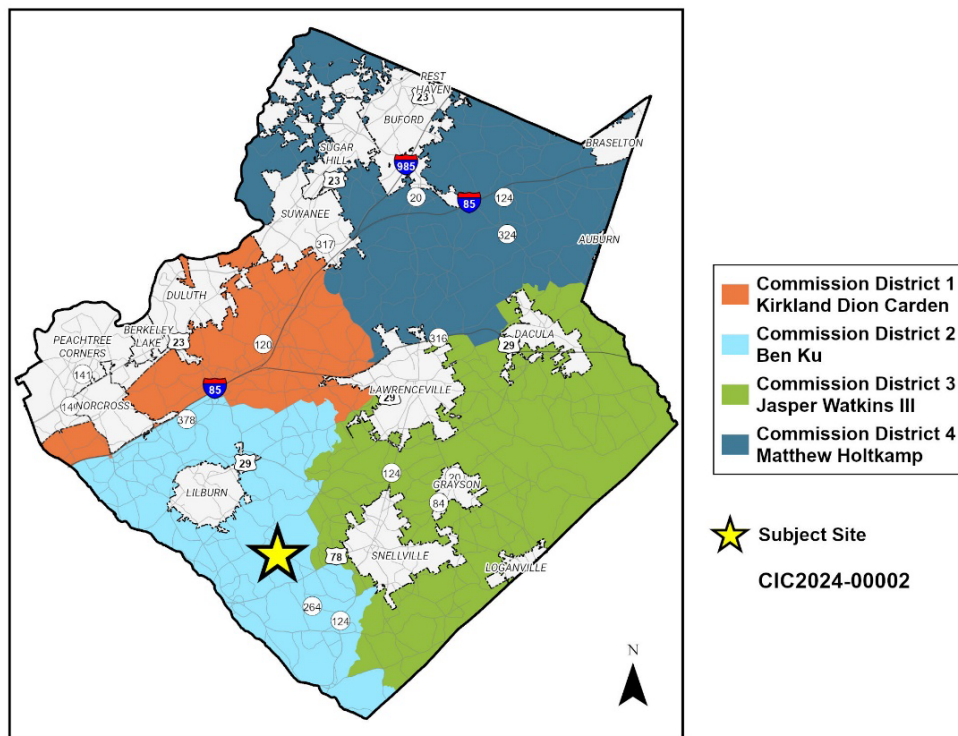


PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: CIC2024-00002
Current Zoning: OSC (Open Space Conservation District)
Request: Change in Conditions
Address: 1396, 1426, 1436, 1446, and the 1400 Block of Oleander Drive
Map Numbers: R6073 180, 268, R6082 034, 087, and 188
Site Area: 93.1 Acres
Units: 186
Proposed Development: Single-Family Detached Subdivision
Commission District: District 2 – Commissioner Ku
Character Area: Established Neighborhoods

Staff Recommendation: **APPROVAL WITH CONDITIONS**

Planning Commission Recommendation: **APPROVAL WITH CONDITIONS**



Applicant: Pulte Home Company LLC
Jim Warren
2495 Northwinds Parkway, Ste 600
Alpharetta, GA 30009

Owners: Keith Connelly
Margaret Connely
Steve Johnson
Robert McClure

Contact: Jim Warren

Contact Phone: 404.401.7656

Zoning History

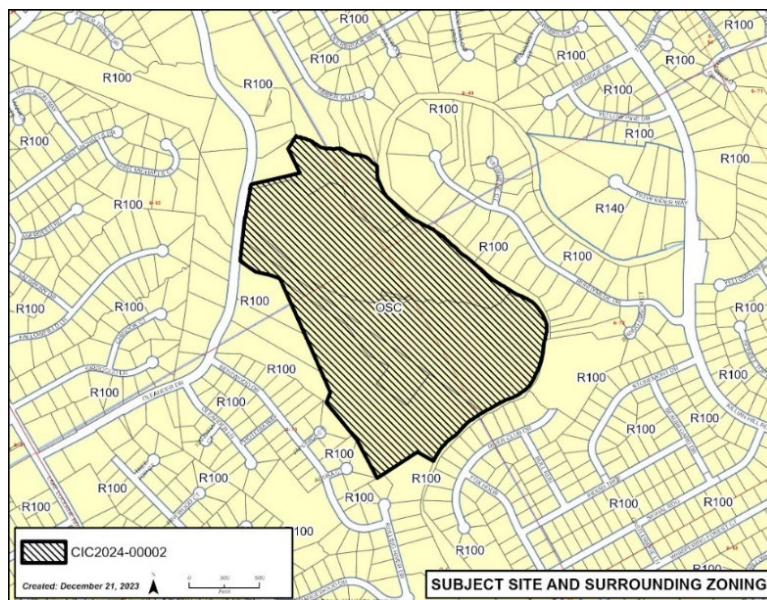
The subject property is zoned OSC (Open Space Conservation District). In 2006, the property was denied a special use permit to allow for a CSO overlay (Conservation Subdivision Overlay District), pursuant to SUP2006-00043. The property was rezoned from R-100 (Single-Family Residence District) to OSC in 2015, pursuant to RZR2015-00021.

Existing Site Condition

The subject property is a 93.1-acre assemblage of five parcels located along Oleander Drive. The site is primarily undeveloped with several single-family residences and accessory structures. A majority of the site is heavily wooded. The Yellow River and floodplain spans the length of the eastern property line. There is also a tributary stream and associated buffers that traverses the middle of the site from north to south. There are significant changes in topography on the site as it slopes downwards towards the stream and river by approximately 90 feet. There are no sidewalks along Oleander Drive. The nearest Gwinnett County Transit stop is approximately 0.55 miles from the subject property.

Surrounding Use and Zoning

The subject property is surrounded by low-density single-family detached residences on large lots and within subdivisions. To the southwest is the Oleander Trails subdivision. To the south is the Bent River subdivision. To the southeast across the Yellow River is the Stonemont subdivision, and to the northwest across the Yellow River is the Hidden River subdivision. To the north is the Timber Glen Forest subdivision. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Single-Family Residential	OSC	2.00 units per acre
North	Single-Family Residential	R-100	1.07 units per acre
East	Single-Family Residential	R-100	0.69 units per acre
South	Single-Family Residential	R-100	1.61 units per acre
West	Single-Family Residential	R-100	0.31 units per acre

Project Summary

The applicant requests a change in conditions for a 93.1-acre property zoned OSC for a single-family residential subdivision, including:

- 186 detached single-family residences with a minimum heated floor area of 2,200 square feet for one story homes and 2,800 square feet for two story homes, yielding a density of 2.00 units per acre.
- Front loaded residences with double-car garages.
- Architectural elevations of primarily brick and stacked stone on the front façade with the balance of the home as fiber cement siding or shake.
- 34.5 acres of total conservation space including 23.6 acres of primary conservation space.
- Two acres of open space located on the north and south of the site.
- An 8-foot-wide public greenway trail system within a portion of the conservation area.
- An amenity area including tennis or pickleball courts, a swimming pool, and cabana.
- A single entrance from Oleander Drive.
- A deceleration lane and left-hand turn lane on Oleander Drive into the subject property.
- Four storm water management facilities located around the perimeter of the site.
- Changes to conditions of zoning case, RZR2015-00021. The applicant is requesting the following changes to the approved conditions:
 - Condition 1A: *“Single-family residential and accessory uses and structures, not to exceed 195 lots. The permitted plans shall be in substantial conformity with the rezoning site plan dated June 1, 2015, last revised October 3, 2015, and presented at the October 6, 2015, Planning Commission Meeting. The rezoning site plan is conceptual only and shall comply with all requirements of the Unified Development Ordinance. The Director of Planning and Development can approve minor changes to the plan”* The applicant is requesting to amend the condition to reference the site plan submitted with this application and dated received October 26, 2023.
 - Condition 1B: *“The minimum heated floor area per dwelling shall be 2,400 square feet for one-story homes and 3,000 square feet for two-story homes”.* The applicant is requesting to amend this condition to reduce the minimum heated floor area to 2,200 square feet for one story homes and 2,800 square feet for two story homes.
 - Condition 1C: *“Front facades shall be constructed primarily of brick or stacked stone on three sides. The balance (rear) shall be the same or fiber-cement siding or shake with a minimum 3-foot masonry water table”* The applicant is requesting to amend this condition to require only the front façade to be primarily brick or stacked stone.
 - Condition 1F.1: *“The subdivision developer shall construct... two (2) full size tennis courts that are lighted”* The applicant is requesting to amend this condition to allow for pickleball as an option alongside tennis courts.
- The applicant requests the following conditions eliminated entirely:
 - Condition 1G.1: *“Install an underground cistern (minimum 300 gallons) on each residential*

