E-MAIL: <u>durke@rivercovedev.com</u> and / or <u>durke@thegagroup.com</u>	

APPLICANT IS THE:	
<input checked="" type="checkbox"/> OWNER'S AGENT	<input type="checkbox"/> PROPERTY OWNER
<input type="checkbox"/> CONTRACT PURCHASER	
ZONING DISTRICTS(S): <u>R-100</u> PRIOR ZONING CASE: <u>SUP2019-00042</u>	
PARCEL NUMBER(S): <u>5213 001</u> ACREAGE: <u>6.00</u>	
ADDRESS OF PROPERTY: <u>853 Martins Chapel Road, Lawrenceville, GA 30045</u>	
PROPOSED CHANGE IN CONDITIONS: <u>Change from abandoned accessory garage to new proposed accessory pool cabana total area 340 SF</u>	
RESIDENTIAL DEVELOPMENT:	NON-RESIDENTIAL DEVELOPMENT:
NO. OF LOTS/DWELLING UNITS: <u>one lot / one unit</u>	NO. OF BUILDINGS/LOTS: _____
DWELLING UNIT SIZE (Sq. Ft.): <u>3,125 SF</u>	TOTAL GROSS SQUARE FEET: _____
GROSS DENSITY: <u>N/A negligible</u>	DENSITY: _____
NET DENSITY: <u>N/A negligible</u>	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

RECEIVED

1/5/2023

CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Durke Sewell

1-4-2023

Signature of Applicant

Date

Durke Sewell / Owner's Agent

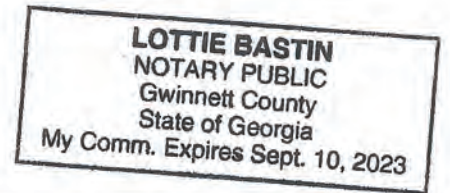
Type or Print Name and Title

[Signature]

1-04-2023

Signature of Notary Public

Date



Notary Seal

RECEIVED


1/5/2023

CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



Signature of Property Owner

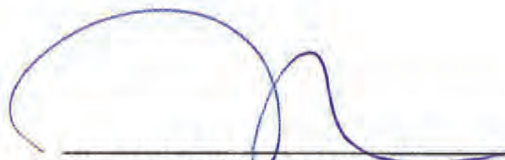


Date

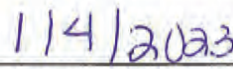


Type or Print Name and Title


OWNER



Signature of Notary Public



Date

Notary Seal

JANITZIA DELOSSANTOS
NOTARY PUBLIC
Gwinnett County
State of Georgia
My Comm. Expires June 24, 2025

Exhibit G: Internal and External Agency Review Comments

[attached]



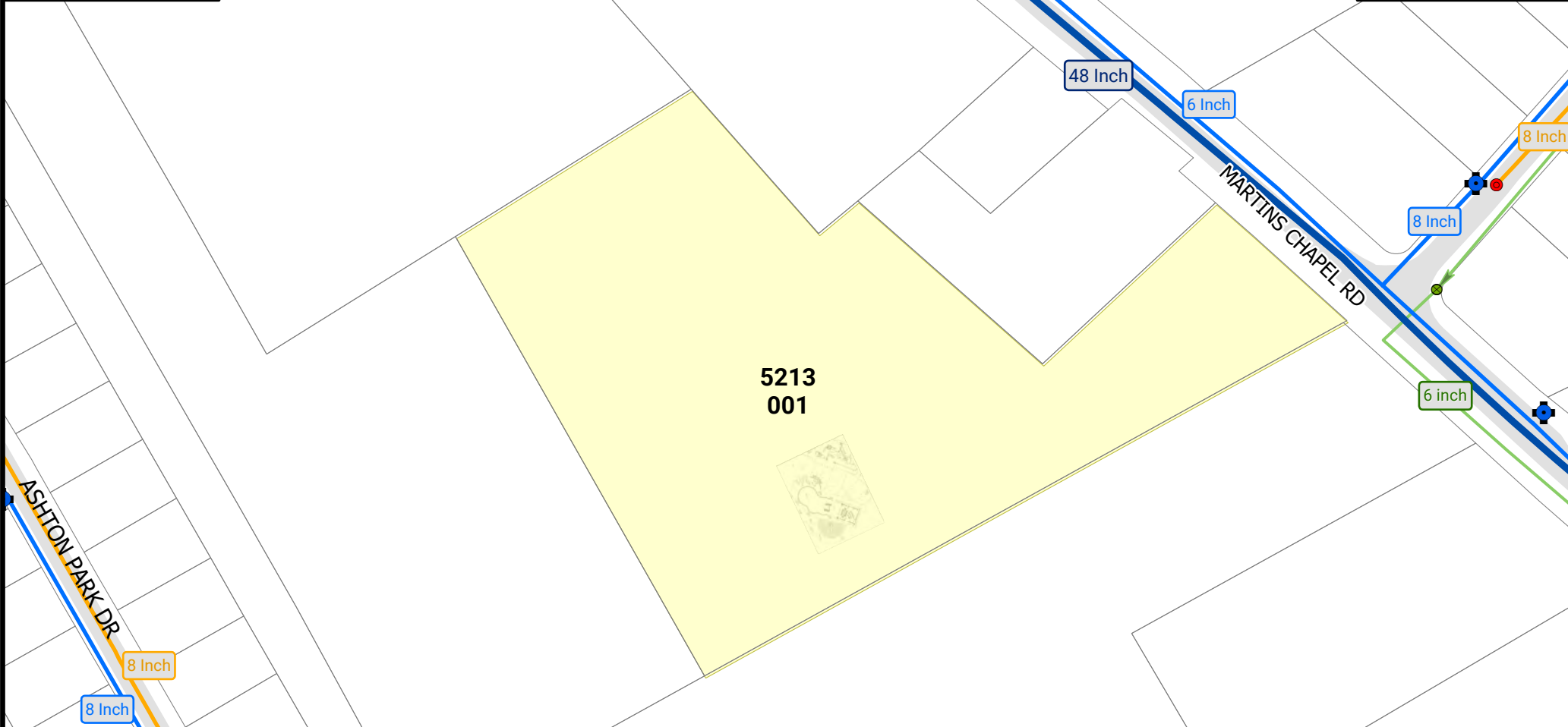
**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

TRC Meeting Date:		2.15.2023	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 1	
Reviewer Email Address:		Brent.Hodges@gwinnettcounty.com	
Case Number:		CIC2023-00007	
Case Address:		853 Martins Chapel Road	
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		YES	NO
1	Martins Chapel Road is a major collector. ADT = 6,177.		
2	4.0 miles to the nearest transit facility (#2454884) Grayson Highway and VFW #5255.		
3			
4			
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input checked="" type="checkbox"/>
		YES	NO
1			
2			
3			
4			
5			
6			
7			



**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

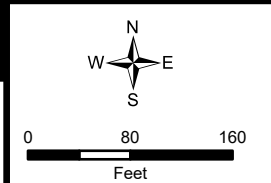
TRC Meeting Date:					
Department/Agency Name:		DWR			
Reviewer Name:		Mike Pappas			
Reviewer Title:		GIS Planning Manager			
Reviewer Email Address:		Michael.pappas@gwinnettcounty.com			
Case Number:		CIC2023-00007			
Case Address:		853 Martins Chapel Road			
Comments:		<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO
1	Water: DWR does not have comments for this development. The existing building is connected to public water.				
2	Sewer: DWR does not have comments for this development. The existing building is connected to septic and will remain on septic.				
3					
4					
5					
6					
7					
Recommended Zoning Conditions:		<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO
1					
2					
3					
4					
5					
6					
7					



LEGEND

	Flow Management		Hydrant		Sewer Force Main
	Pump Station		City		Effluent Outfall
	Regional		Water Main		Sewer Collector
	Manhole		Reuse Main		Sewer Interceptor

853 Martins Chapel Road
R-100
Water & Sewer
Utility Map



LOCATION

Water Comments: DWR does not have comments for this development. The existing building is connected to public water.

