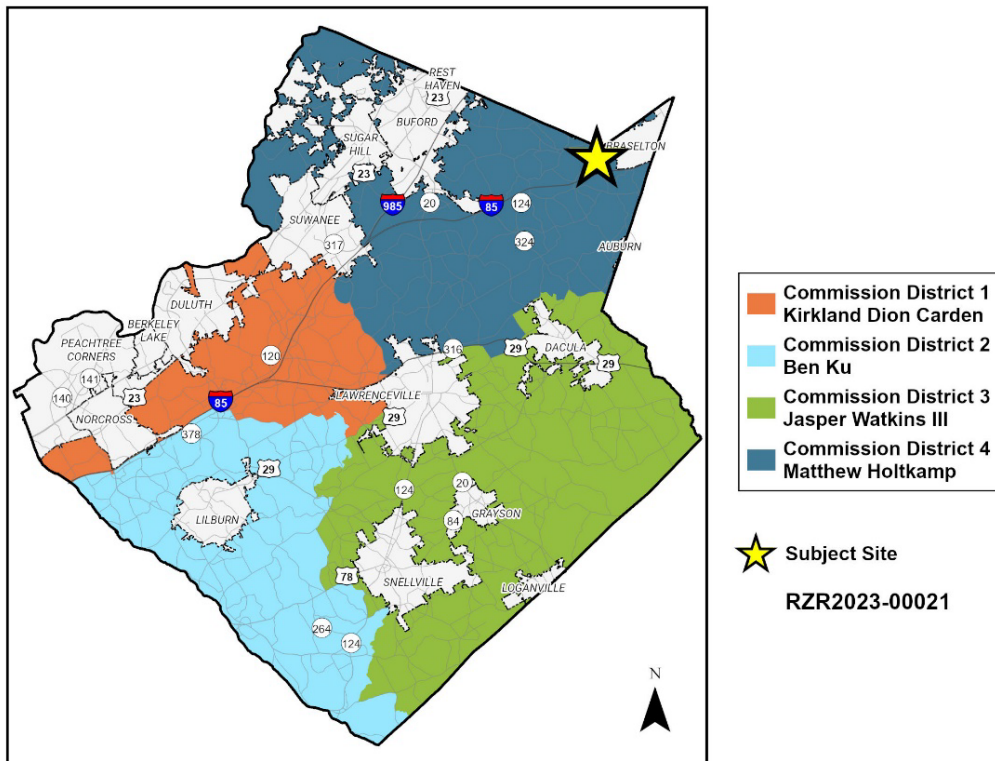


PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: RZR2023-00021
Current Zoning: R-140 (Single-Family Residence District)
Request: Rezoning to R-100 (Single-Family Residence District)
Address: 4911 Spout Springs Road
Map Number: R3007 037
Site Area: 4.17 acres
Lots: 6
Proposed Development: Single-Family Detached Subdivision
Commission District: District 4 – Commissioner Holtkamp
Character Area: Emerging Suburban

Staff Recommendation: APPROVAL WITH CONDITIONS

Planning Commission Recommendation: APPROVAL WITH CONDITIONS



Applicant: Alejandro Ramos
4181 Lantern Hill Drive
Dacula, GA 30019

Owners: LBM Homes
4181 Lantern Hill Drive
Dacula, GA 30019

Contact: Kathleen Woodruff

Contact Phone: 404.285.1124

Zoning History

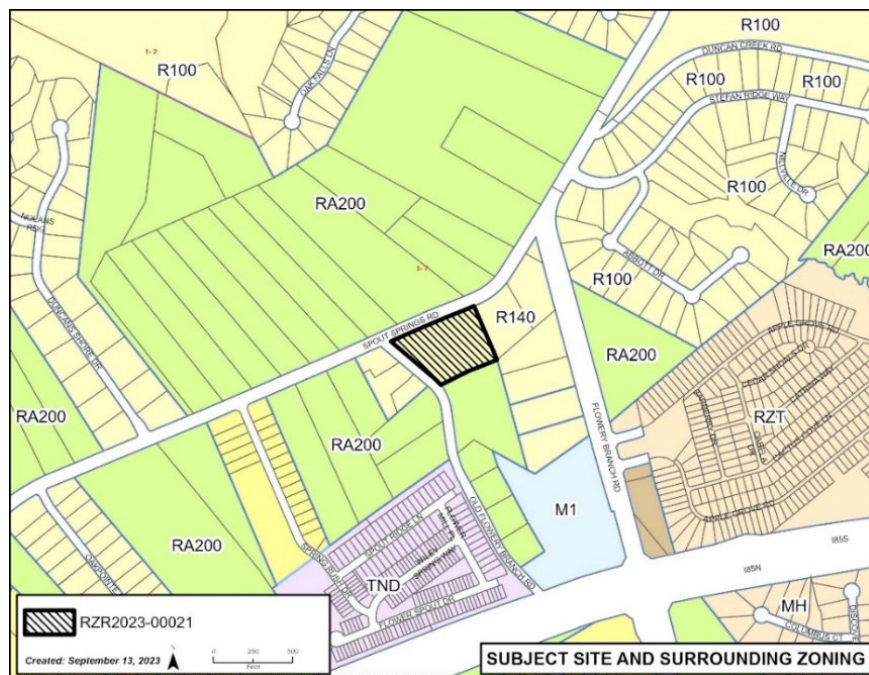
The subject property is zoned R-140 (Single-Family Residence District). The property was rezoned from RA-200 (Agriculture-Residence District) to R-140 in 1978, pursuant to RZ:106-78.

Existing Site Condition

The subject property is a 4.17-acre parcel located at the southeast corner of the Spout Springs Road and Old Flowery Branch Road intersection. There is an existing single-family residence on the property with several accessory buildings and structures. Access is provided by a driveway on Old Flowery Branch Road. The eastern half of the property is densely vegetated with mature trees. The property slopes downwards from west to east by approximately 16 feet. There are no sidewalks along the property frontages of Spout Springs Road and Old Flowery Branch Road. Overhead utilities span the length of the property frontage on Old Flowery Branch Road. The nearest Gwinnett County Transit stop is approximately 9.7 miles from the subject property.

Surrounding Use and Zoning

The property is surrounded by single-family residences on large lots. To the east of the property is a single-family residence. Located farther south from the property is the Mill Creek Springs subdivision. To the north, across Spout Springs Road, is a place of worship. To the west, across Old Flowery Branch road are three single-family residences. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Single-Family Residential	R-100	1.44 units per acre
North	Place of Worship	RA-200	N/A
East	Single-Family Residential	R-140	0.47 units per acre
South	Single-Family Residential	RA-200	0.21 units per acre
West	Single-Family Residential	R-100	1.23 units per acre

Project Summary

The applicant requests rezoning of a 4.17-acre property from R-140 to R-100 for a single-family detached subdivision including:

- Six single-family residences on lots ranging from 25,507 square feet to 47,872 square feet, yielding a density of 1.44 units per acre.
- Two-story residences with a minimum heated floor area of 2,400 square feet.
- A minimum two-car garage for each residence.
- Exterior building materials consisting of a mixture of brick and board and batten with shake accents.
- Direct driveway access for each lot from Old Flowery Branch Road, and a shared entrance and driveway for lots along Spout Springs Road.
- A 5-foot-wide sidewalk with curb and gutter along Spout Springs Road and Old Flowery Branch Road.
- Lots to be served by private septic systems.
- The plan does not include on-site detention, which will be required based on the staff recommended conditions.