- lot. All roof drains shall be piped underground into the proposed cistern, and all water collected within the proposed cistern can be utilized by the residents for irrigation purposes on individual lots. The cisterns shall be equipped with pop-up emitters that will allow overflow water into an actual cistern to be dispersed in the residential lot. Each cistern shall be maintained by the individual lot owner for the life of the property”*
- *Condition 1G.2: “The proposed Storm Water Management System shall provide water quality, channel protection and detention volumes of storm events through the 10-year storm in a retention facility or facilities. The storm water retention pond(s) will be used primarily for re-use irrigation water throughout the residential development in both common areas and on private residential lots. The proposed storm water re-use system shall be located on HOA common area land and shall be maintained by the HOA for the life of the property.”*
 - *Condition 1G.3: “Provide detention volumes for the 25 year through 100 year storm volumes at 125% of the current Gwinnett County requirements while discharging these same storm events at 90% of the pre-developed flow rates, if approved by the Director of Planning and Development.”*

Zoning and Development Standards

The applicant is requesting a Change in Conditions for a single-family detached subdivision on a property zoned OSC (Open Space Conservation District). The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	<35'	YES
Lot Size	Minimum 7,500 Square Feet	7,500 Square Feet	YES
Lot Width	Minimum 60'	60'	YES
Front Yard Setback	Minimum 25'	25'	YES
Side Yard Setback	Minimum 7.5'	7.5'	YES
Rear Yard Setback	Minimum 30'	30'	YES
Conservation Strip	50'	50'	YES
Conservation Space	Minimum 25% or 23.2 Acres	37% or 34.5 Acres	YES
Primary Conservation Space	Minimum 15% or 3.5 Acres	68.3% or 23.6 Acres	YES
Density	Maximum 2.5 units per acre	2.00 units per acre	YES

Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit G). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Change in Conditions Request Analysis: According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification, or change in conditions, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes

the following findings based on the standards from the UDO:

A. Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The proposed change in conditions includes the removal of a burdensome stormwater condition which requires each property owner to maintain a cistern on their lot as well as other stormwater-related conditions. Additionally, the applicant requests amendments to the architectural elevations, minimum heated floor area, and amenity area as was required in the original approval. These proposed changes do not significantly affect the scope of the project that was approved in 2015 for a single-family detached subdivision, and therefore are suitable in view of the use and development of adjacent and nearby property.

B. Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property.

The subject properties were rezoned to OSC in 2015, pursuant to RZR2015-00021. The proposed changes primarily concern the removal of stormwater-related conditions. The updated site plan for this development of a single-family detached subdivision shows nine fewer lots than the original approval. Therefore, the proposed change in conditions would not adversely affect the existing use or usability of adjacent or nearby property.

C. Whether the property to be affected by a proposed change in conditions has a reasonable economic use as currently zoned.

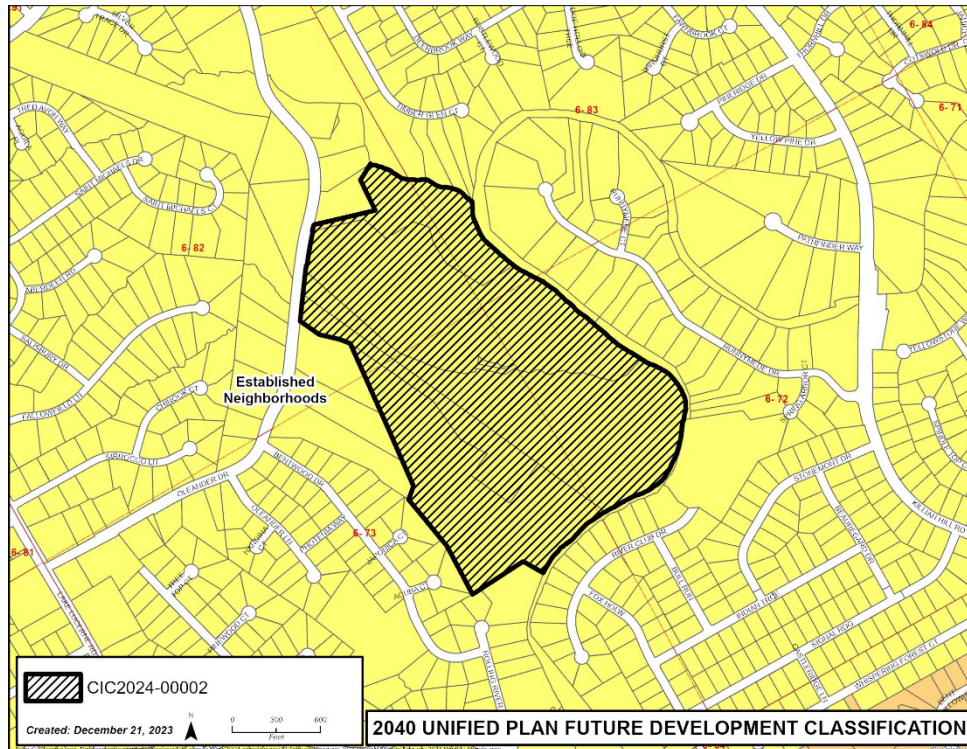
The property has a reasonable economic use as currently zoned.

D. Whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

An increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. An increased impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this change in conditions request are attached (Exhibit G).

E. Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map; and

The previously approved OSC-zoned property is located within the Established Neighborhoods Character Area. This character area designates well established neighborhoods and single-family residential areas that are unlikely to undergo any significant changes or redevelopment in the next 20 years. The OSC zoning district remains suitable in this character area and in the context of the surrounding zoning. The proposed change in conditions only relates to conformance to a site plan, stormwater, elevations, heated floor area, and amenities. The overall scope of the development remains a single-family detached subdivision.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions.

Current stormwater regulations in the Unified Development Ordinance and the Gwinnett County Stormwater Management Manual effectively address stormwater management throughout the County. This makes the conditions in G. 1-3 of the previously approved rezoning unnecessary. The other changes proposed include architectural amendments, minimum heated floor area reductions, as well as the option for pickleball courts in the amenity area. These changes will still result in buildings and a site that exceeds minimum UDO requirements. Approval of the requested amendments would not negatively impact the surrounding area and will allow the development of the previously approved single-family detached subdivision as OSC.

Staff Recommendation

Based on the staff’s evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

Planning Commission Recommendation

Based on staff’s evaluation of the request, information presented at the public hearing, and the Planning Commission’s consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)

NOTE: The conditions below are those from RZR2015-00021 with suggested change in bold or strikethrough.

Approval of a change in conditions for a single-family subdivision, subject to the following conditions.