Sewer Comments: DWR does not have comments for this development. The existing building is connected to septic and will remain on septic.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Exhibit H: Maps

[attached]



SIMONTON RD

MARTINS CHAPEL LN

CHAPEL HILL DR

MARTINS CHAPEL RD

ASHTON PARK CT

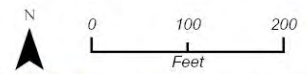
ASHTON PARK DR

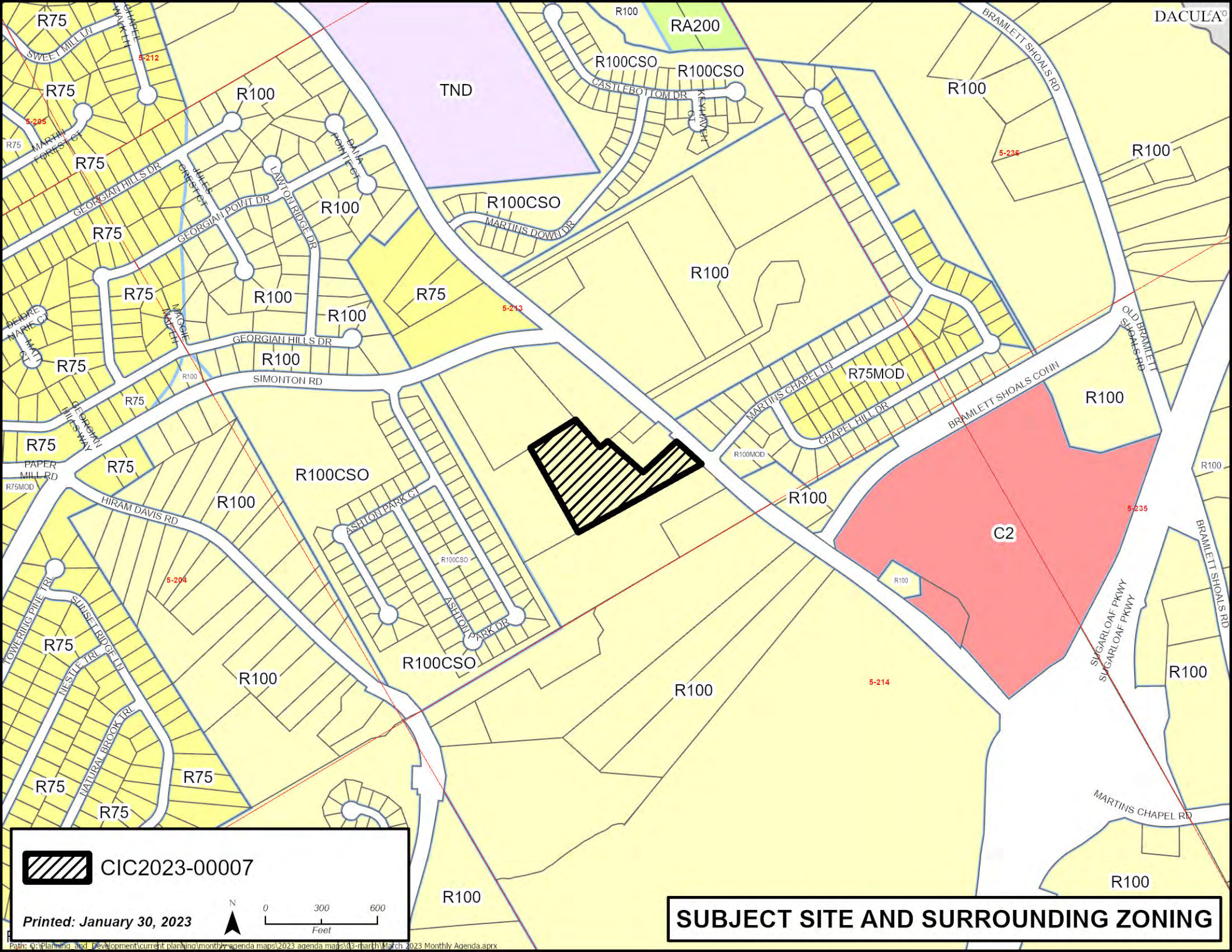
ASHTON


CIC2023-00007

SIGN LOCATION

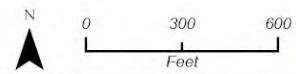
Printed: January 30, 2023



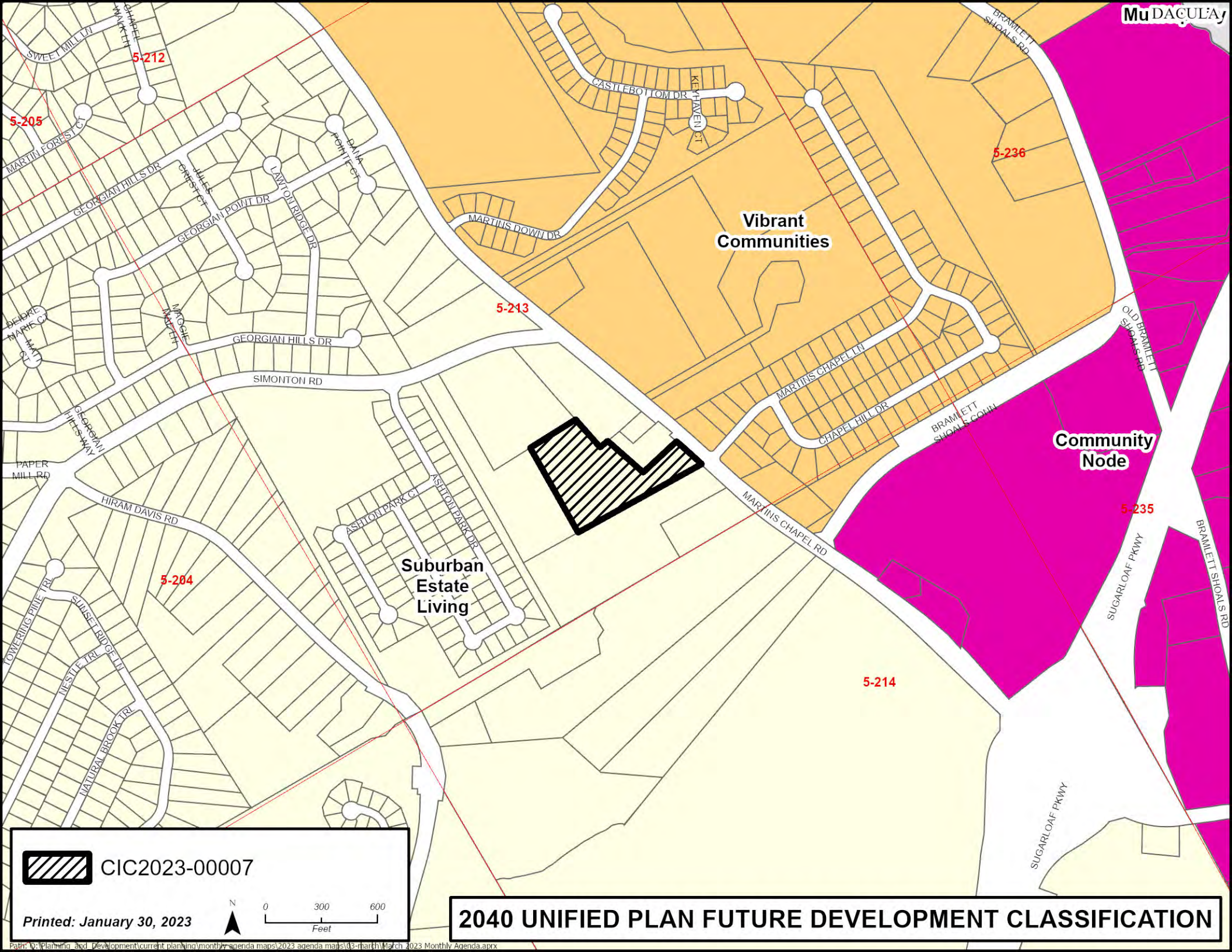


 CIC2023-00007

Printed: January 30, 2023



SUBJECT SITE AND SURROUNDING ZONING



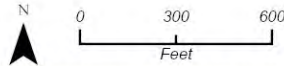
Vibrant Communities

Suburban Estate Living

Community Node

 CIC2023-00007

Printed: January 30, 2023



2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION

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1/5/2023

CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Durke Sewell</u>	NAME: <u>Gordon Campbell</u>
ADDRESS: <u>1205 River Cove Road</u>	ADDRESS: <u>853 Martins Chapel Road</u>
CITY: <u>Social Circle</u>	CITY: <u>Lawrenceville</u>
STATE: <u>GA</u> ZIP: <u>30025</u>	STATE: <u>GA</u> ZIP: <u>30045</u>
PHONE: <u>470-342-5800</u>	PHONE: <u>770-331-0082</u>
EMAIL: <u>durke@rivercovedev.com</u>	EMAIL: <u>gordon.campbell@multicellpkg.com</u>
CONTACT PERSON: <u>Durke Sewell</u> PHONE: <u>470-342-5800</u>	
CONTACT'S E-MAIL: <u>durke@rivercovedev.com</u> and / or <u>durke@thegagroup.com</u>	