Zoning and Development Standards

The applicant is requesting a rezoning to R-100 (Single-Family Residence District), for a single-family detached subdivision. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	<35'	YES
Front Yard Setback	Minimum 50' Spout Springs Road Minimum 35' Old Flowery Branch Road	50' 35'	YES
Side Yard Setback	Minimum 10' one yard 25' two yards	Minimum 10' one yard 25' two yards	YES
Rear Yard Setback	Minimum 40'	40'	YES
Lot Size	Minimum 25,500 square feet	25,507 square feet	YES
Lot Width	Minimum 100 feet	>100 feet	YES
Heated Floor Area	Minimum 1,400 square feet	>2,400 square feet	YES

Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit F). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Rezoning Request Analysis: According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

A. Whether a proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.

This area of the County consists primarily of low-density, single-family residences on large lots and single-family detached subdivisions. There is a substantial amount of R-100 zoned property in the surrounding area. An additional six R-100 zoned lots is suitable in view of the use and development of adjacent and nearby property.

B. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.

The proposed rezoning to R-100 to create six lots would not adversely affect the existing use or usability of adjacent or nearby properties. The proposed development would remove a number of non-conforming buildings and structures located on the property. The subdivision would align with the existing character and development pattern of the area. Similar sized lots in the area are located within subdivisions. The proposed lots should meet all development permitting requests, including public infrastructure and stormwater requirements.

C. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.

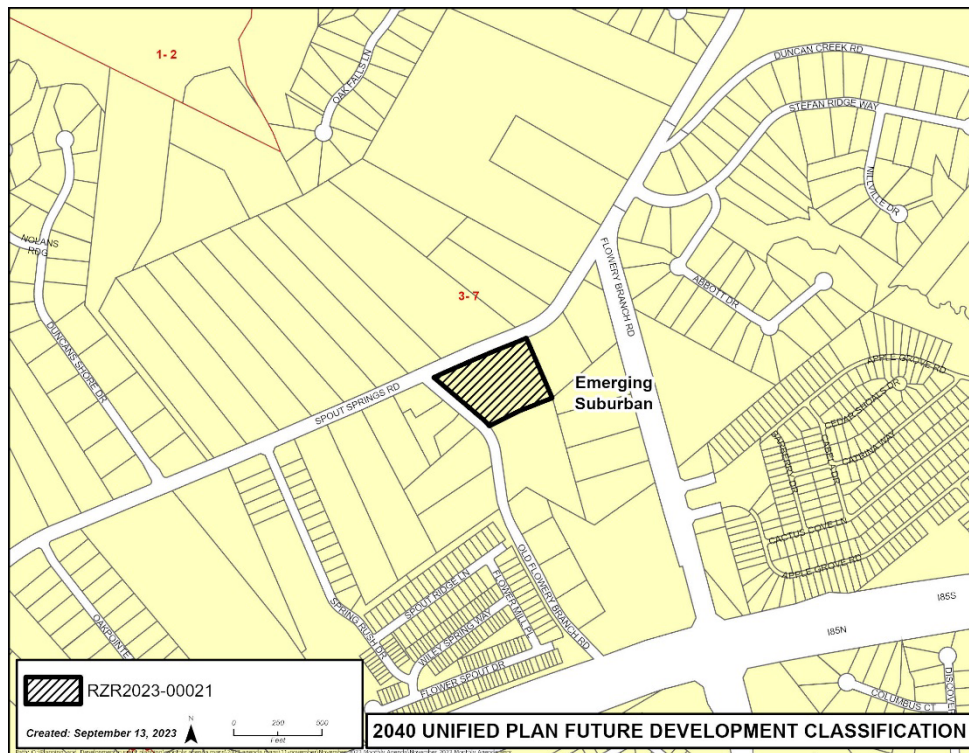
The property has a reasonable economic use as currently zoned.

D. Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

A minimal increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. A minimal impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit F).

E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map; and

The 2040 Unified Plan and Future Development map indicates this property is within the Emerging Suburban Character Area. The Emerging Suburban Character Area designates areas that are currently mainly residential but have not yet matured into established communities due to relatively large amounts of remaining, undeveloped land. They are expected to experience new single-family detached residential development during the 20-year planning period contemplated by the Unified Plan. A single-family detached subdivision of six lots is appropriate at this location and is in conformity with the policy and intent of the Unified Plan and Future Development Map.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning.

The proposed development is located in an area that is beginning to experience growth with slightly denser developments. This growth is supported by the Emerging Suburban Character Area. The development will create six single-family detached lots and is consistent with the development pattern and land use of the surrounding area if all development regulations are satisfied. Additionally, the development would remove several nonconforming structures and install sidewalks along the property frontage of Spout Springs Road and Old Flowery Branch Road.

Staff Recommendation

Based on the staff's evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

Planning Commission Recommendation

Based on staff's evaluation of the request, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)

Approval as R-100 (Single-Family Residence District) subject to the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit C: Building Elevations dated received September 6, 2023, subject to the review and approval of the Department of Planning and Development.
2. The property shall be limited to a maximum of six single-family detached lots and accessory uses and structures, with a minimum lot size of 25,500 square feet.
3. All dwellings shall have a minimum of a two-car garage.
4. The developer shall construct a 5-foot-wide concrete sidewalk, as well as curb and gutter, along the Spout Springs Road and Old Flowery Branch Road frontage.
5. The developer shall be limited to one direct driveway access to Spout Springs Road ~~and one direct driveway access to Old Flowery Branch Road.~~
6. All residential buildings shall comply with Category 3 of the Gwinnett County Architectural Design Standards. Final building elevations shall be submitted for review and approval by the department of Planning and Development.
- ~~7. A development permit shall be required for the subdivision. Development as a minor subdivision shall be prohibited.~~
- 8. All homes shall be fee simple, no rentals.**
- 9. Each property shall have a Residential Drainage Plan (RDP).**

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Application and Disclosure of Campaign Contributions
- F. Internal and External Agency Review Comments
- G. Maps