1. To restrict the use of the property as follows:

- A. Single-family residential and accessory uses and structures, not to exceed ~~195~~ **186** lots. ~~The permitted plans shall be in substantial conformity with the Rezoning Site Plan-I dated June 1, 2015, last revised on October 3, 2015, and presented at the October 6, 2015, Planning Commission Meeting. The Rezoning Site Plan is conceptual only and shall comply with all requirements of the Unified Development Ordinance. The Director of Planning and Development can approve minor changes to the plan. The proposed development shall be constructed in general conformance with Exhibit B: Site Plan and Exhibit C: Building Elevations dated received October 26, 2023, by the Department of Planning and Development, with revisions required by conditions and the Unified Development Ordinance, subject to the review and approval of the Department of Planning and Development.~~
- B. The minimum heated floor area per dwelling shall be ~~2,400~~ **2,200** ~~2,400~~ square feet for one-story homes and ~~3,000~~ **2,800** ~~3,000~~ square feet for two-story homes.
- C. Homes shall be constructed primarily of brick or stacked stone on ~~three sides~~ **the front façade three sides**. The balance (~~rear~~) shall be the same or fiber-cement siding or shake with a minimum 3-foot masonry water table.
- D. All dwellings shall have at least a double-car garage.

2. To satisfy the following site development considerations:

- A. Natural vegetation shall remain in the property until the issuance of a development permit. Prior to issuance of a Development Permit, the submittal of Concept Plans, Flood Studies (which include no-rise certification for the floodplain for run-off coming from the site), site development plans for utilities, roads, erosion control ~~and cisterns~~, and water- and sewer plans must be approved by the Department of Water Resources.
- B. No direct lot access shall be allowed to Oleander Drive.
- C. Provide and maintain a 50-foot street frontage buffer along Oleander Drive. The Oleander Drive frontage shall be landscaped by the developer and maintained by the Homeowner's Association (HOA), and shall include a landscaped entrance feature, and a decorative fence and landscaping along the entire frontage. Landscaping, fencing and monument signage plans shall be subject to review and approval of the Director of

Planning and Development.

- D. All grassed areas on dwelling lots shall be sodded.
- E. Underground utilities shall be provided throughout the development.
- F. The subdivision developer shall construct a swim/tennis amenity area with the following minimum amenity items prior to the issuance of the building permit for the 100th house;
 - 1. Two (2) full size tennis **or pickleball** courts that are lighted.
 - 2. One (1) Junior Olympic swimming pool with a minimum of six (6) lanes, a restroom/cabana building and an appropriate amount of concrete deck space for hosting a Gwinnett County Swim League event.
 - 3. One (1) non-motorized canoe/kayak/raft launch for recreational access into Garner Creek and the Yellow River provided this amenity option is approved at both the County and State levels with respect to stream buffer encroachments. All stream buffer encroachments for the proposed canoe/kayak/raft launch shall be constructed with pervious materials to reduce impacts on the stream buffer area. The proposed canoe/kayak/raft launch shall be a public easement and shall be recorded on the final plat stating as such. Additionally, there shall be a sign posted at the entrance of the canoe/kayak/raft launch stating that it is a public non-motorized boat ramp and provide evidence of this in the covenants recorded for the subdivision.

~~G. The proposed residential development will provide a Storm Water Management System for the overall residential development as follows.~~

- ~~1. Install an underground cistern (minimum 300 gallons) on each residential lot. All roof drains shall be piped underground into the proposed cistern, and all water collected within the proposed cistern can be utilized by the residents for irrigation purposes on individual lots. The cisterns shall be equipped with pop-up emitters that will allow overflow water into an actual cistern to be dispersed in the residential lot. Each cistern shall be maintained by the individual lot owner for the life of the property.~~
- ~~2. The proposed Storm Water Management System shall provide water quality, channel protection and detention volumes of storm events through the 10-year storm in a retention facility or facilities. The storm water retention pond(s) will be used primarily for re-use irrigation water throughout the residential development in both common areas and on private residential lots. The proposed storm water re-use system shall be located on HOA common area land and shall be maintained by the HOA for the life of the property.~~
- ~~3. Provide detention volumes for the 25-year through 100-year storm volumes at 125% of the current Gwinnett County requirements while discharging these same storm events at 90% of the pre-developed flow rates, if approved by the Director of Planning and Development.~~

- ~~H. Within the OSC residential development, there shall not be any sanitary sewer utilities designed or constructed within the State of Georgia and Gwinnett County Stream Buffers.~~
- I. The proposed residential development shall construct a Gwinnett County Standard Deceleration Lane for right-hand turn movements, and a Left-Hand Turn Lane for left-hand turn movements from Oleander Drive into the subject property. Both the deceleration lane and left-hand turn lane are subject to the review and approval of the Gwinnett County Department of Transportation.
- J. Within the Conservation Areas, the developer shall construct a minimum eight (8) foot wide, natural-surfaced public greenway (graded onto the existing topography and covered with tree chip/mulch or other similar natural resource) trail system that extends from the non-motorized boat ramp in the amenity area to a point near the existing power line easement area located in the eastern corner of the subject property nearest Gwinnett County Tax Parcel R6073 146 in the Bent River residential community, and shall be aligned so as to minimize impacts to the stream buffer and floodplain areas. The trail shall be within a minimum twenty (20) foot wide public access easement that is recorded on the Final Plat as a public, nonmotorized trail. The HOA shall maintain this natural-surfaced public greenway trail within the subject property until the maintenance rights are obtained by Gwinnett County.
- K. Where applicable, provide sanitary sewer easements for surrounding and upstream properties.
- L. Building lots shall not be located within any required stream buffers and accompanying impervious surface setback areas.**
- M. Stormwater BMP facilities shall be screened from view of adjoining properties and rights of way by landscaping and/or decorative fencing that is in compliance with the Gwinnett County Stormwater Management Manual, subject to review and approval by the Department of Planning and Development.**
- N. All stormwater management must be managed at a minimum by the Gwinnett County Unified Development Ordinance, Stormwater Management Plan, or any superseding ordinance as approved by the Board of Commissioners.**

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Previously Approved Resolution (RZR2015-00021)
- E. Letter of Intent and Applicant's Response to Standards
- F. Application and Disclosure of Campaign Contributions
- G. Internal and External Agency Review Comments
- H. Maps
- I. Documents presented at the March 5, 2024 Planning Commission Public Hearing

Exhibit A: Site Visit Photos



View of Oleander drive facing north



View of Oleander drive facing south



View of property frontage, facing east



Another view of property frontage, facing east

Exhibit B: Site Plan

[attached]

Exhibit C: Building Elevations

[attached]

RECEIVED

11/30/2023



Elevation 57



Elevation 58



Elevation 59



Elevation 60



NPC #49045

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CONTINENTAL

MATERIAL LIMITS EXHIBIT - CHANGE IN CONDITION (CIC2024-00002)