APPLICANT IS THE:	
<input checked="" type="checkbox"/> OWNER'S AGENT	<input type="checkbox"/> PROPERTY OWNER <input type="checkbox"/> CONTRACT PURCHASER
ZONING DISTRICTS(S): <u>R-100</u> PRIOR ZONING CASE: <u>SUP2019-00042</u>	
PARCEL NUMBER(S): <u>5213 001</u> ACREAGE: <u>6.00</u>	
ADDRESS OF PROPERTY: <u>853 Martins Chapel Road, Lawrenceville, GA 30045</u>	
PROPOSED CHANGE IN CONDITIONS: <u>Change from abandoned accessory garage to new proposed accessory pool cabana total area 340 SF</u>	
RESIDENTIAL DEVELOPMENT:	NON-RESIDENTIAL DEVELOPMENT:
NO. OF LOTS/DWELLING UNITS: <u>one lot / one unit</u>	NO. OF BUILDINGS/LOTS: _____
DWELLING UNIT SIZE (Sq. Ft.): <u>3,125 SF</u>	TOTAL GROSS SQUARE FEET: _____
GROSS DENSITY: <u>N/A negligible</u>	DENSITY: _____
NET DENSITY: <u>N/A negligible</u>	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

RECEIVED

1/5/2023

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

The pool cabana is suitable in view of the use and development.

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

The pool cabana will not affect the usability of adjacent or nearby property.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The pool cabana is a reasonable use for R-100 zone. The parcel acreage is large enough to support an additional accessory structure.

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The pool cabana will not affect streets, transportation, utilities, or schools.

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The pool cabana is in conformity with the policy and intent of the land use plan.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

There are no existing or changing conditions.

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1/5/2023

CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Durke Sewell

1-4-2023

Signature of Applicant

Date

Durke Sewell / Owner's Agent

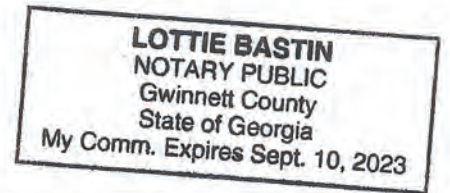
Type or Print Name and Title

[Signature]

1-04-2023

Signature of Notary Public

Date



Notary Seal

RECEIVED

1/5/2023

CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



Signature of Property Owner

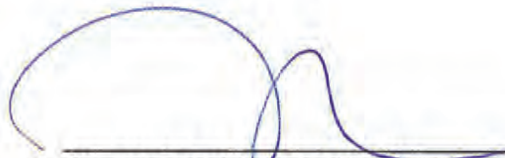
1/4/2023

Date

Gordon Campbell

Type or Print Name and Title

OWNER



Signature of Notary Public

1/4/2023

Date

Notary Seal

JANITZIA DELOSSANTOS
NOTARY PUBLIC
Gwinnett County
State of Georgia
My Comm. Expires June 24, 2025

BK 50467 PG 0342

GANEK WRIGHT MINSK PC
Bill Wright, Esquire
4170 Ashford Dunwoody Road, Ste 285
Atlanta, GA 30319
PHONE: (770)391-0073
FAX: (770)395-9610
File Number: BW100870
gordon h. campbell

PT-61 # 067-2010-031562
GWINNETT CO. GEORGIA
REAL ESTATE TRANSFER TAX
\$ NONE
TOM LAWLER CLERK OF
SUPERIOR COURT
QUITCLAIM DEED SPOUSAL

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA
10 DEC 30 PM 2:00
TOM LAWLER, CLERK

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

1/5/2023

STATE OF GEORGIA

COUNTY OF Dekalb

THIS INDENTURE, made September 24, 2010 between

GORDON H. CAMPBELL, II,

as party or parties of the first part, hereinafter called Grantor, and

**GORDON H. CAMPBELL, II and JERRI LOUISE CAMPBELL
AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP**

as party or parties of the second part, hereinafter called Grantee (the words, "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND NO/100 ---- (\$10.00) DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, remise, release and quitclaim unto the said Grantee,

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 213 OF THE 15TH DISTRICT, GWINNETT COUNTY, GEORGIA AND BEING SHOWN AS TRACT 1 CONTAINING 6.00 ACRES ON EXEMPTION PLAT FOR CHARLES A. RUTTER AND RITA C. RUTTER, PREPARED BY R & V LAND SURVEYING, INC., DATED November 11, 1998, AS PER PLAT RECORDED IN PLAT BOOK 72, PAGE 126, GWINNETT COUNTY, GEORGIA RECORDS, SAID PLAT BEING INCORPORATED HEREIN BY REFERENCE.

1. This conveyance is made subject to those certain Deed(s) to Secure Debt between Grantor of even date herewith regardless of the order of recording of same. By acceptance of this deed, Grantees subordinate this conveyance to the priority of those security instruments.

TO HAVE AND TO HOLD the said described premises unto the said Grantee, so that neither the said Grantor, nor any other person or persons claiming under Grantor shall at any time, claim or demand any right, title or interest to the aforesaid described premises or its appurtenances.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

Signed, sealed and delivered in the presence of:

[Signature]
UNOFFICIAL WITNESS

[Signature]
GORDON H. CAMPBELL, II
(Seal)

NOTARY PUBLIC
MY COMMISSION EXPIRES:
(NOTARY SEAL)