Exhibit A: Site Visit Photos



View of property from Spout Springs Road



View of property from Old Flowery Branch Road



View of property from Old Flowery Branch Road



View of existing homes across from property on Old Flowery Branch Road



View of Spout Springs Road looking west

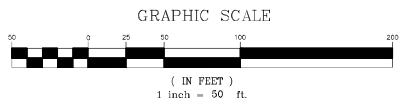
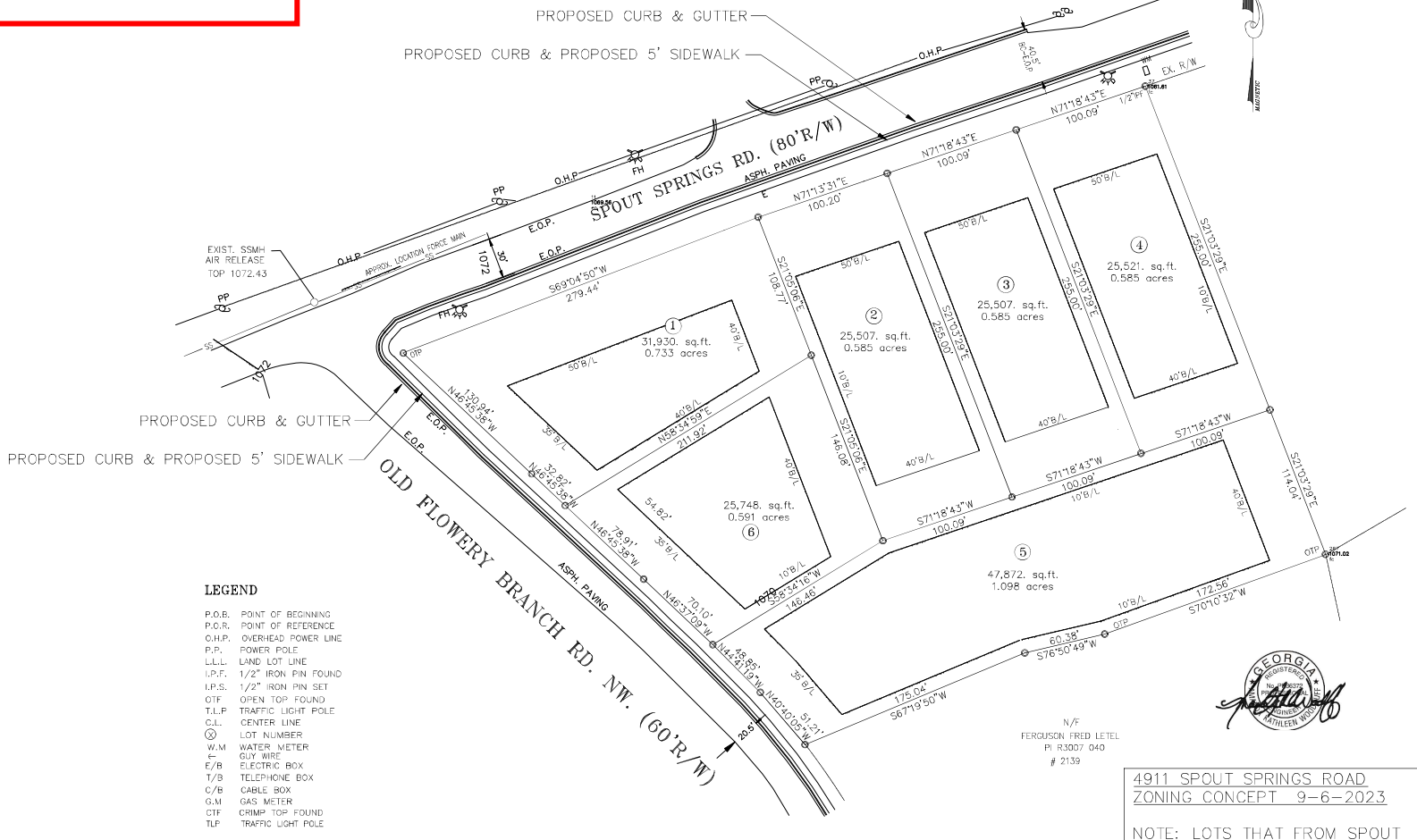
Exhibit B: Site Plan

[attached]

**GWINNETT COUNTY
PLANNING AND DEVELOPMENT**

RECEIVED

9/15/2023



TOTAL LOT AREA
182,058. sq.ft.
4.17 acres

4911 SPOUT SPRINGS ROAD
ZONING CONCEPT 9-6-2023

NOTE: LOTS THAT FROM SPOUT SPRINGS ROAD SHALL HAVE A SHARED DRIVE AS APPROVED BY GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION TO LIMIT POINTS OF ACCESS.



N/F
FERGUSON FRED LETEL
PI R3007 040
2139

Exhibit C: Building Elevations

[attached]

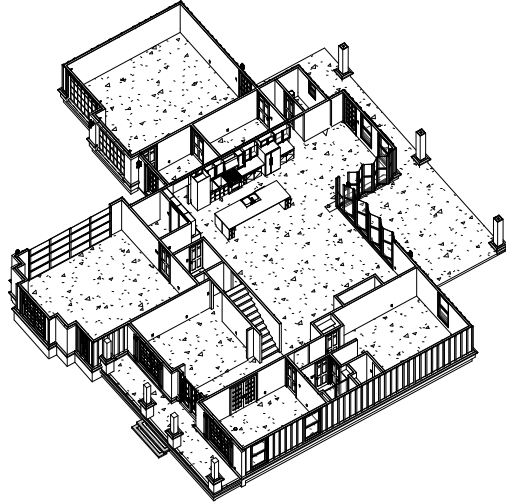
RECEIVED

9/6/2023

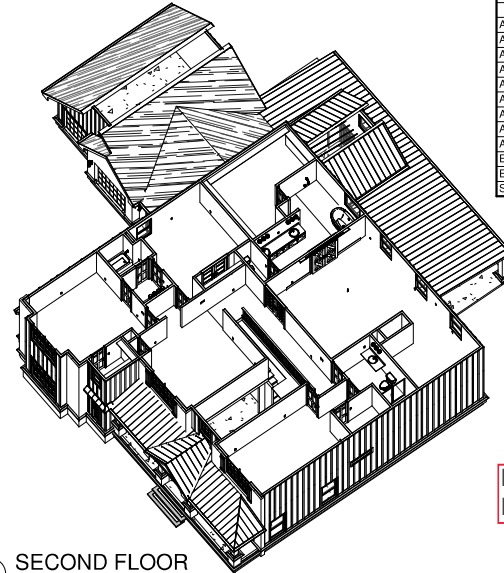
GENERAL NOTES

- MIN 10'-1 1/8" CEILING HEIGHT ON FIRST FLOOR AND 9'-1 1/8" SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O., STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
 SINGLE-68"
 DOUBLE 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- PORCH, STOOP, & DECK HANDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

FINISHES SHALL BE COORDINATED WITH OWNER



3 FIRST FLOOR



4 SECOND FLOOR



CONSTRUCTION PLAN SHEET LIST	
SHEET NUMBER	SHEET NAME
A1.0	COVER SHEET
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR
A1.3	ROOF PLAN
A2.1	FRONT AND REAR ELEVATION
A2.2	RIGHT AND LEFT ELEVATION
A3.1	SECTIONS AND DETAILS
A3.2	SECTIONS AND DETAILS
A3.4	3D BACK VIEW
E1.1	FIRST FLOOR ELECTRICAL
E1.2	SECOND FLOOR ELECTRICAL
S1.1	FOUNDATION PLAN

PRINTED 12-14-2020
FINAL PRINT

OPT. PAPER SIZE:
For 1/4" = 1'-0" on 24"x36" PAPER SIZE
ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION DOCUMENTS

Revision Number	Revision Description	Date

AREAS:	FIRST FLOOR HEATED = 2,357 SF
	SECOND FLOOR HEATED = 2,227 SF
	FRONT PORCH = 188 SF
	BACK PORCH = 660 SF
	GARAGE = 975 SF
	TOTAL HEATED = 4,564
	TOTAL PORCH = 445 SF
	TOTAL GARAGE = 975

THE JACKELYN II
T.B.D.
ADDRESS:

JOB#	2020-8-16
DRAWN BY:	Author
CHECKED BY:	Checker
DESIGNED BY:	
UNLESS OTHERWISE NOTED	2x4
FOUNDATION TYPE	MONOSLAB
PRINT DATE:	10/10/23 AM

DIMENSIONS DESIGN INC.
DRAW • DESIGN • INSURE

PROPERTY OF:
LBM Custom Homes, LLC.