November 29, 2023

RECEIVED

11/30/2023



Elevation 57



Elevation 58



Elevation 59



Elevation 60



NPC #49044

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RIVERTON

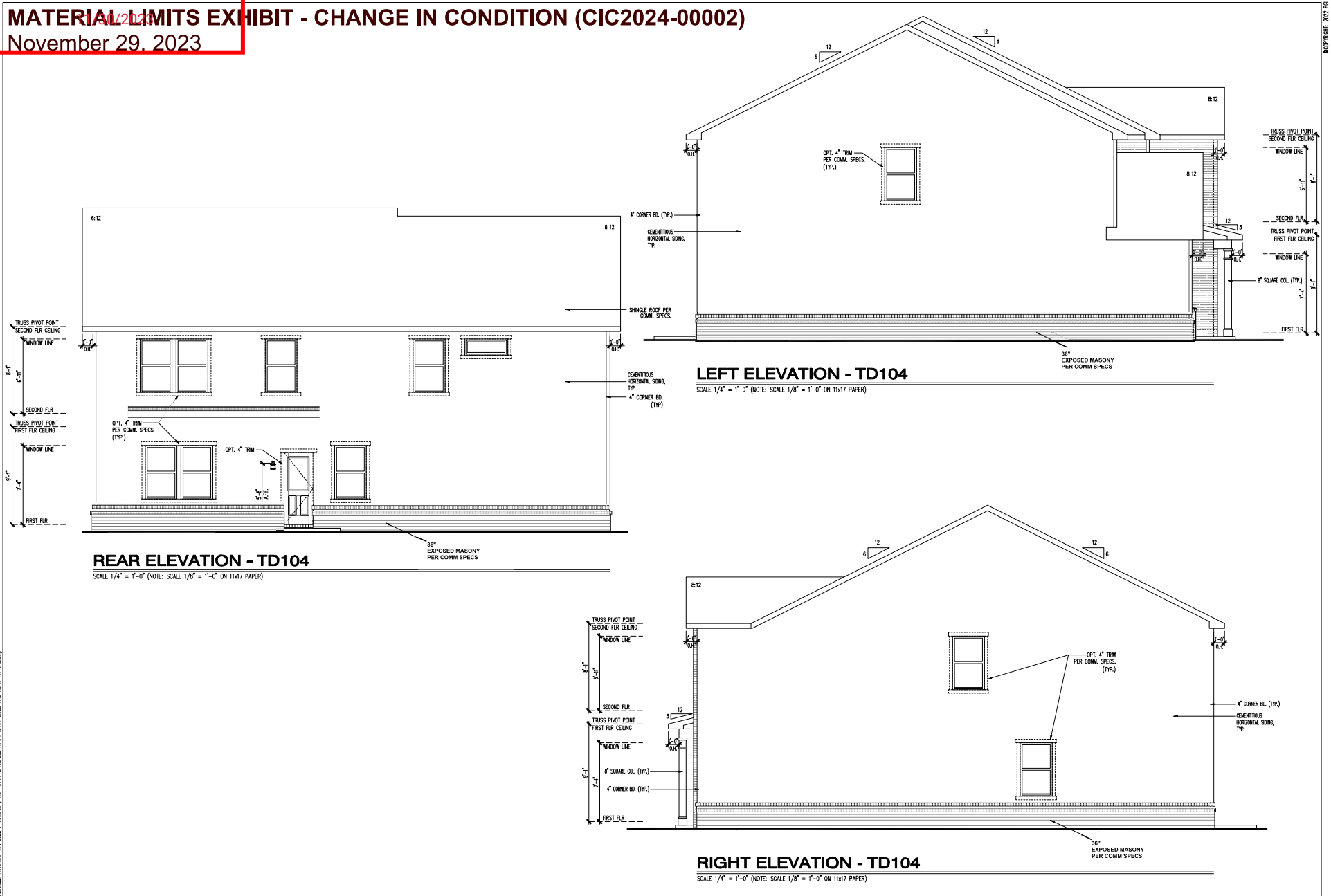
MATERIAL LIMITS EXHIBIT - CHANGE IN CONDITION (CIC2024-00002)

November 29, 2023

RECEIVED

MATERIAL LIMITS EXHIBIT - CHANGE IN CONDITION (CIC2024-00002)

November 29, 2023



Southwest Zone
2475 Northwinds Pkwy, Suite 600
Alpharetta, GA. 30009 (770) 381-3450



The FRAZIER
ELEVATION TD104 SIDES AND REAR TYPICAL

REV#	DATE	DESCRIPTION

PROJECT TYPE
Single Family

SPECIFICATION LEVEL

PLAN NAME
FRAZIER
NPC NUMBER
2891-200

SHEET
A3-TD104-2F-02

PLOTED November 17, 2023 / del.dwg / A3-TD104-2F-02 ELEVATION TD104 SIDES AND REAR TYPICAL.dwg

Exhibit D: RZR2015-00021 Resolution

[attached]

BOARD OF COMMISSIONERS
GWINNETT COUNTY
LAWRENCEVILLE, GEORGIA
RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

<u>Present</u>	<u>VOTE</u>
Charlotte J. Nash, Chairman	<u>YES</u>
Jace Brooks, District 1	<u>YES</u>
Lynette Howard, District 2	<u>YES</u>
Tommy Hunter, District 3	<u>YES</u>
John Heard, District 4	<u>YES</u>

On motion of COMM. HOWARD, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from R-100 to OSC by INLAND, LLC for the proposed use of an OPEN SPACE CONSERVATION SUBDIVISION (REDUCTION IN BUFFERS) on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on OCTOBER 27, 2015 and objections were filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners on this, the 27th day of OCTOBER 2015, that the aforesaid application to amend the Official Zoning Map from R-100 to OSC is hereby **APPROVED** with the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Single-family residential and accessory uses and structures, not to exceed 195 lots. The permitted plans shall be in substantial conformity with the Rezoning Site Plan-I dated June 1, 2015, last revised on October 3, 2015, and presented at the October 6, 2015 Planning Commission Meeting. The Rezoning Site Plan is conceptual only and shall comply with all requirements of the Unified Development Ordinance. The Director of Planning and Development can approve minor changes to the plan.
 - B. The minimum heated floor area per dwelling shall be 2,400 square feet for one-story homes and 3,000 square feet for two-story homes.
 - C. Homes shall be constructed primarily of brick or stacked stone on three sides. The balance (rear) shall be the same or fiber-cement siding or shake with a minimum 3-foot masonry water table.
 - D. All dwellings shall have at least a double-car garage.
2. To satisfy the following site development considerations:
 - A. Natural vegetation shall remain on the property until the issuance of a development permit. Prior to issuance of a Development Permit, the submittal of Concept Plans, Flood Studies (which include no-rise certification for the floodplain for run-off coming from the site), site development plans for utilities, roads, erosion control and cisterns, and water and sewer plans must be approved by the Department of Water Resources.
 - B. No direct lot access shall be allowed to Oleander Drive.
 - C. Provide and maintain a 50-foot street frontage buffer along Oleander Drive. The Oleander Drive frontage shall be landscaped by the developer and maintained by the Homeowner's Association (HOA), and shall include a landscaped entrance feature, and a decorative fence and landscaping along the entire frontage. Landscaping, fencing and monument signage plans shall be subject to review and approval of the Director of Planning and Development.

- D. All grassed areas on dwelling lots shall be sodded.
- E. Underground utilities shall be provided throughout the development.
- F. The subdivision developer shall construct a swim/tennis amenity area with the following minimum amenity items prior to the issuance of the building permit for the 100th house;
 - 1. Two (2) full size tennis courts that are lighted.
 - 2. One (1) Junior Olympic swimming pool with a minimum of six (6) lanes, a restroom/cabana building and an appropriate amount of concrete deck space for hosting a Gwinnett County Swim League event.
 - 3. One (1) non-motorized canoe/kayak/raft launch for recreational access into Garner Creek and the Yellow River provided this amenity option is approved at both the County and State levels with respect to stream buffer encroachments. All stream buffer encroachments for the proposed canoe/kayak/raft launch shall be constructed with pervious materials to reduce impacts on the stream buffer area. The proposed canoe/kayak/raft launch shall be a public easement and shall be recorded on the final plat stating as such. Additionally, there shall be a sign posted at the entrance of the canoe/kayak/raft launch stating that it is a public non-motorized boat ramp and provide evidence of this in the covenants recorded for the subdivision.
- G. The proposed residential development will provide a Storm Water Management System for the overall residential development as follows:
 - 1. Install an underground cistern (minimum 300 gallons) on each residential lot. All roof drains shall be piped underground into the proposed cistern, and all water collected within the proposed cistern can be utilized by the residents for irrigation purposes on individual lots. The cisterns shall be equipped with pop-up emitters that will allow overflow water into an actual cistern to be dispersed in the residential lot. Each cistern shall be maintained by the individual lot owner for the life of the property.
 - 2. The proposed Storm Water Management System shall provide water quality, channel protection and detention volumes of storm events through the 10-year storm in a retention facility or facilities. The storm water retention pond(s) will be used primarily for re-use irrigation water throughout the residential development in both common areas and on private residential lots. The proposed storm water re-use system shall be located on HOA common area land and shall be maintained by the HOA for the life of the property.
 - 3. Provide detention volumes for the 25-year through 100-year storm volumes at 125% of the current Gwinnett County requirements while discharging these same storm events at 90% of the pre-developed flow rates, if approved by the Director of Planning and Development.