RECEIVED BY

MAR 06 2019

Planning & Development

SUP '19 042

0107761

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

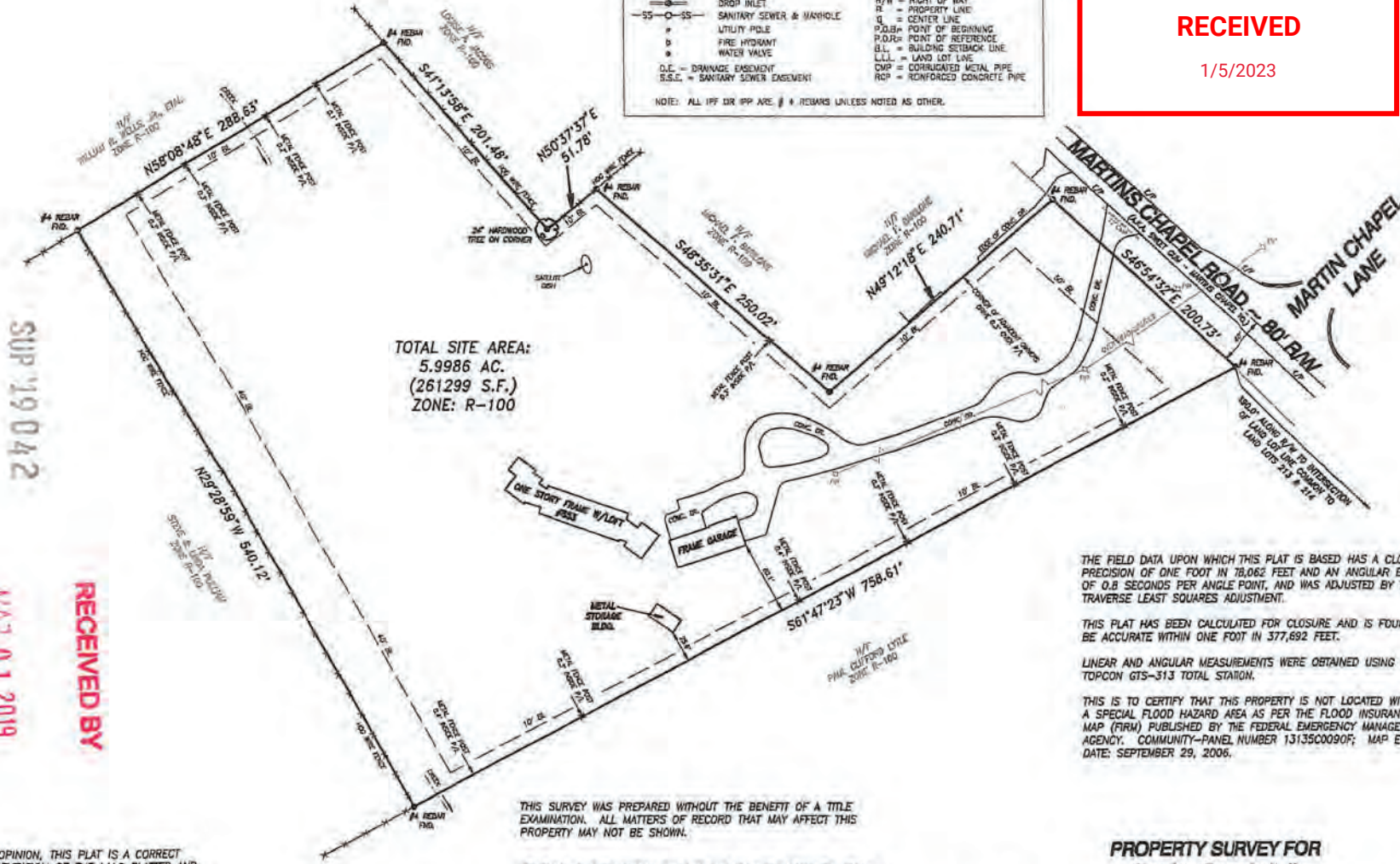
RECEIVED

1/5/2023

LEGEND

	SINGLE WING CATCH BASIN		IPF = IRON PIN FOUND
	DOUBLE WING CATCH BASIN		IPP = IRON PIN PLACED
	HEADWALL		CMF = CONCRETE MONUMENT FOUND
	JUNCTION BOX		CT = DUMP TOP PIN
	DROP INLET		CLF = CHAIN LINK FENCE
	SANITARY SEWER & MANHOLE		R/W = RIGHT OF WAY
	UTILITY POLE		PL = PROPERTY LINE
	FIRE HYDRANT		CL = CENTER LINE
	WATER VALVE		P.O.B. = POINT OF BEGINNING
	D.E. = DRAINAGE EASEMENT		P.O.R. = POINT OF REFERENCE
	S.S.E. = SANITARY SEWER EASEMENT		B.S.L. = BUILDING SETBACK LINE
			L.L.L. = LAND LOT LINE
			CMP = CORRUGATED METAL PIPE
			RCP = REINFORCED CONCRETE PIPE

NOTE: ALL IPF OR IPP ARE # # REBAR UNLESS NOTED AS OTHER.



TOTAL SITE AREA:
5.9986 AC.
(261299 S.F.)
ZONE: R-100

SUP 19 042

Planning & Development

RECEIVED BY
MAY 01 2019

RECEIVED BY

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 78,062 FEET AND AN ANGULAR ERROR OF 0.8 SECONDS PER ANGLE POINT, AND WAS ADJUSTED BY THE TRAVERSE LEAST SQUARES ADJUSTMENT.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 377,692 FEET.

LINEAR AND ANGULAR MEASUREMENTS WERE OBTAINED USING A TOPCON GTS-313 TOTAL STATION.

THIS IS TO CERTIFY THAT THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP (FIRM) PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY-PANEL NUMBER 13135C0090F; MAP EFFECTIVE DATE: SEPTEMBER 29, 2006.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE EXAMINATION. ALL MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY MAY NOT BE SHOWN.

EXISTING UTILITIES SHOWN ON THIS SURVEY WERE OBTAINED FROM VARIOUS SOURCES AND ABOVE GROUND OBSERVATION. THE SURVEYOR OR ENGINEER MAKES NO CLAIM TO THE COMPLETENESS OR ACCURACY OF THIS INFORMATION AS TO SIZE, MATERIAL OR LOCATION. ADDITIONAL UTILITIES MAY EXIST THAT ARE NOT SHOWN. THE OWNER, HIS EMPLOYEES, CONSULTANTS, AND CONTRACTORS SHALL HEREBY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE UTILITY PROTECTION SERVICE FOR THIS AREA SHALL BE NOTIFIED.

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

PROPERTY SURVEY FOR
Gordon Campbell, II
Branch Banking & Trust Co., successor in interest to Colonial Bank
by asset acquisition from the F.D.I.C. as Receiver for Colonial Bank
Ganek, Wright & Dobkin, P.C.
American Land Title Association
Chicago Title Insurance Company

TRACT 1 OF EXEMPTION PLAT FOR: CHARLES A. RUTTER & RITA C. RUTTER
LOCATED IN
LAND LOT 213 ~ 5TH DISTRICT
GWINNETT COUNTY, GEORGIA
DATE: JUNE 24, 2010 SCALE: 1" = 60'
PROJECT # 2010-106.PRO

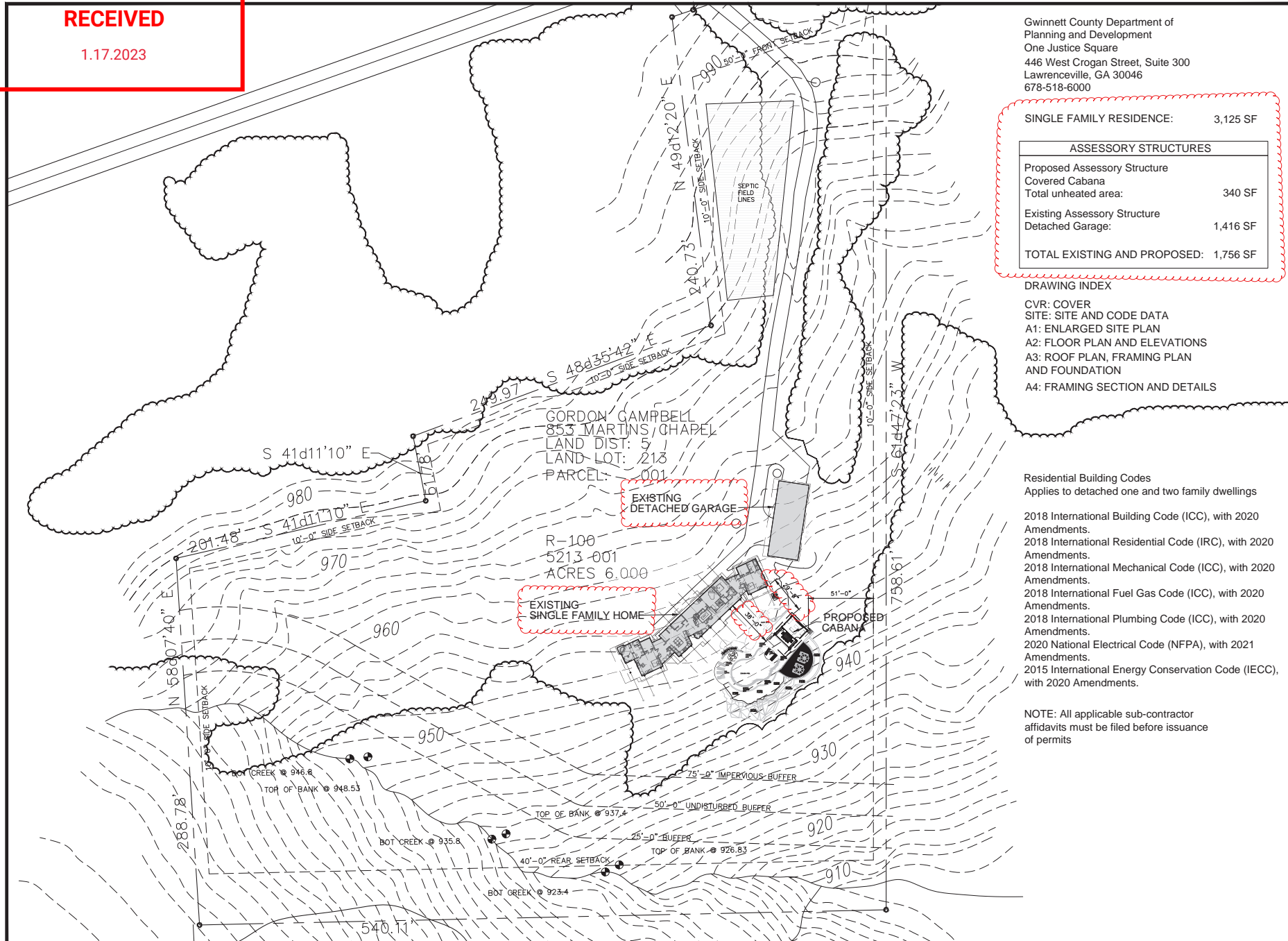


P. J. KRUEGER ENGINEERS & SURVEYORS, INC.
(SURVEYING - ENGINEERING - LAND PLANNING)
364 SCENIC HIGHWAY
LAWRENCEVILLE, GEORGIA 30046
PHONE: (770) 238-9240