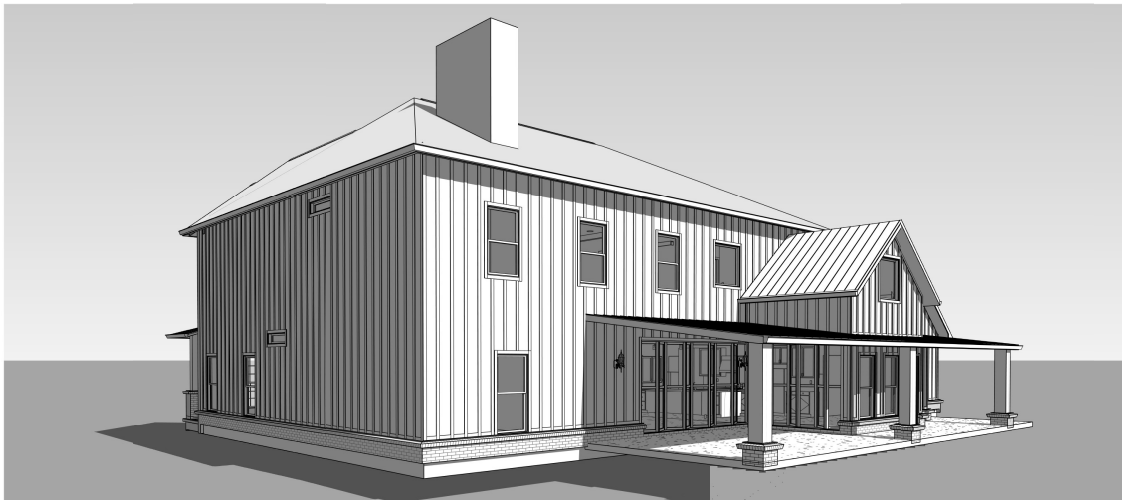
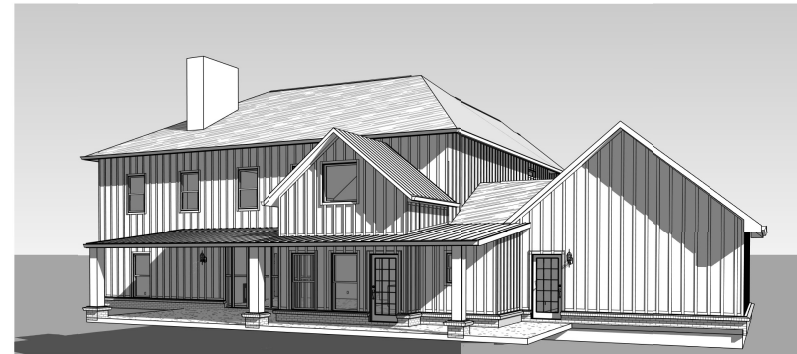
SHEET NUMBER:
A1.0

SCALE: SEE SHEET

COVER SHEET

RECEIVED

9/6/2023



Revision Number	Revision Description	Revision Schedule

AREAS:
 FIRST FLOOR HEATED = 2,357 SF
 SECOND FLOOR HEATED = 2,227 SF
 FRONT PORCH = 188 SF
 BACK PORCH = 660 SF
 GARAGE = 975 SF
 TOTAL HEATED = 4,584
 TOTAL REAR AND FRONT = 445 SF
 TOTAL GARAGE = 975

THE: **THE JACKELYN II**
 ADDRESS: **T.B.D.**

JOB# 2020-8-16
 2x4
 UNLESS OTHERWISE NOTED
 FOUNDATION TYPE: MONOSLAB
 DRAWN BY: Author
 CHECKED BY: Checker
 PRINT DATE: 10/11/2023 AM
 DESIGNED BY:

DIMENSIONS
 DESIGN, INC.
 DRAW • DESIGN • INSURE
 PROPERTY OF:
LBM
 Custom Homes, LLC.
 SHEET NUMBER:

OPT. PAPER SIZE:
 For 1/4" = 1'-0" on 24"x36" PAPER SIZE
 ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION DOCUMENTS

A3.4

3D BACK VIEW

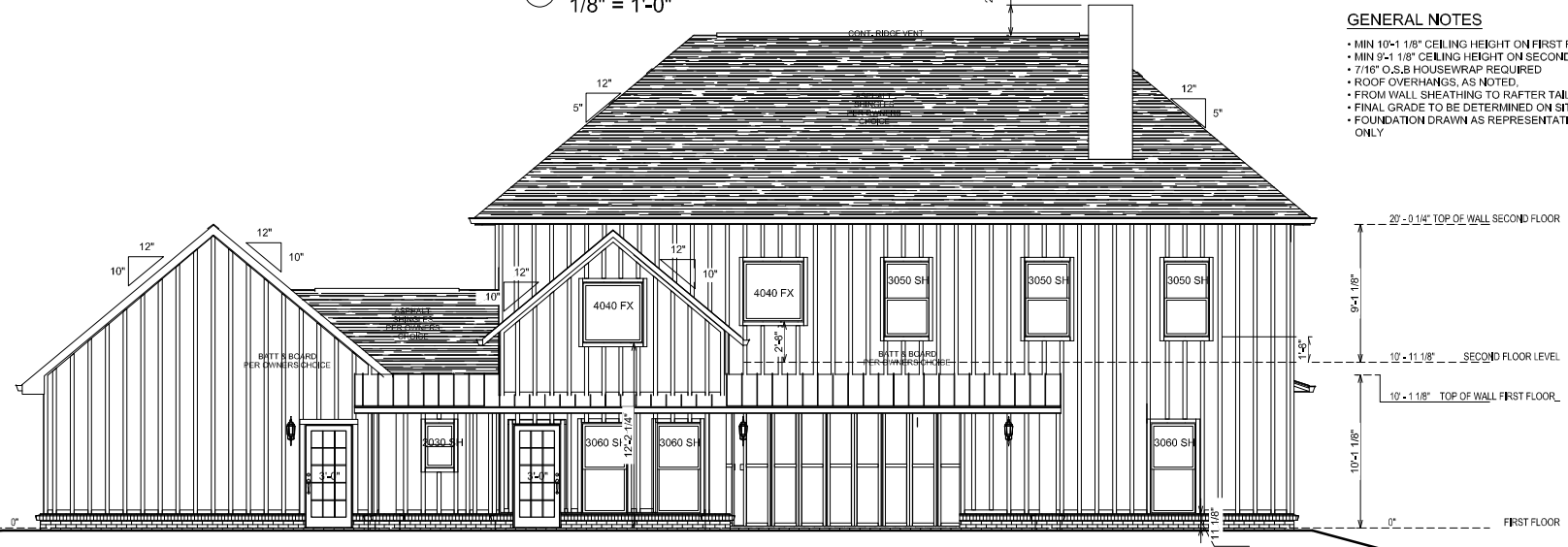
RECEIVED

9/6/2023



① FRONT ELEVATION
1/8" = 1'-0"