- H. Within the OSC residential development, there shall not be any sanitary sewer utilities designed or constructed within the State of Georgia and Gwinnett County Stream Buffers.
- I. The proposed residential development shall construct a Gwinnett County Standard Deceleration Lane for right-hand turn movements, and a Left Hand Turn Lane for left-hand turn movements from Oleander Drive into the subject property. Both the deceleration lane and left-hand turn lane are subject to the review and approval of the Gwinnett County Department of Transportation.
- J. Within the Conservation Areas, the developer shall construct a minimum eight (8) foot wide, natural-surfaced public greenway (graded onto the existing topography and covered with tree chip/mulch or other similar natural resource) trail system that extends from the non-motorized boat ramp in the amenity area to a point near the existing power line easement area located in the eastern corner of the subject property nearest Gwinnett County Tax Parcel R6073 146 in the Bent River residential community, and shall be aligned so as to minimize impacts to the stream buffer and floodplain areas. The trail shall be within a minimum twenty (20) foot wide public access easement that is recorded on the Final Plat as a public, non-motorized trail. The HOA shall maintain this natural-surfaced public greenway trail within the subject property until the maintenance rights are obtained by Gwinnett County.
- K. Where applicable, provide sanitary sewer easements for surrounding and upstream properties.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Charlotte J. Nash
Charlotte J. Nash, Chairman

Date Signed: 10/30/15

ATTEST:

Diane Kemp
County Clerk/Deputy County Clerk

Exhibit E: Letter of Intent and Applicant's Response to Standards

[attached]



October 26, 2023

VIA DIRECT EMAIL

CHANGE IN CONDITION (CIC)

LETTER OF INTENT

To: p&d-planningzoning@gwinnettcountry.com

To: Daniel Robinson, AICP | Planning Division Deputy Director | Planning & Development
678-518-6082 | Daniel.Robinson@gwinnettcountry.com

cc: Gwinnett County Commissioner Ben Ku, District 2
Ben.Ku@GwinnettCounty.com cell: 470-809-6662 | work: 770-822-7002

From: Jim Warren | Maxwell-Reddick & Asso. | Land Planning | Engineering | Surveying
404-401-7656 | jwarren@maxred.com

Re: **CHANGE IN CONDITION (CIC)**

Current Zoning:	RZR2015-00021 R-100 Conservation OSC
Project Name:	Oleander Drive Subdivision
Address:	1396, 1426, 1436 & 1446 Oleander Drive, Lilburn, GA, 30047
Number of Lots:	195
Jurisdiction:	Gwinnett County, District 6, Land Lots 73, 82
Parcel ID's:	R6073 180, R6073 268, R6082 188, R6082 034, R6082 087
Total Area:	92.9 acres (per Conceptual Layout Plan 09-08-23)
Developer:	Pulte Home Company, LLC, Chad Barrett, Director Land Acquisition 770-815-3374 Chad.Barrett@pulte.com

It is the intent of the developer to construct a 195 single-family, detached residential community including all necessary infrastructure. Work will include participation in an off-site sewer line extension.

The developer is requesting a change in conditions to the RZR2015-00021 zoning case as follows:

- o Modify and/or remove the following conditions:
 - Condition 1.A to update site plan.
 - Condition 1.B to modify square footage for one-story and two-story homes to 2,200 and 2,800, respectively.
 - Modify Condition C to only have brick or stacked stone on the front façade, remaining sides to have brick/stone 3-ft waterboard.
 - Modify condition F.1 to include pickle ball.
 - Remove all of condition G.1, G.2. and G.3 (delete cistern and re-use irrigation, delete storm water supplemental standards).

End Letter of Intent

10/26/2023

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

The proposed change is suitable in view of the adjacent and nearby property.

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

The proposed change will not adversely affect the usability of adjacent/nearby property.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The property has no reasonable economic use as currently zoned.

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The proposed CIC will not cause an excessive or burdensome use of streets, utilities, transportation facilities nor schools.

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed CIC is in conformance with the policy/intent of the LAND USE PLAN.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

Changes in the development codes pertaining to storm water give rise to approval of the proposed zoning conditions pertaining to cisterns and storm water management. Market conditions and consumer preferences warrant exterior building material changes and recreational facilities.

Exhibit F: Application and Disclosure of Campaign Contributions

[attached]

EXHIBIT TO CHANGE IN CONDITION APPLICATION

RZR2015-00021 | R-100 Conservation OSC | Project Name: Oleander Drive Subdivision
GWINNETT COUNTY PLANNING AND DEVELOPMENT
 Address: 1396, 1426, 1436 & 1446 Oleander Drive, Lilburn, GA, 30047
 Parcel ID's: R6073 180, R6073 268, R6082 188, R6082, 034, R6082 087,

Gwinnett County Planning Division
 Change in Conditions Application
 Last Updated 10/2021

10/26/2023

CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>PULTE HOME COMPANY LLC</u> <i>by Jim Warren, agent</i>	NAME: _____
ADDRESS: <u>2495 NORTHWINDS PKWY, #600</u>	ADDRESS: <u>MULTIPLE OWNERS</u>
CITY: <u>ALPHARETTA</u>	CITY: _____
STATE: <u>GA</u> ZIP: <u>30009</u>	STATE: <u>SEE ATTACHED TAX MAP EXIHIBIT</u>
PHONE: <u>678-492-0229</u>	PHONE: _____
EMAIL: <u>Garen.Smith@pulte.com</u>	EMAIL: _____
CONTACT PERSON: <u>JIM WARREN</u> PHONE: <u>404-401-7656</u>	
CONTACT'S E-MAIL: <u>jwarren@maxred.com</u> <u>Maxwell-Reddick & Assoc. Inc</u>	

APPLICANT IS THE:

OWNER'S AGENT PROPERTY OWNER CONTRACT PURCHASER

ZONING DISTRICTS(S): R-100 Conservation OSC PRIOR ZONING CASE: RZR2015-00021

PARCEL NUMBER(S): R6073 180, R6073 268, R6082 188, R6082, 034, R6082 087 ACREAGE: 92.9

ADDRESS OF PROPERTY: 1396, 1426, 1436 & 1446 Oleander Drive, Lilburn, GA, 30047

PROPOSED CHANGE IN CONDITIONS: See attached conditions of zoning redlined/marked up.

RESIDENTIAL DEVELOPMENT:	NON-RESIDENTIAL DEVELOPMENT:
NO. OF LOTS/DWELLING UNITS: <u>195</u>	NO. OF BUILDINGS/LOTS: _____
DWELLING UNIT SIZE (Sq. Ft.): <u>2200, 2800</u>	TOTAL GROSS SQUARE FEET: _____
GROSS DENSITY: <u>2.10 units/acre</u>	DENSITY: _____
NET DENSITY: _____	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

EXHIBIT TO CHANGE IN CONDITION APPLICATION
PLANNING AND DEVELOPMENT

RZR2015-00021 | R-100 Conservation OSC | Project Name: Oleander Drive Subdivision

Address: 13300 136th Ave NE, 136 Oleander Drive, Lilburn, GA, 30047
Parcel ID's: R6073 180, R6073 268, R6082 188, R6082 034, R6082 087,

10/26/2023

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 10/2021

CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Jim Warren

10-25-23

Signature of Applicant

Date

Jim Warren | Maxwell-Reddick & Associates, Inc.

Garen M. Smith

Type or Print Name and Title

Garen Smith | Division VP Land Acquisition | Pulte Home Company, LLC

[Signature]

10-25-23

Signature of Notary Public

Date

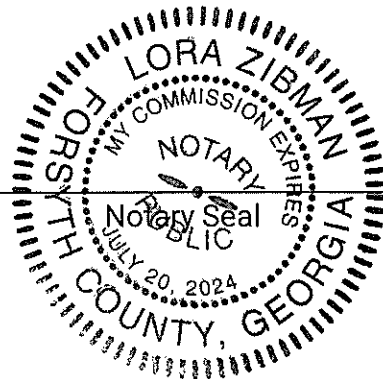


EXHIBIT TO CHANGE IN CONDITION APPLICATION
PLANNING AND DEVELOPMENT

RZR2015-00021 | R-100 Conservation OSC | Project Name: Oleander Drive Subdivision

Address: 1446 Oleander Drive, Lilburn, GA, 30047
Parcel ID's: R6073 180, R6073 268, R6082 183, R6082, 034, R6082 087.