RECEIVED

1.17.2023



Gwinnett County Department of
Planning and Development
One Justice Square
446 West Crogan Street, Suite 300
Lawrenceville, GA 30046
678-518-6000

SINGLE FAMILY RESIDENCE: 3,125 SF

ASSESSORY STRUCTURES

Proposed Assesory Structure Covered Cabana	340 SF
Existing Assesory Structure Detached Garage:	1,416 SF
TOTAL EXISTING AND PROPOSED:	1,756 SF

DRAWING INDEX

- CVR: COVER
- SITE: SITE AND CODE DATA
- A1: ENLARGED SITE PLAN
- A2: FLOOR PLAN AND ELEVATIONS
- A3: ROOF PLAN, FRAMING PLAN
AND FOUNDATION
- A4: FRAMING SECTION AND DETAILS

Residential Building Codes
Applies to detached one and two family dwellings

- 2018 International Building Code (ICC), with 2020 Amendments.
- 2018 International Residential Code (IRC), with 2020 Amendments.
- 2018 International Mechanical Code (ICC), with 2020 Amendments.
- 2018 International Fuel Gas Code (ICC), with 2020 Amendments.
- 2018 International Plumbing Code (ICC), with 2020 Amendments.
- 2020 National Electrical Code (NFPA), with 2021 Amendments.
- 2015 International Energy Conservation Code (IECC), with 2020 Amendments.

NOTE: All applicable sub-contractor
affidavits must be filed before issuance
of permits

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE ARCHITECT
OF ANY DIMENSIONAL ERRORS,
OMISSIONS OR DISCREPANCIES BEFORE
BEGINNING OR FABRICATING ANY WORK

Campbell Pool Cabana
853 MARTINS CHAPEL ROAD
LAWRENCEVILLE, GA 30045

SITE PLAN
CODE DATA



DRAWN BY: DS
DATE: 5-20-2022
REVISIONS: 8-12-2022

GA022013
JOB NUMBER

SHEET NUMBER

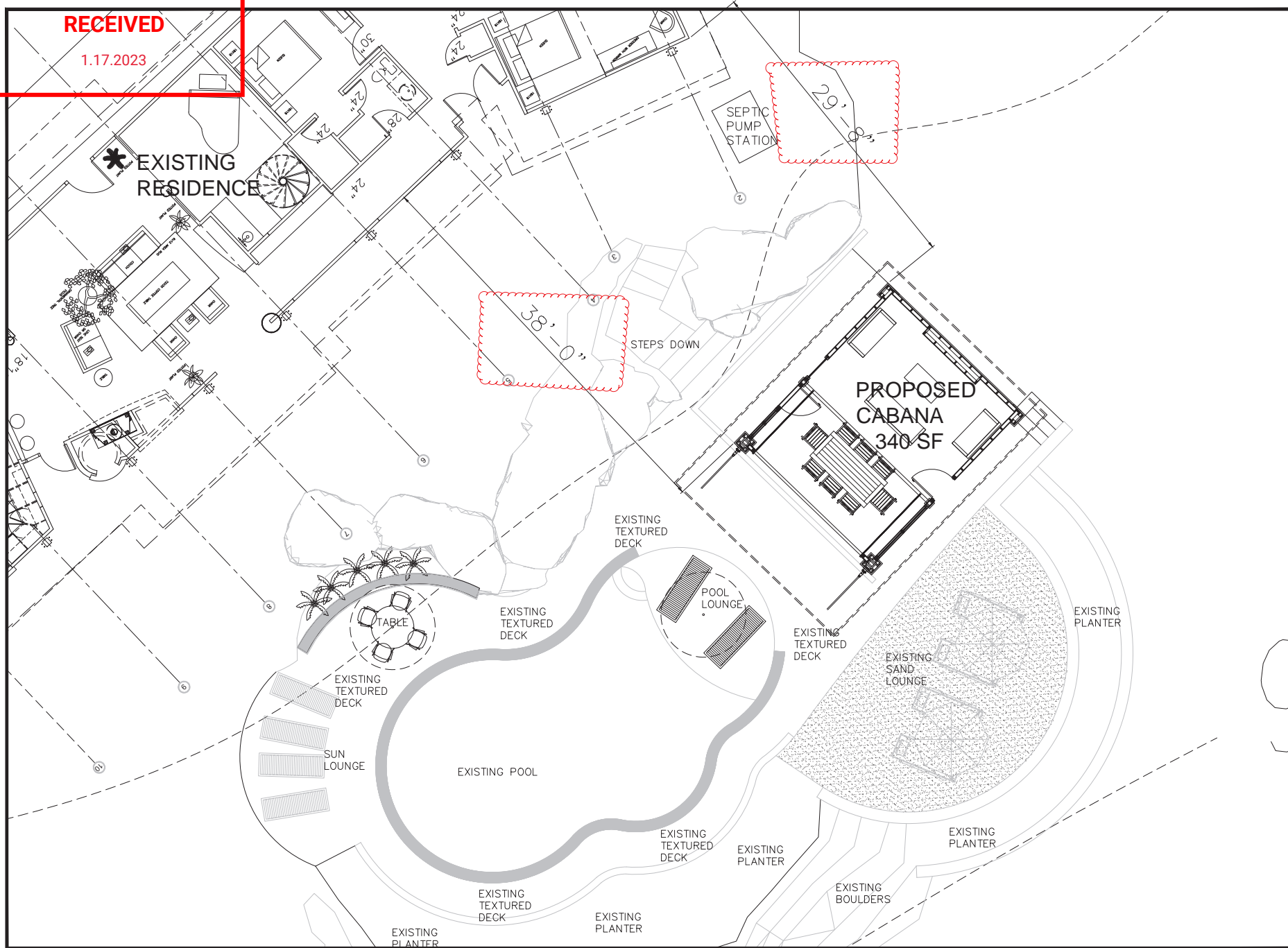
SITE

OF 1 SHEETS

ORIGINAL ISSUE 5-20-2022

RECEIVED

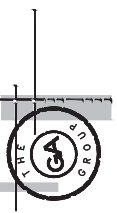
1.17.2023



DO NOT SCALE DRAWINGS
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Campbell Pool Cabana
853 MARTINS CHAPEL ROAD
LAWRENCEVILLE, GA 30045

SITE PLAN



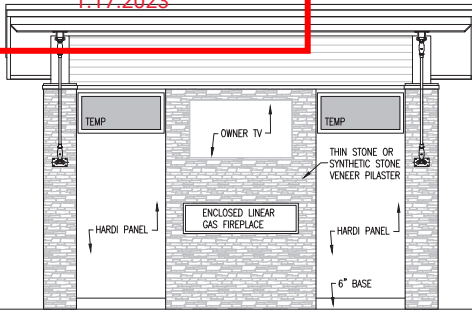
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REVISIONS: 8-12-2022