- GENERAL NOTES**
- MIN 10'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 - MIN 9'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
 - 7/16" O.S.B HOUSEWRAP REQUIRED
 - ROOF OVERHANGS, AS NOTED.
 - FROM WALL SHEATHING TO RAFTER TAILS
 - FINAL GRADE TO BE DETERMINED ON SITE.
 - FOUNDATION DRAWN AS REPRESENTATION ONLY



② REAR ELEVATION
1/8" = 1'-0"

OPT. PAPER SIZE:
For 1/4" = 1'-0" on 24"x36" PAPER SIZE
ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION DOCUMENTS

Revision Number	Revision Description	Revision Date

AREAS:
FIRST FLOOR HEATED = 2,357 SF
SECOND FLOOR HEATED = 2,227 SF
FRONT PORCH = 168 SF
BACK PORCH = 660 SF
GARAGE = 975 SF
TOTAL HEATED = 4,584 SF
REAR AND FRONT = 445 SF
TOTAL GARAGE = 975 SF

TITLE: THE JACKELYN II

ADDRESS:

JOB# 2020-8-16

DRAWN BY: Author

CHECKED BY: 2/4

UNLESS OTHERWISE NOTED

FOUNDATION TYPE: MONOSLAB

DESIGNED BY:

PRINT DATE: 12/14/2020

3:03:36 AM

PROPERTY OF:

SHEET NUMBER:

A2.1

PAPER SIZE: 11" x 17"

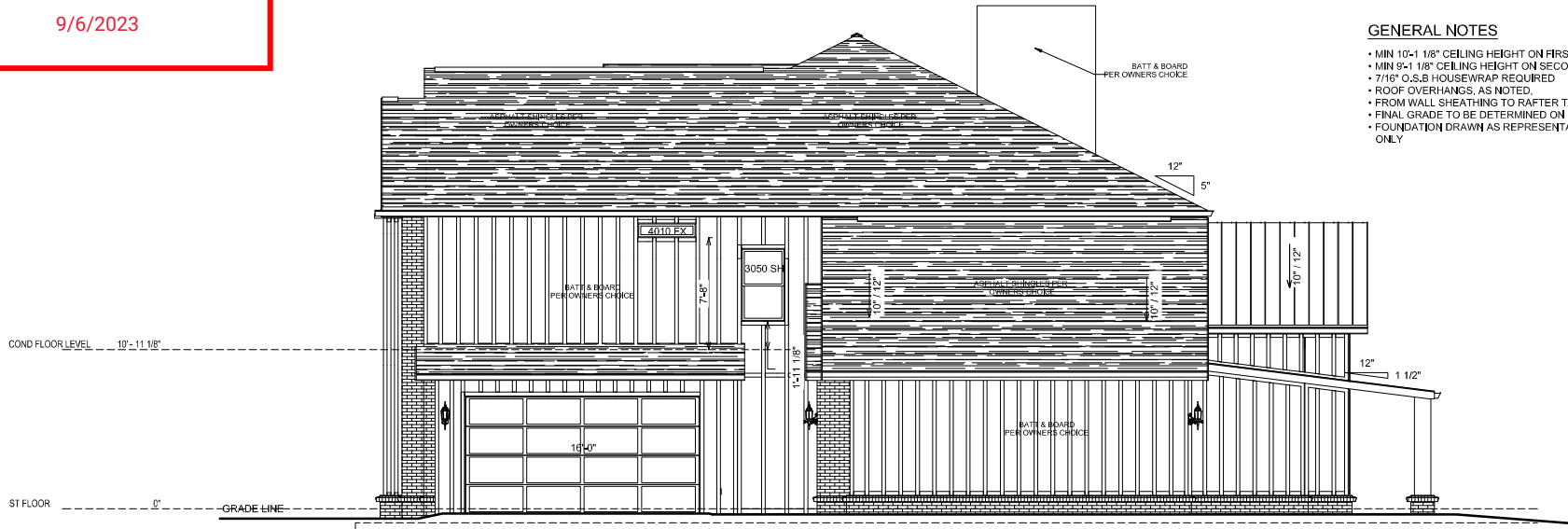
SCALE: SEE SHEET

FRONT AND REAR ELEVATION

T.B.D.

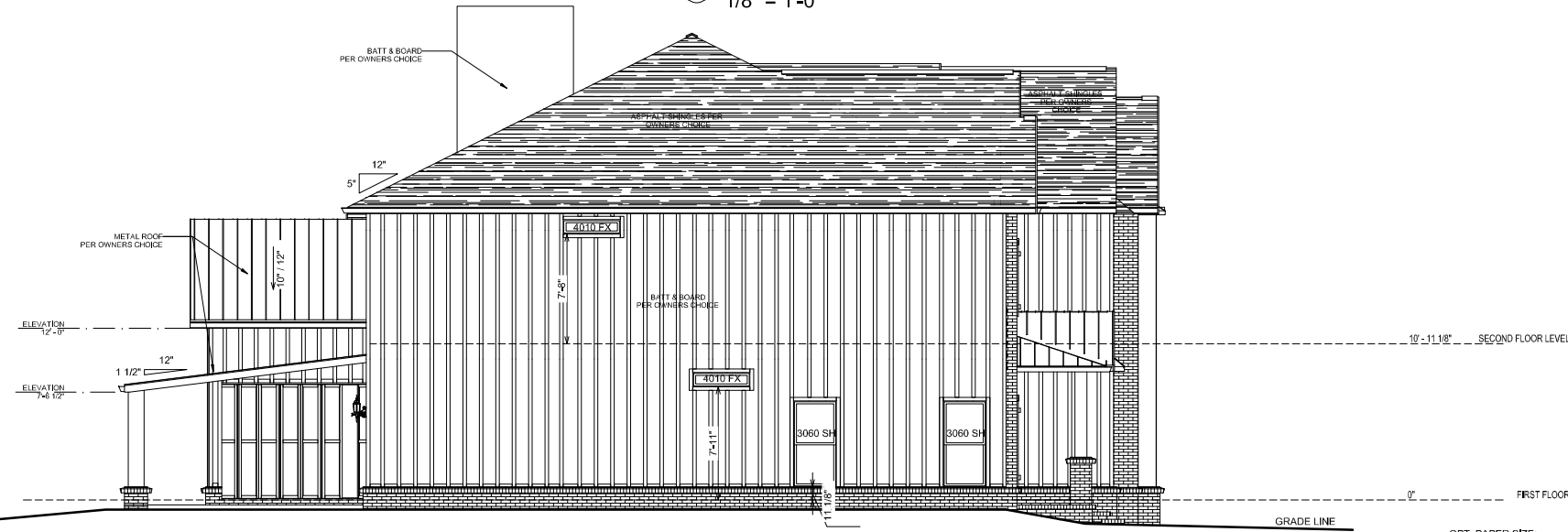
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9/6/2023



- GENERAL NOTES**
- MIN 10'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 - MIN 9'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
 - 7/16" O.S.B HOUSEWRAP REQUIRED
 - ROOF OVERHANGS, AS NOTED.
 - FROM WALL SHEATHING TO RAFTER TAILS
 - FINAL GRADE TO BE DETERMINED ON SITE;
 - FOUNDATION DRAWN AS REPRESENTATION ONLY

① LEFT ELEVATION
1/8" = 1'-0"



② RIGHT ELEVATION
1/8" = 1'-0"

OPT. PAPER SIZE:
For 1/4" = 1'-0" on 24"x36" PAPER SIZE
ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION DOCUMENTS

Revision Number	Revision Description	Revision Date

AREAS:
FIRST FLOOR HEATED = 2,357 SF
FRONT PORCH = 188 SF
BACK PORCH = 660 SF
GARAGE = 975 SF
TOTAL HEATED = 4,584 SF
REAR AND FRONT = 445 SF
TOTAL GARAGE = 975 SF

TITLE: THE JACKELYN II

T.B.D.