RECEIVED

11/30/2023

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

**VERIFICATION OF CURRENT PAID PROPERTY TAXES
FOR CHANGE IN CONDITIONS**

THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

*** NOTE: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: 6 - 73 & 82 - R6082-087
(Map Reference Number) District Land Lot Parcel

Garen W. Smith 10.23.23
Signature of Applicant Date

Garen Smith Division VP - Land Acquisition | Pulte Home Company, LLC
Type or Print Name and Title

*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Binh Tran TSA
NAME TITLE
11/30^{BNT} 20 - 2023
DATE

EXHIBIT TO CHANGE IN CONDITION APPLICATION

RZR2015-00021 | R-100 Conservation OSC | Project Name: Oleander Drive Subdivision

Address: 1396, 1426, 1436 & 1446 Oleander Drive, Lilburn, GA, 30047
Parcel ID's: R6073 180, R6073 268, R6082 180, R6082, 034, R6082 087.

11/30/2023

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

**VERIFICATION OF CURRENT PAID PROPERTY TAXES
FOR CHANGE IN CONDITIONS**

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* **NOTE: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: 6 - 73 & 82 - R6073 180
(Map Reference Number) District Land Lot Parcel

Garen W. Smith 10.23.23
Signature of Applicant Date

Garen Smith Division VP - Land Acquisition | Pulte Home Company, LLC
Type or Print Name and Title

*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Binh Tran TSA
NAME TITLE
11-20-2023
DATE

EXHIBIT TO CHANGE IN CONDITION APPLICATION

PLANNING AND DEVELOPMENT

RZR2015-00021 | R-100 Conservation OSC | Project Name: Oleander Drive Subdivision

Address: 1446 Oleander Drive, Lilburn, GA, 30047
Parcel ID's: R6073 180, R6073 268, R6082 183, R6082, 034, R6082 087.

11/30/2023

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

**VERIFICATION OF CURRENT PAID PROPERTY TAXES
FOR CHANGE IN CONDITIONS**

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*** NOTE: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: 6 - 73 & 82 - R6073-268
(Map Reference Number) District Land Lot Parcel

Garen W. Smith 10.23.23
Signature of Applicant Date

Garen Smith Division VP - Land Acquisition | Pulte Home Company, LLC
Type or Print Name and Title

*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Binh Tran TSA
NAME TITLE
11-20-2023 2023 balance : \$ 1,858.50
DATE Due 1-1-2024

EXHIBIT TO PENDING CHANGE IN CONDITION APPLICATION

RZR2015-0021 (SC) Interim Approval OSC | Project Name: Oleander Drive Subdivision

Address: 1396, 1426, 1436 & 1446 Oleander Drive, Lilburn, GA, 30047

Parcel ID's: R6073 180, R6073 268, R6082 188, R6082, 034, R6082 087.

RECEIVED

11/30/2023

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Robert McClure III

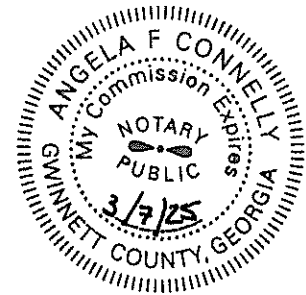
10/20/23

Signature of Property Owner

Date

Robert McClure III

Type or Print Name and Title



Angela F. Connelly

10/20/23

Signature of Notary Public

Date

Notary Seal

EXHIBIT TO PENDING CHANGE IN CONDITION APPLICATION

GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RZ 2015-00026; R600 Conservation OSB | Project Name: Oleander Drive Subdivision

Address: 1396, 122, 130 & 146 Oleander Drive, Lilburn, GA, 30047
Parcel ID's: R6075 100, R6075 208, R6082 188, R6082 034, R6082 087.

11/30/2023

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

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Keith R Connelly & Angela F Connelly

Signature of Property Owner

10/23/23

Date

Keith and Angela F. Connelly, *Owner*

Type or Print Name and Title

Kim T Holcombe

Signature of Notary Public

10-23-23

Date

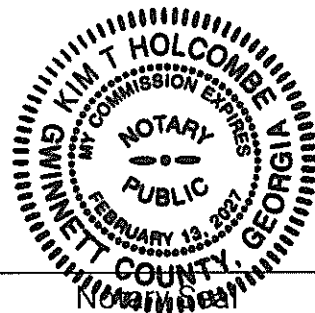


EXHIBIT TO PENDING CHANGE IN CONDITION APPLICATION

GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RZ2015-0003 [AN] [C] [D] [S] [C] [I] Project Name: Oleander Drive Subdivision

Address: 1396, 1426, 1426 & 1446 Oleander Drive, Lilburn, GA, 30047
Parcel ID's: R6082 087, R6082 088, R6082 188, R6082 034, R6082 087,

11/30/2023

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

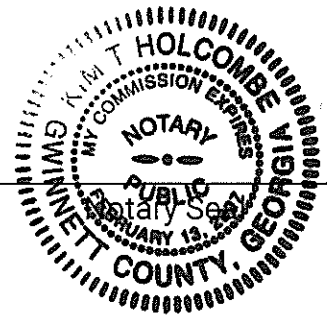
CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

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Keith R. Connelly 10-23-23
Signature of Property Owner Date

Keith Connelly, Executor
Keith R. Connelly Executor
Type or Print Name and Title

Kim T. Holcombe 10-23-23
Signature of Notary Public Date



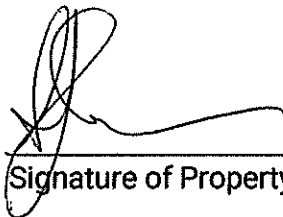
GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RECEIVED
10/20/2023

EXHIBIT TO PENDING CHANGE IN CONDITION APPLICATION
RZR2019-02-11-00 Conservation OSC | Project Name: Oleander Drive Subdivision
Address: 1396, 1426, 1436 & 1446 Oleander Drive, Lilburn, GA, 30047
Parcel ID's: R6073 180, R6073 268, R6082 118, R6082, 034, R6082 087.

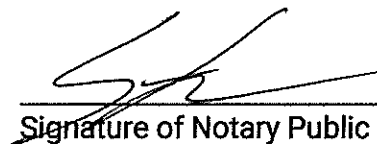
Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

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Signature of Property Owner
Karen Johnson 10/20/2023
Date

Steve Johnson Karen Johnson
Type or Print Name and Title


Signature of Notary Public
10/20/23
Date
Notary Seal

SAMANTHA NOLLENBERGER
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20224033791
MY COMMISSION EXPIRES 08/26/2026

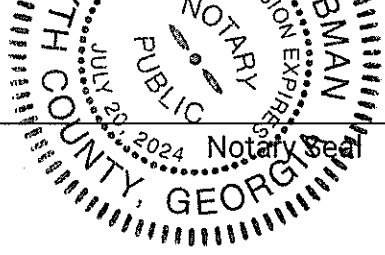
CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

Garen W. Smith 10.25.23 Garen Smith Division VP
 Signature of Applicant Date Land Acquisition | Pulte Home Company, LLC
 Type of Print Name and Title

Jim Warren 10-25-23 Jim Warren
 Signature of Applicant's Date Maxwell-Reddick & Associates, Inc.
 Attorney or Representative Type or Print Name and Title

[Signature] 10-25-23
 Signature of Notary Public Date Notary Seal



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES NO Jim Warren Garen Smith
 Your Name

If the answer is yes, please complete the following section:

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

Exhibit G: Internal and External Agency Review Comments

[attached]