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JOB NUMBER
SHEET NUMBER

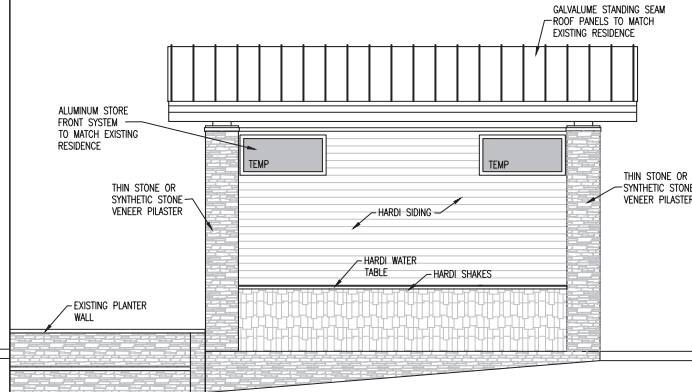
A1
OF 4 SHEETS
ORIGINAL ISSUE 5-20-2022

RECEIVED

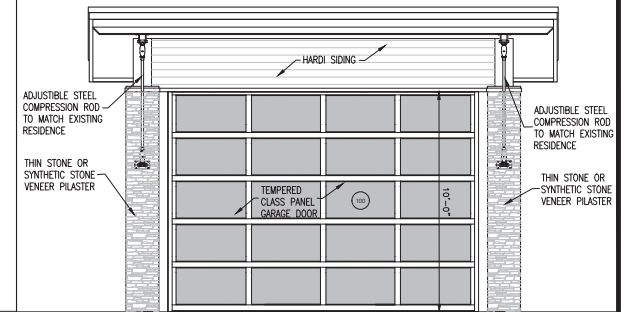
1.17.2023



6 ELEVATION
Scale: 3/8" = 1'-0"

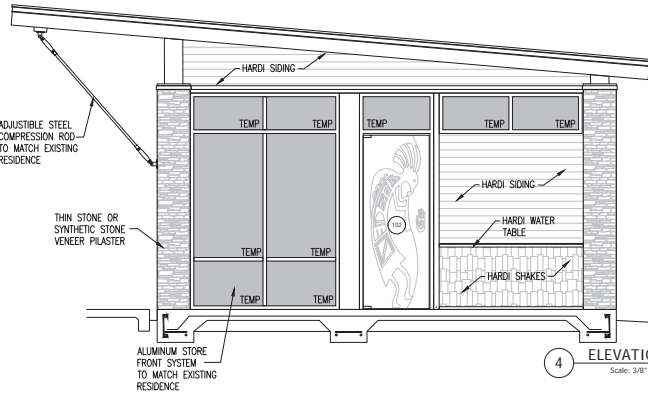


3 ELEVATION
Scale: 3/8" = 1'-0"

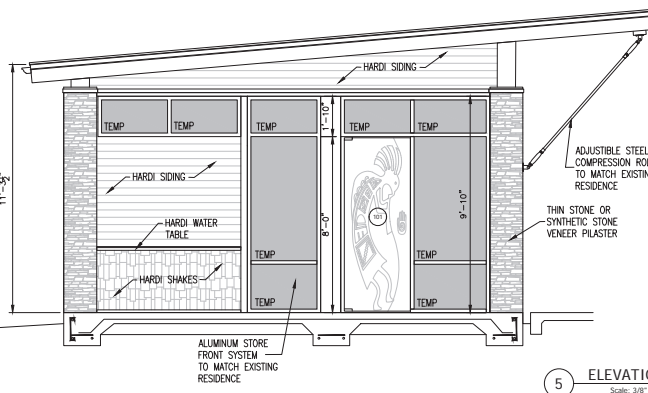


2 ELEVATION
Scale: 3/8" = 1'-0"

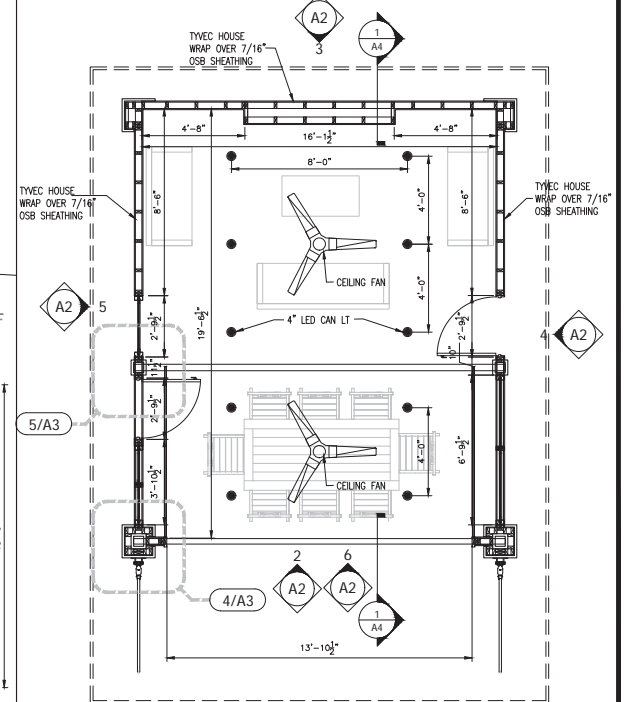
DOOR SCHEDULE						
NUMBER	LOCATION	SIZE	MATERIAL	FINISH	HARDWARE	REMARKS
100	GARAGE DOOR	14'-0" X 10'-0"	TEMPERED GLASS PANEL	CLEAR ALUM	SELECT BY OWNER	OVERHEAD DOOR COMPANY INSTALL U-FACTOR < 0.30 SHGC < 0.25
101	SIDE DOOR	2'-6" X 9'-0"	SOLID CORE	CUSTOM FINISH	CUSTOM	ARTISAN DOOR SLAB WITH INTERIOR THUMB TURN AND KEYED ACCESS
102	SIDE DOOR	2'-6" X 9'-0"	SOLID CORE	CUSTOM FINISH	CUSTOM	ARTISAN DOOR SLAB WITH INTERIOR THUMB TURN AND KEYED ACCESS



4 ELEVATION
Scale: 3/8" = 1'-0"



5 ELEVATION
Scale: 3/8" = 1'-0"



5 FLOOR PLAN
Scale: 3/8" = 1'-0"

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE ARCHITECT
OF ANY DIMENSIONAL ERRORS,
OMISSIONS OR DISCREPANCIES BEFORE
BEGINNING OR FABRICATING ANY WORK

Campbell Pool Cabana
853 MARTINS CHAPEL ROAD
LAWRENCEVILLE, GA 30045

FLOOR PLAN
AND ELEVATIONS



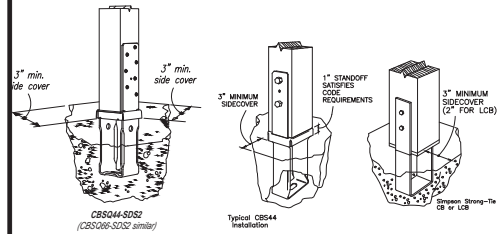
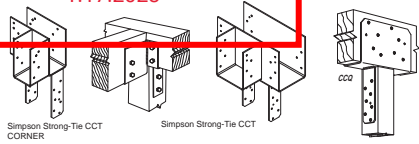
DRAWN BY: DS
DATE: 5-20-2022
REVISIONS: 8-12-2022

GA022013
JOB NUMBER
SHEET NUMBER

A2
OF 2 SHEETS
ORIGINAL ISSUE 5-20-2022

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TYVEC HOUSE
WRAP OVER 7/16"
APA RATED OSB
SHEATHING
EXPOSURE-1

2-2X4 #2 SYP
SUPPORT POST

STORE FRONT TO
MATCH EXISTING
RESIDENCE

HARDIE PANEL
WRAP POST

5/8" APA RATED
FLYWOOD SHEATHING
EXPOSURE-1

5
DETAIL
Scale: 1-1/2" = 1'-0"

5/8" APA RATED
PLYWOOD SHEATHING

STORE FRONT TO
MATCH EXISTING
RESIDENCE

JOIST HANGER

5/8" APA
RATED PLYWOOD
BOX COVER
EXPOSURE-1

THIN STONE
OR SYNTHETIC
STONE VENEER

4
DETAIL
Scale: 1-1/2" = 1'-0"

FOUNDATION KEY

POST / COLUMNS:
P1 6X6 #2 SYP PT
TWO (1) SIMPSON CCG TO BEAMS AT TOP, SIMPSON CBS66
POST BASE TO FOOTINGS WITH STAND-OFF.
P2 GANGED 2X4 POST #2 SYP PT