JOB# 2020-8-16

DRAWN BY: Author

DESIGNED BY:

CHECKED BY: 2x4
UNLESS OTHERWISE NOTED

FOUNDATION TYPE: MONOSLAB

PRINT DATE: 12/14/2020
9:03:42 AM

PROPERTY OF: DIMENSIONS DESIGN, INC.
LBM Custom Homes, L.L.C.

SHEET NUMBER: A2.2

RIGHT AND LEFT ELEVATION

PAPER SIZE: 11" x 17"

SCALE: SEE SHEET

Exhibit D: Letter of Intent and Applicant's Response to Standards

[attached]

RECEIVED

10/27/2023



Date: October 27, 2023
To: Gwinnett County Zoning Department
Subject: 4911 Spout Springs Road
Buford, GA
Gwinnett County

To Whom it May Concern,

We are providing this letter of intent to formally request the rezoning of the property located at 4911 Spout Springs Road in Buford, Georgia. The property is currently Zoned R-140. We are requesting to rezone this 4.17-acre tract to R-100. We have included a concept plan we have in mind for our proposed residential development.

This proposed plan is in conformity with the policy and intent of the Comprehensive Plan for this area of Gwinnett County and if granted, will allow for a permit that is suitable in view of the use and development of adjacent and nearby properties.

The proposed Zoning of R-100 allows for a reasonable economic use for this parcel and will not adversely affect the existing use of usability of adjacent and nearby properties.

The existing use and character of the surrounding area supports the redevelopment of the property as proposed under this request and, if granted, will have no adverse effects to existing historic buildings, sites, districts, or archeological resources.

If granted, the proposed zoning will not create or cause excessive or burdensome use of existing infrastructure, transportation facilities, or schools, and will have no adverse effects on the environment or surrounding natural resources.

We appreciate your consideration of our request.

Please contact me anytime with questions or thoughts you may have and thank you.

Sincerely,

Amanda Kathleen Woodruff, P.E.

3301 Stewart Lake Road, Monroe, GA 30655
Phone (404) 530-9218 / Fax (404) 530-9219

RECEIVED

8.22.2023

REZONING APPLICANT'S RESPONSE

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

The proposed use is in line with current zonings of adjacent properties and of those nearby.

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No adverse affects are anticipated from the proposed rezoning and will improve property values of adjacent/nearby properties.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The property is currently not at its full use for the surrounding area.

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

No excessive burden is anticipated from the proposed single family development for the area & its infrastructure.

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed rezoning is in conformity with the current policy & intent and is in line with future land planning

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

No existing conditions are known that would negatively impact this request.

Exhibit E: Application and Disclosure of Campaign Contributions

[attached]

RECEIVED

REZONING APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Alejandro Ramos</u>	NAME: <u>LBM Homes</u>
ADDRESS: <u>4181 Lantern Hill Drive</u>	ADDRESS: <u>4181 Lantern Hill Drive</u>
CITY: <u>Dacula</u>	CITY: <u>Dacula</u>
STATE: <u>GA</u> ZIP: <u>30019</u>	STATE: <u>GA</u> ZIP: <u>30019</u>
PHONE: <u>404-285-1124</u>	PHONE: <u>404-285-1124</u>
EMAIL: <u>Kathleen@woodruffda.com</u>	EMAIL: <u>alejandroramosmadruga@gmail.com</u>
CONTACT PERSON: <u>Kathleen Woodruff</u> PHONE: <u>404-285-1124</u>	
CONTACT'S E-MAIL: <u>Kathleen@woodruffda.com</u>	
APPLICANT IS THE:	
<input type="checkbox"/> OWNER'S AGENT <input checked="" type="checkbox"/> PROPERTY OWNER <input type="checkbox"/> CONTRACT PURCHASER	
PRESENT ZONING DISTRICTS(S): <u>R140</u> REQUESTED ZONING DISTRICT: <u>R-100</u>	
PARCEL NUMBER(S): <u>3007 037</u> ACREAGE: <u>4.17 AC</u>	
ADDRESS OF PROPERTY: <u>4911 SPOT SPRINGS ROAD</u>	
PROPOSED DEVELOPMENT: <u>Residential Subdivision</u>	

RESIDENTIAL DEVELOPMENT	NON-RESIDENTIAL DEVELOPMENT
No. of Lots/Dwelling Units: <u>7</u>	No. of Buildings/Lots: <u>NA</u>
Dwelling Unit Size (Sq. Ft.): <u>2,400sqft</u>	Total Building Sq. Ft.: <u>NA</u>
Gross Density: _____	Density: <u>NA</u>
Net Density: _____	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

RECEIVED

8.22.2023

REZONING APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Alejandro Ramos 7/31/23
Signature of Applicant Date

Alejandro Ramos 7/31/23
Type or Print Name and Title

Amanda Kathleen Woodruff 7/31/2023
Signature of Notary Public Date



RECEIVED

8.22.2023

REZONING PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



[Handwritten Signature]

9/31/23

Signature of Property Owner

Date

[Handwritten Name: JOSE RAMOS]

Type or Print Name and Title

[Handwritten Signature: Amanda Kathleen Woodruff]

9/31/23

Signature of Notary Public

Date



RECEIVED

9/6/2023

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

***Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: _____ - _____ - R3007037
(Map Reference Number) District Land Lot Parcel

Jose Ramos
Signature of Applicant

9/6/23
Date

Jose Ramos
Type or Print Name and Title

*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Dasha Fitzpatrick
NAME

TSA
TITLE

9/6/23
DATE

Exhibit F: Internal and External Agency Review Comments

[attached]



Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:		10.05.2023	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 1	
Reviewer Email Address:		Brent.Hodges@gwinnettcounty.com	
Case Number:		RZR2023-00021	
Case Address:		4911 Spout Springs Road, Buford, 30519	
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		YES	NO
1	Spout Springs Road is a major collector. ADT = 7,416.		
2	9.7 miles to the nearest transit facility (#2334754) Buford/SR 20 Park and Ride.		
3	The developer should try to align the single direct driveway access along Spout Springs Road with the existing Church driveway located at 4928 Spout Springs Road.		
4			
5			
6			
7			
Recommended Zoning Conditions:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		YES	NO
1	The developer shall construct a 5' concrete sidewalk, as well as curb and gutter, along the entire site frontage.		
2	The developer shall be limited to (1) direct driveway access to Spout Springs Road, to be shared by the homes on lots 1 – 4 on the site plan received 9/6/2023.		
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021