**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

TRC Meeting Date:		01.10.2024	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 1	
Reviewer Email Address:		Brent.Hodges@gwinnettcounty.com	
Case Number:		CIC2024-00002	
Case Address:		1396, 1426, 1436, 1446 Oleander Drive, Lilburn, 30047	
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		YES	NO
1	Oleander Drive is a local road. ADT = 687.		
2	0.55 mile to the nearest transit facility located at Five Forks Trickum Road and Oleander Drive.		
3			
4			
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input checked="" type="checkbox"/>
		YES	NO
1			
2			
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021

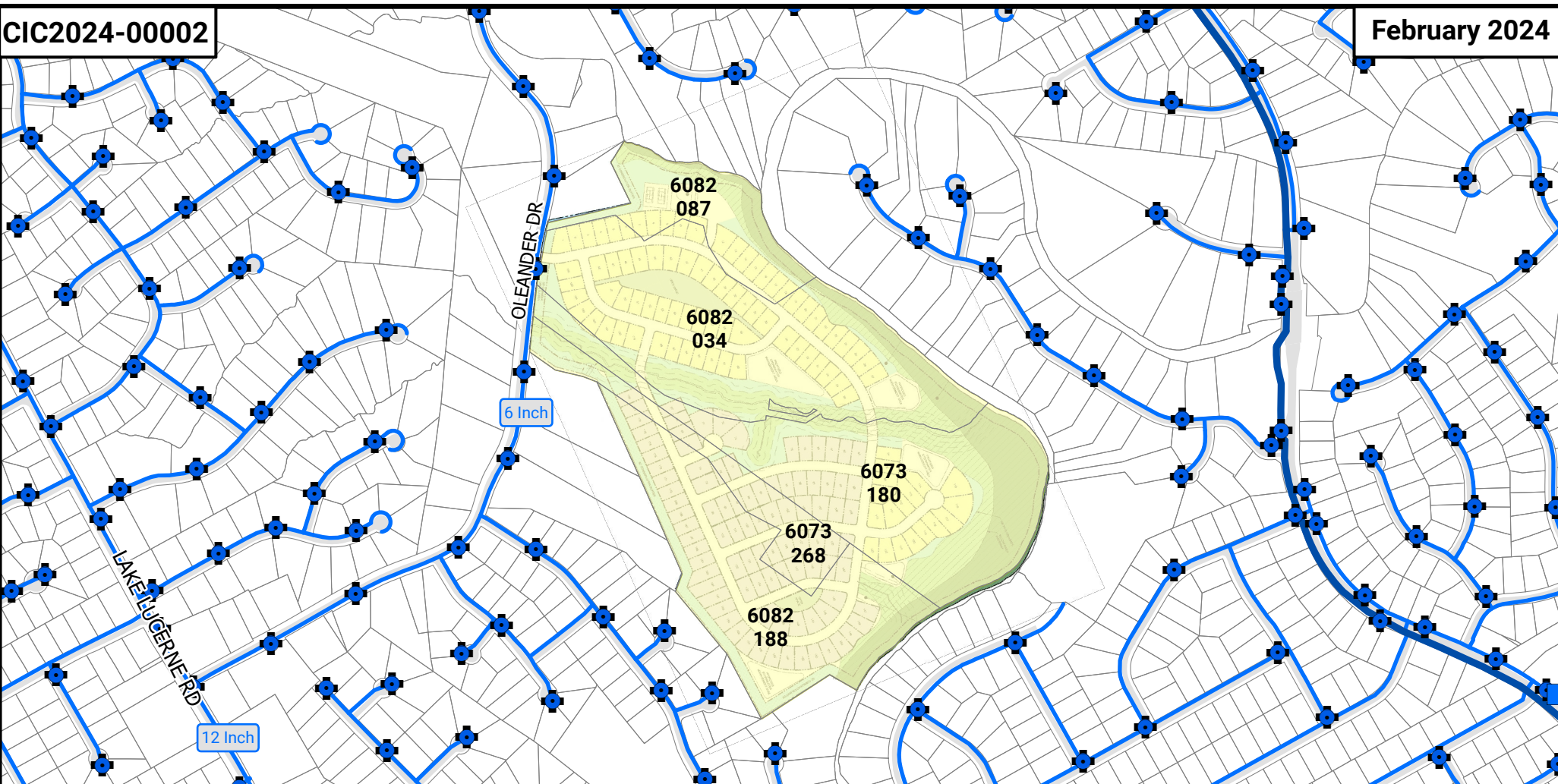


**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

TRC Meeting Date:			
Department/Agency Name:	DWR		
Reviewer Name:	Mike Pappas		
Reviewer Title:	GIS Planning Manager		
Reviewer Email Address:	Michael.pappas@gwinnettcountry.com		
Case Number:	CIC2024-00002		
Case Address:	1396, 1426, 1436 & 1446 Oleander Dr		
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		YES	NO
1	Water: The proposed development shall replace the existing 6-inch PVC water main along the eastern right-of-way of Oleander Drive with an 8-inch water main from the intersection between Lake Lucerne Road and Oleander Drive up to and including the frontage of the development.		
2	Sewer: A Sewer Capacity Certification (C2023-275-10) has been conditionally approved for 195 single family units. GCDWR and the developer are coordinating a Developer Participation Agreement for the installation of gravity sewer to serve the proposed development.		
3			
4			
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input checked="" type="checkbox"/>
		YES	NO
1			
2			
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021



LEGEND

- Water Main
- Hydrant

1396, 1426, 1436 & 1446 Oleander Dr
 R-100 to OSC

Water & Sewer Utility Map

LOCATION



Water Comments: The proposed development shall replace the existing 6-inch PVC water main along the eastern right-of-way of Oleander Drive with an 8-inch water main from the intersection between Lake Lucerne Road and Oleander Drive up to and including the frontage of the development.

Sewer Comments: A Sewer Capacity Certification (C2023-275-10) has been conditionally approved for 195 single family units. GCDWR and the developer are coordinating a Developer Participation Agreement for the installation of gravity sewer to serve the proposed development.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Residential Rezoning Impact on Local Schools
 Prepared for Gwinnett County BOC, **February, 2024**

											Proposed Zoning
	School	2023-24			2024-25			2025-26			Approximate Student Projections from Proposed Developments
		Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	
CIC2024-00006	South Gwinnett HS	2,651	2,750	-99	2,704	2,750	-46	2,758	2,750	8	1
	Grace Snell MS	1,316	1,200	116	1,342	1,200	142	1,369	1,200	169	1
	Magill ES	1,346	1,525	-179	1,386	1,525	-139	1,427	1,525	-98	2
CIC2024-00002	Parkview HS	3,258	2,900	358	3,307	2,900	407	3,330	2,900	430	64
	Trickum MS	2,203	1,775	428	2,236	2,275	-39	2,258	2,275	-17	47
	Camp Creek ES	1,370	1,325	45	1,384	1,325	59	1,400	1,325	75	84
RZR2024-00005 & RZR2024-00006	South Gwinnett HS	2,651	2,750	-99	2,704	2,750	-46	2,758	2,750	8	26
	Grace Snell MS	1,316	1,200	116	1,342	1,200	142	1,369	1,200	169	18
	Rosebud ES	991	1,200	-209	1,011	1,200	-189	996	1,200	-204	33
RZR2024-00007	Seckinger HS	2,004	2,800	-796	2,226	2,800	-574	2,330	2,800	-470	1
	Jones MS	1,699	1,575	124	1,767	1,575	192	1,870	1,575	295	1
	Ivy Creek ES	1,649	1,275	374	1,739	1,275	464	1,795	1,275	520	1