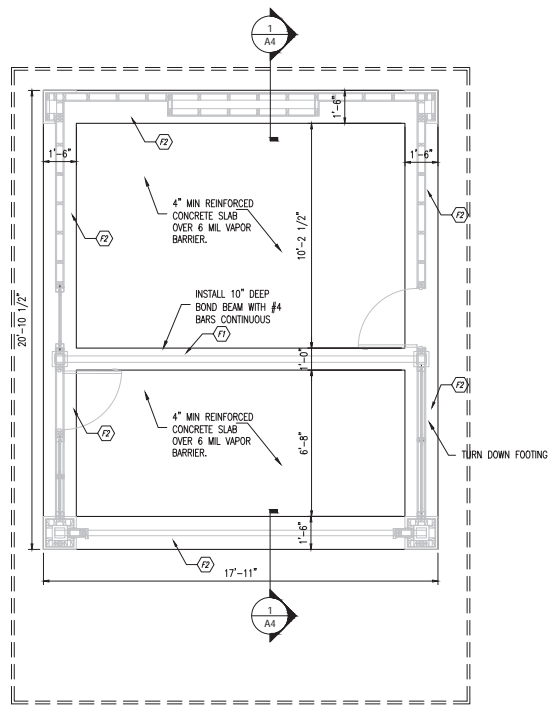
FOOTINGS:
F1 12"W X 10" THICK WITH 2 #4 BOTTOM BARS
F2 18"W TURN DOWN FOOTING WITH 2 #4 BOTTOM BARS
AND 1 #4 TOP BAR, BOTTOM OF FOOTING MUST BE
MIN 10" BELOW GRADE AND BEAR ON FIRM
UNDISTURBED SOIL.

FRAMING PLAN KEY

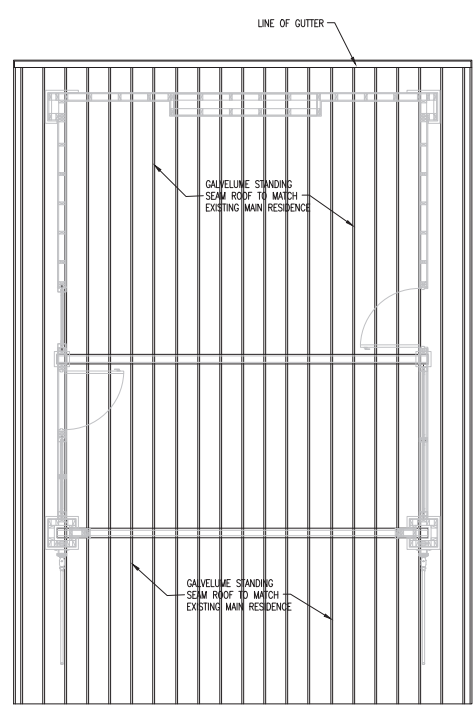
CEILING BEAMS:
CB2 (3) LVL 1-3/4" X 14" OR (1) 5-1/4" X 14"
CB3 (3) LVL 1-3/4" X 16" OR (1) 5-1/4" X 16"
CB4 (1) 4X6 TREATED SYP BEAM SUPPORTED BY
ADJUSTABLE STEEL COMPRESSION RODS.

HEADERS:
H1 (2) 2X6 #2 SYP WITH 1/2" PLYWOOD SANDWICH PANEL
JOIST HANG OFF POST WITH HANGER, PROVIDE MID SPAN
SUPPORT WITH GANGED POST.

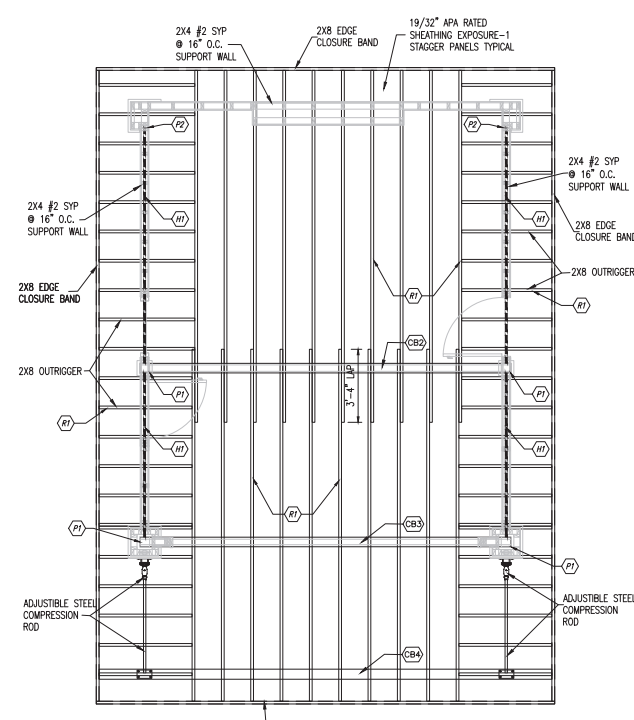
RAFTERS:
R1 2X8 @ 16" #2 SYP
DR 2X8 #2 SYP DOUBLE RAFTER



3 FOUNDATION PLAN
Scale: 3/8" = 1'-0"



2 ROOF PLAN
Scale: 3/8" = 1'-0"



1 ROOF FRAMING PLAN
Scale: 3/8" = 1'-0"

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Campbell Pool Cabana
853 MARTINS CHAPEL ROAD
LAWRENCEVILLE, GA 30045

SUPPORT PLANS
AND DETAILS



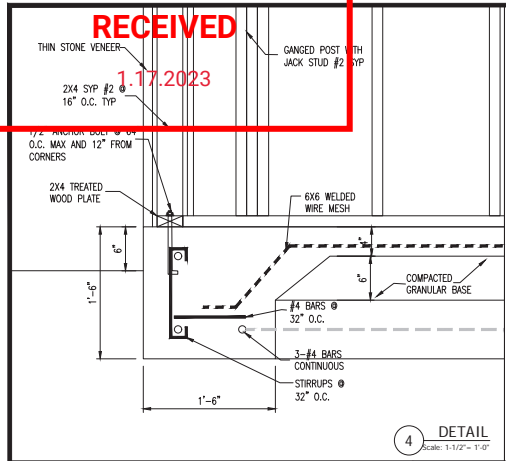
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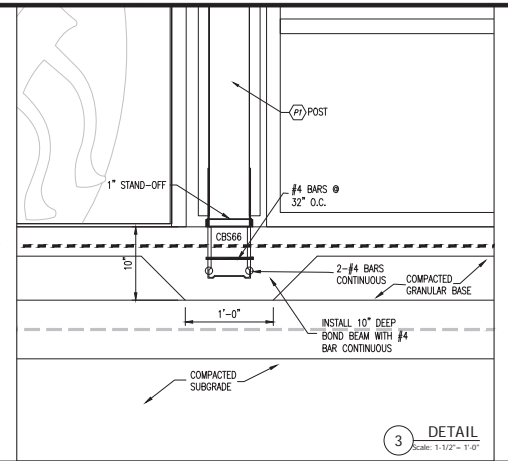
SHEET NUMBER
A3
OF 4 SHEETS
ORIGINAL ISSUE 5-20-2022

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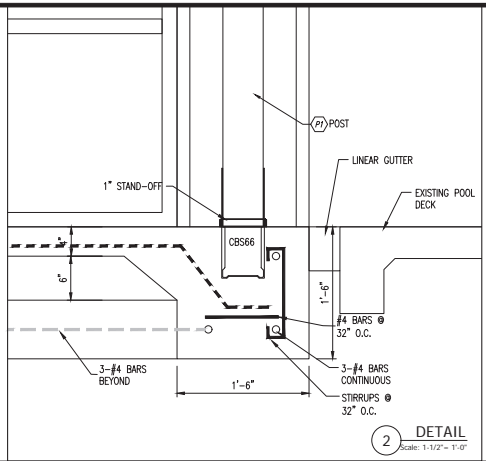
1.17.2023