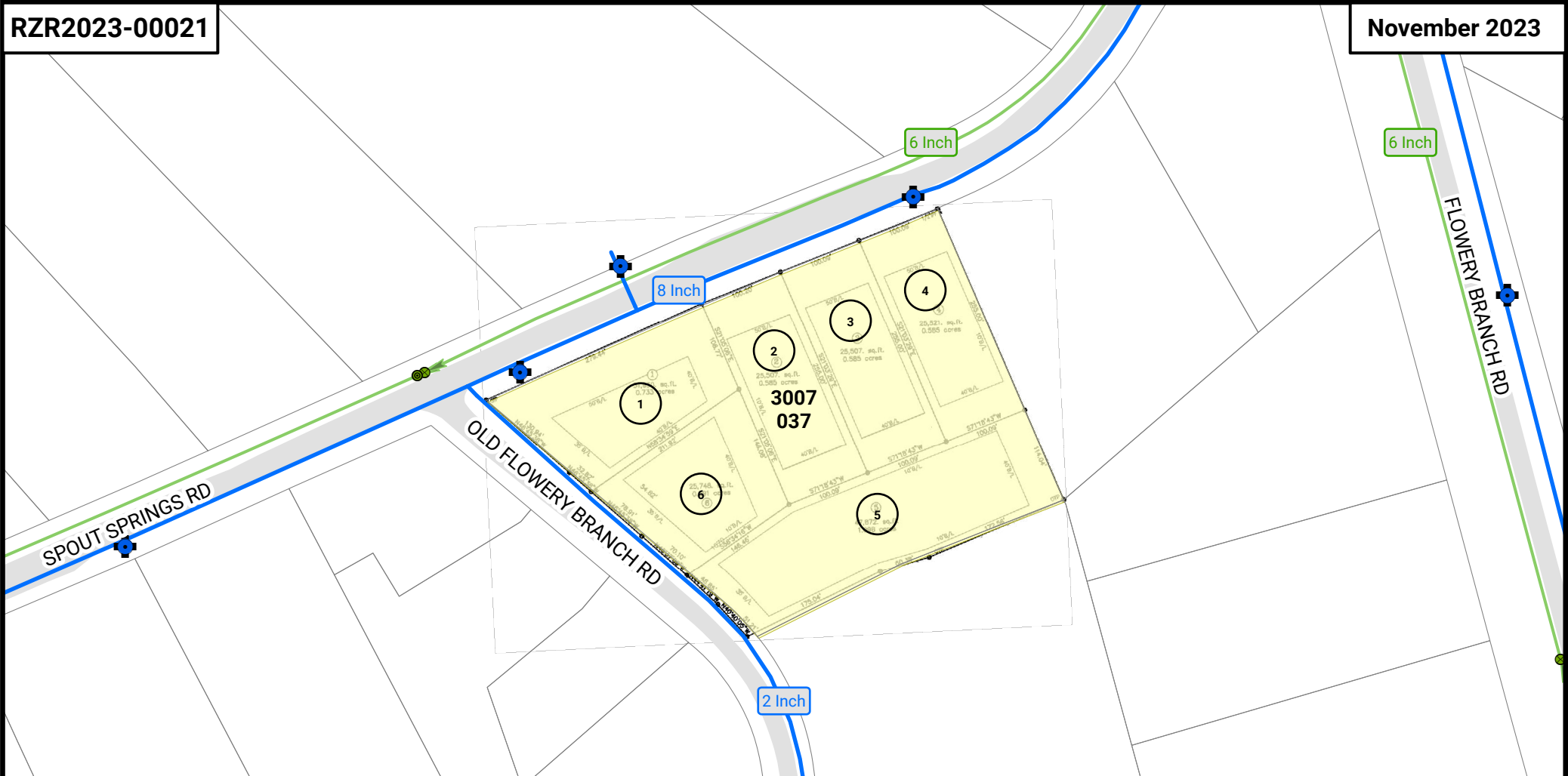


**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

TRC Meeting Date:				
Department/Agency Name:		DWR		
Reviewer Name:		Mike Pappas		
Reviewer Title:		GIS Planning Manager		
Reviewer Email Address:		Michael.pappas@gwinnettcountry.com		
Case Number:		RZR2023-00021		
Case Address:		4911 Spout Springs Rd		
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1	Water: The proposed development may connect proposed Lots 2, 3 and 4 to an existing 8-inch water main along the southern right-of-way of Spout Springs Road. The proposed development shall replace the existing 2-inch water main along the frontage of Old Flowery Brand Road with a new 8-inch water main to meet GCDWR standards for Lots 1, 5 and 6.			
2	Sewer: The proposed development plans to be on septic systems pending approval from the GNR Public Health.			
3				
4				
5				
6				
7				
Recommended Zoning Conditions:		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1				
2				
3				
4				
5				
6				
7				

Note: Attach additional pages, if needed

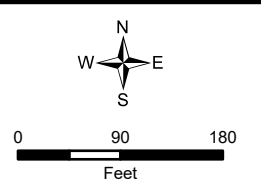
Revised 7/26/2021



LEGEND

- Water Main
- Hydrant
- Sewer Force Main

4911 Spout Springs Rd
 R-140 to R-100
Water & Sewer
Utility Map



Water Comments: The proposed development may connect proposed Lots 2, 3 and 4 to an existing 8-inch water main along the southern right-of-way of Spout Springs Road. The proposed development shall replace the existing 2-inch water main along the frontage of Old Flowery Brand Road with a new 8-inch water main to meet GCDWR standards for Lots 1, 5 and 6.

Sewer Comments: The proposed development plans to be on septic systems pending approval from the GNR Public Health.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County BOC, November, 2023

											Proposed Zoning
	School	2023-24			2024-25			2025-26			Approximate Student Projections from Proposed Developments
		Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	
RZR2023-00021	Mill Creek HS	2,685	2,800	-115	2,644	2,800	-156	2,697	2,800	-103	2
	Osborne MS	1,737	1,575	162	1,770	1,575	195	1,833	1,575	258	2
	Duncan Creek ES	1,468	1,300	168	1,500	1,300	200	1,556	1,300	256	3
RZR2023-00022	Seckinger HS	2,004	2,800	-796	2,226	2,800	-574	2,330	2,800	-470	1
	Jones MS	1,699	1,575	124	1,767	1,575	192	1,870	1,575	295	1
	Patrick ES	923	1,025	-102	960	1,025	-65	989	1,025	-36	1
RZR2023-00023	Dacula HS	2,550	2,550	0	2,641	2,550	91	2,755	2,550	205	2
	Dacula MS	1,892	1,900	-8	1,959	1,900	59	2,042	1,900	142	1
	Mulberry ES	745	975	-230	785	975	-190	854	975	-121	2

Exhibit G: Maps

[attached]