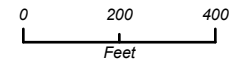
Exhibit H: Maps

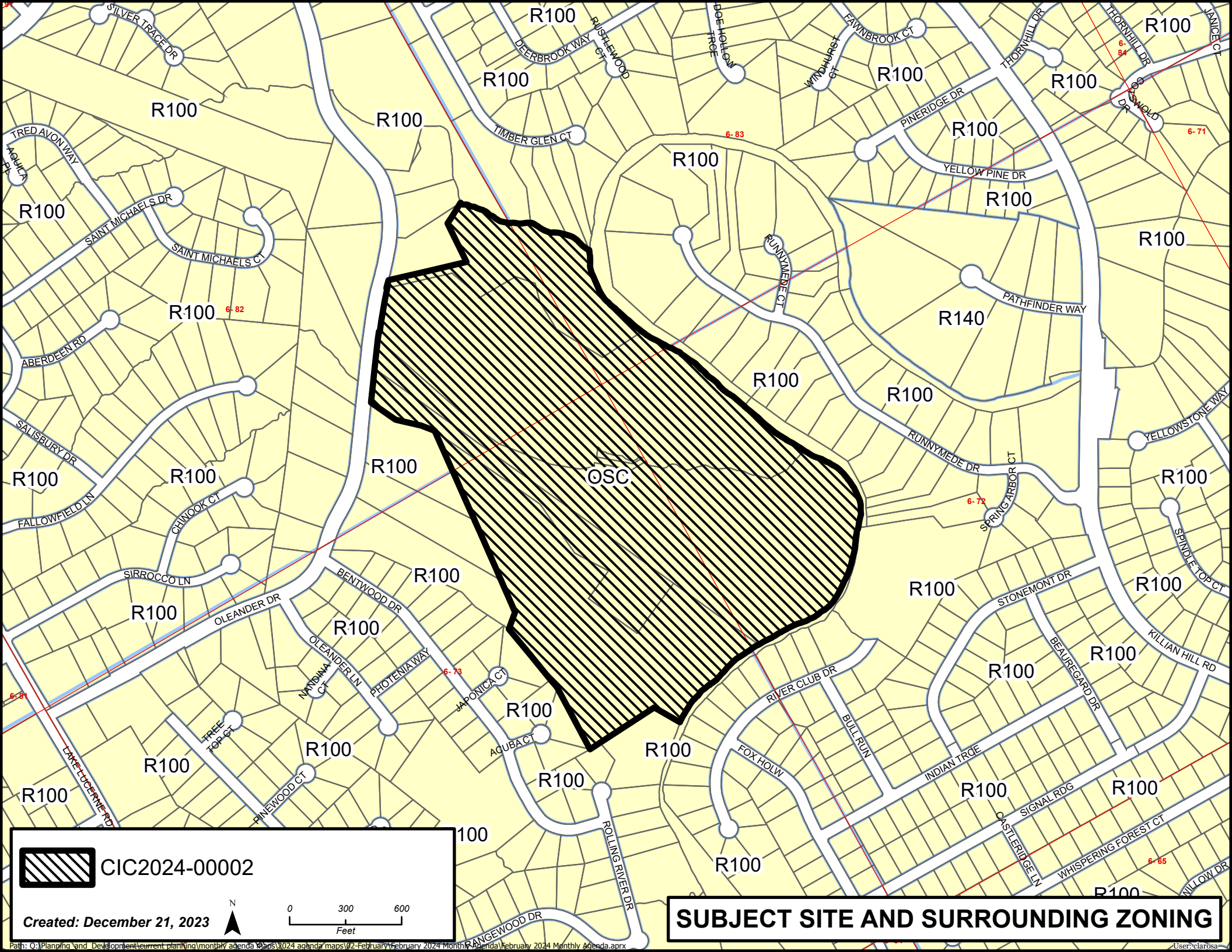
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 CIC2024-00002

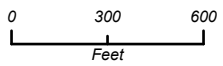
Created: December 21, 2023



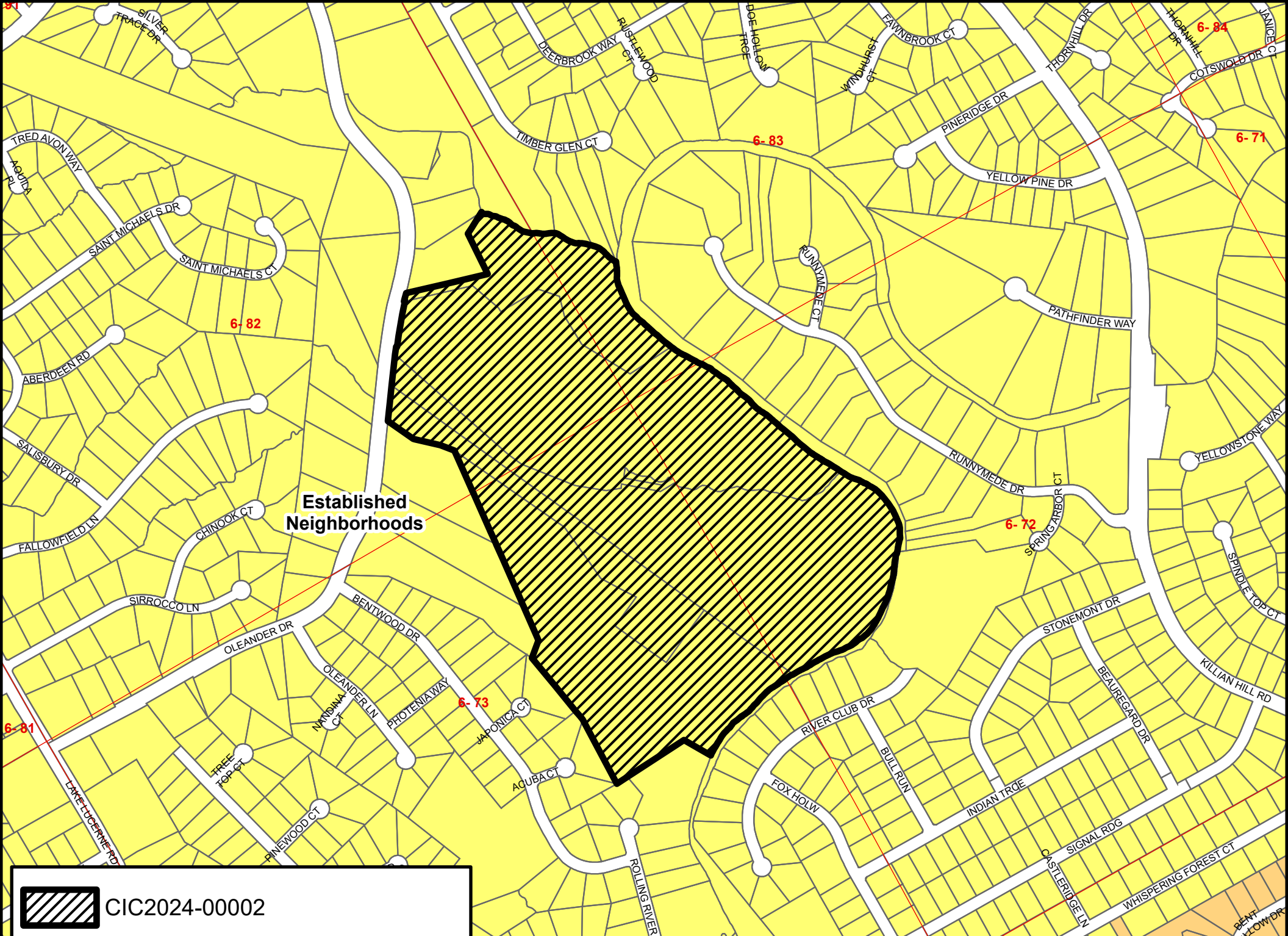


 CIC2024-00002


Created: December 21, 2023




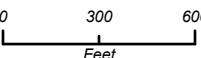
SUBJECT SITE AND SURROUNDING ZONING



**Established
Neighborhoods**

 **CIC2024-00002**

Created: December 21, 2023

2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION

**Exhibit I: Documents Presented at the March 5, 2024
Planning Commission Public Hearing**

[attached]