4 DETAIL
Scale: 1-1/2" = 1'-0"



3 DETAIL
Scale: 1-1/2" = 1'-0"



2 DETAIL
Scale: 1-1/2" = 1'-0"

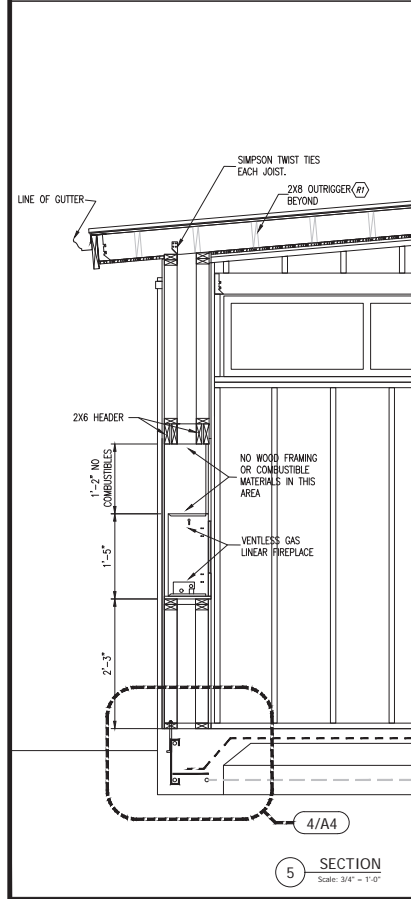
STRUCTURAL NOTES

ALL CONSTRUCTION INCLUDING STRUCTURAL COMPONENTS WHETHER OR NOT SHOWN ON THE PLANS SHALL COMPLY WITH THE PROVISIONS OF THE 2018 OR CURRENT INTERNATIONAL RESIDENTIAL CODE (IRC) WITH 2020 GEORGIA AMENDMENTS.

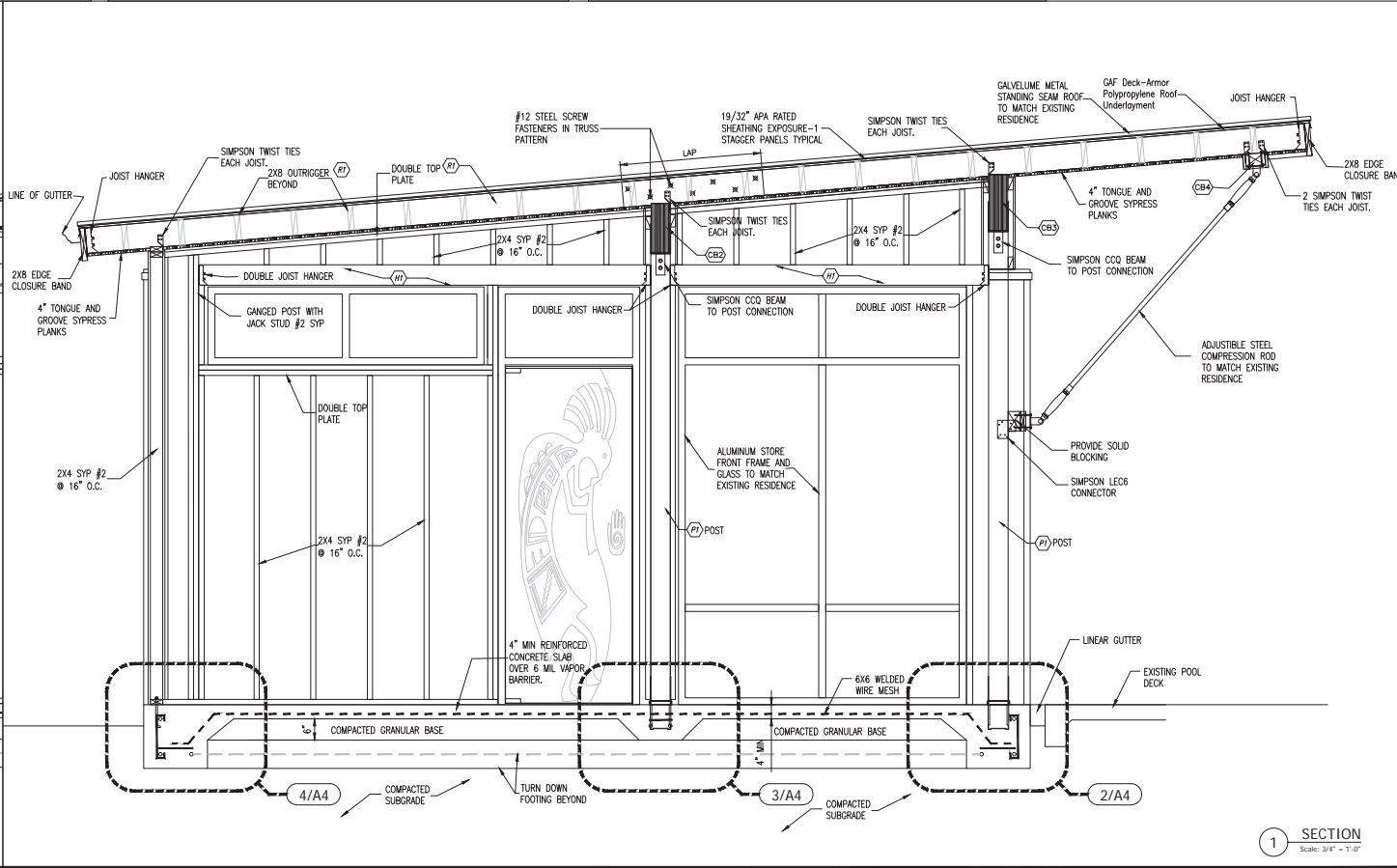
VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO ANY CONSTRUCTION. NOTIFY ARCHITECT OF ANY QUESTIONABLE OR UNEXPECTED CONDITIONS FOR REVISIONS TO DESIGN AS NEEDED.

DESIGN OF NEW FOOTINGS SHALL BE BASED ON AN ALLOWABLE SOIL BEARING STRESS OF 2000 PSF. CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL CAPACITY AND NOTIFY A STRUCTURAL ENGINEER IF SOIL CAPACITY IS LESS THAN 2000 PSF FOR REDESIGN.

PT LEDGERS SHALL BE BOLTED TO EXISTING CONCRETE FOUNDATION WALL TO SUPPORT FLOOR JOIST AT SIDE ENTRY TO MUD ROOM. PROVIDE 1/2" DIA EPOXY ANCHORS, 3-1/2" MIN EMBEDMENT SPACED 12" O.C. STAGGERED. ADD TWO BOLTS TO ENDS OF LEDGER AND AT EACH SIDE OF ANY SPLICES.



5 SECTION
Scale: 3/4" = 1'-0"



1 SECTION
Scale: 3/4" = 1'-0"

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

Campbell Pool Cabana
853 MARTINS CHAPEL ROAD
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SUPPORT PLANS
AND DETAILS



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A4

OF 4 SHEETS
ORIGINAL ISSUE 5-20-2022



RIVER COVE DEVELOPMENT

TO:

Planning and Development
One Justice Square
446 West Crogan St. Lawrenceville, GA 30046

Letter of Intent

DATE:

Jan-4-2023

PROJECT:

Campbell accessory pool cabana
853 Martins Chapel Road
Lawrenceville, GA 30045

Georgia GC. Lic. No. GCCO004729

FROM:

Durke L Sewell
470-342-5800
durke@rivercovedev.com

We respectfully request a Change in Conditions to the approved 2019 SUP2019-00042.

The owner would like to construct a 340 sf Pool Cabana in leu of the approved accessory garage indicated in the 2019 SUP.

The owner will abandon the proposed construction of the accessory garage.

The current zoned R-100, 6 acre site is uniquely situated where adjacent properties will not be adversely affected by the construction of a pool cabana.

The cabana will be located in the rear yard and adjacent to the pool with a 51'-0" side yard setback. See attached site plan.

The cabana will be constructed to match the primary residence construction with respect to materials and finishes. See attached construction documents.

The cabana will not have a kitchen.

An enclosed linear gas fireplace will be installed.

Dining table and lounge furniture with a wall mounted tv will be housed.

Thank you,

Durke Sewell



GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

1/5/2023

RECEIVED

1/5/2023

CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

Durke Sewell Durke Sewell / Owner's Agent
Signature of Applicant Date Type of Print Name and Title

N/A
Signature of Applicant's Attorney or Representative Date Type or Print Name and Title

[Signature] Jan. 4, 2023
Signature of Notary Public Date Notary Seal

LOTTIE BASTIN
NOTARY PUBLIC
Gwinnett County
State of Georgia
My Comm. Expires Sept. 10, 2023

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES NO Durke Sewell
Your Name

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