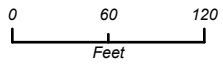


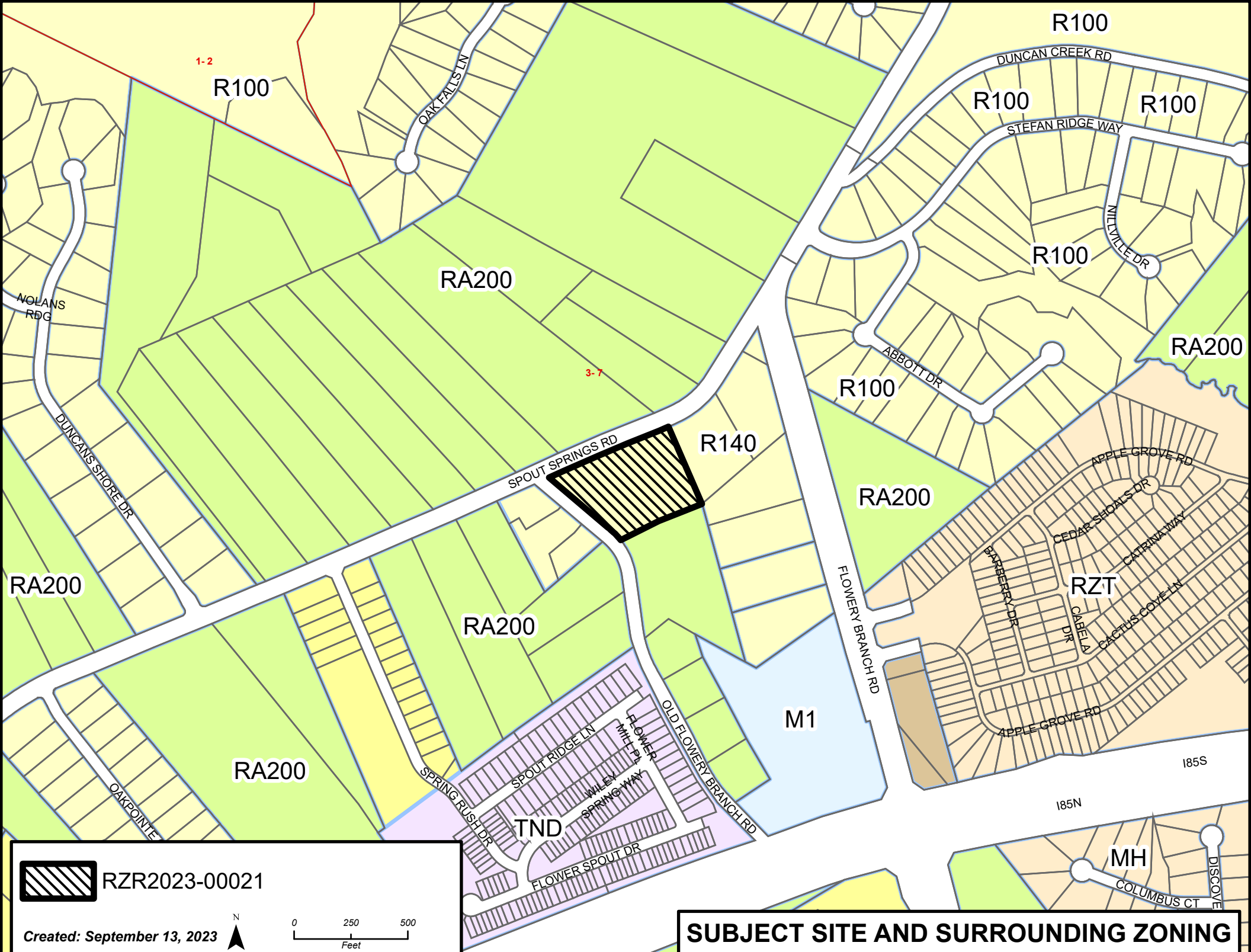
SPOUT SPRINGS RD

OLD FLOWERY BRANCH RD

 RZR2023-00021

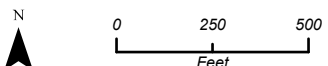
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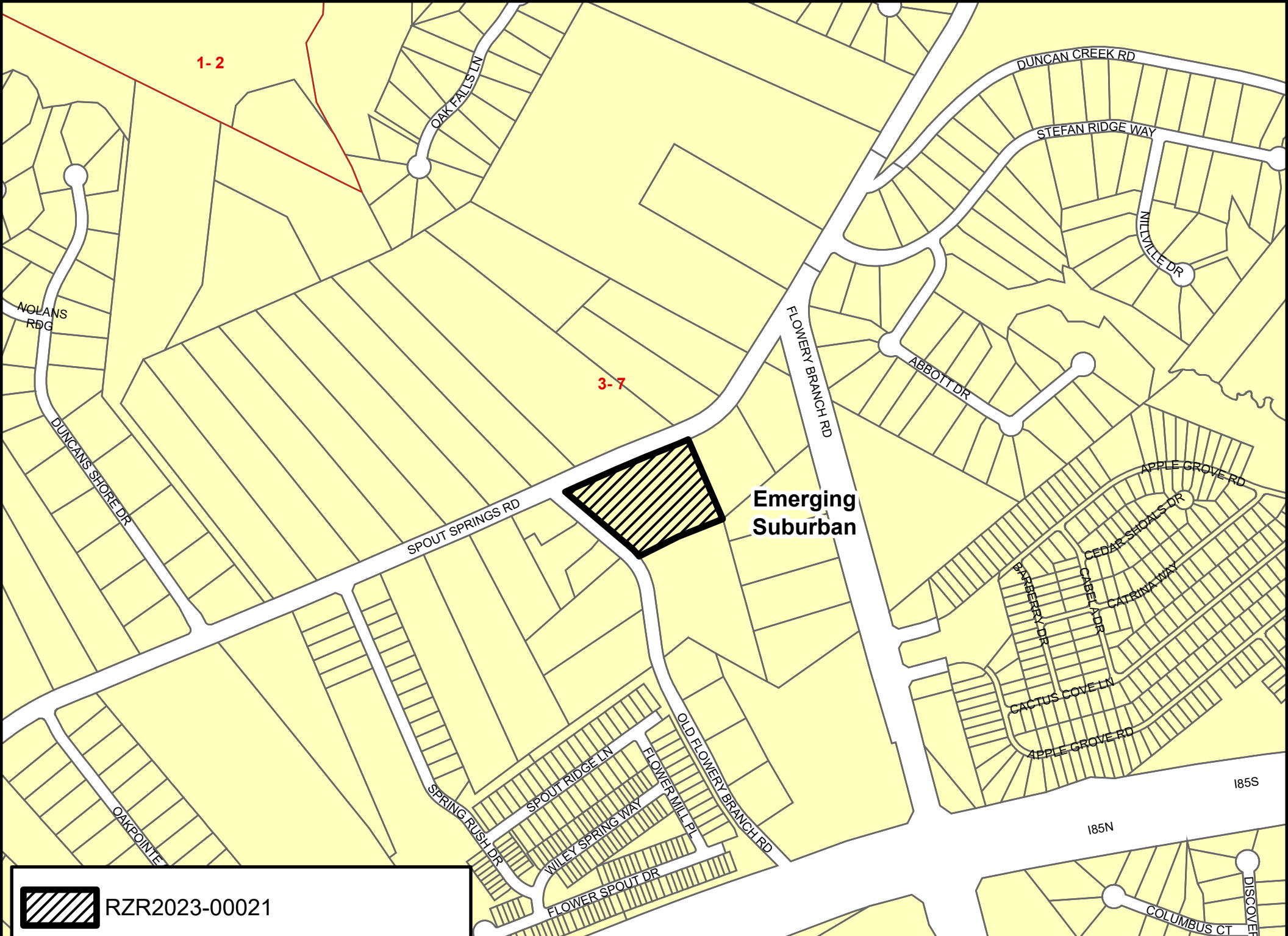


 RZR2023-00021

Created: September 13, 2023




SUBJECT SITE AND SURROUNDING ZONING



 RZR2023-00021

Created: September 13, 2023

 N



2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION