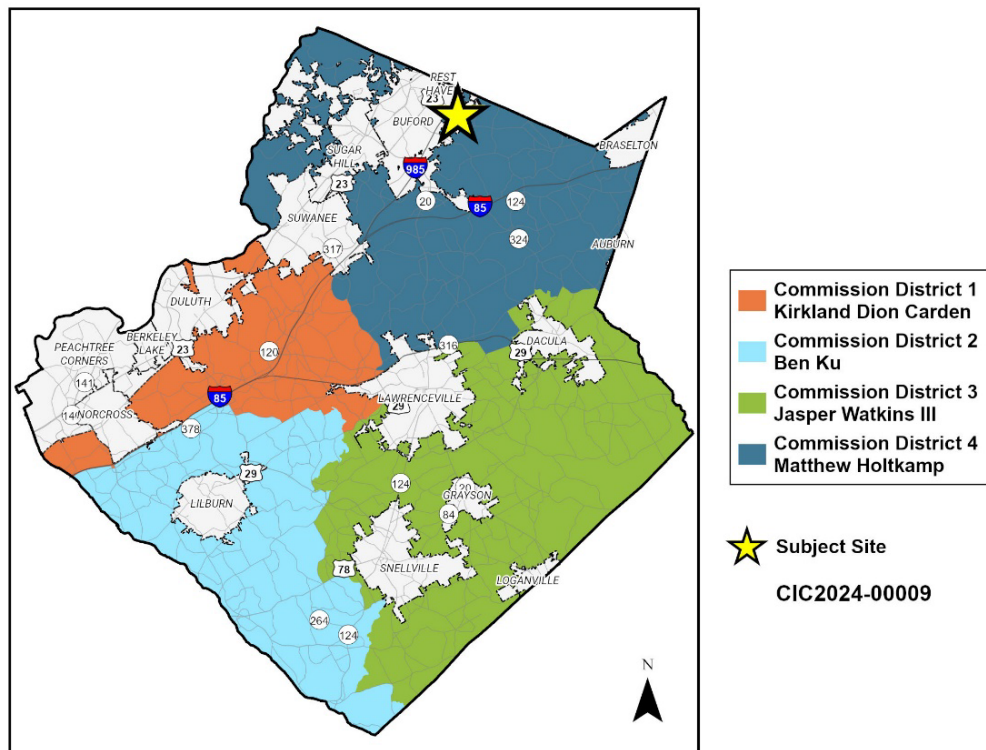


PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: CIC2024-00009
Current Zoning: TND (Traditional Neighborhood Development)
Request: Change in Conditions
Addresses: 4269, 4271, 4273 Thompson Mill Road, 4200 Block of Thompson Mill Road, and 3100 Block of North Bogan Road
Map Numbers: R7264 024, 025, 027, 053, 055, and 303
Site Area: 27.75 acres
Units: 102
Proposed Development: Traditional Neighborhood Development
Commission District: District 4 – Commissioner Holtkamp
Character Area: Emerging Suburban

Staff Recommendation: DENIAL

Planning Commission Recommendation: APPROVAL WITH CONDITIONS



Applicant: Mahaffey Pickens Tucker, LLP
1550 North Brown Road, Suite 125
Lawrenceville, GA 30043

Owners: Edenglen, LLC
850 Old Alpharetta Road
Alpharetta, GA 30005

Contact: Shane Lanham

Contact Phone: 770.232.0000

Zoning History

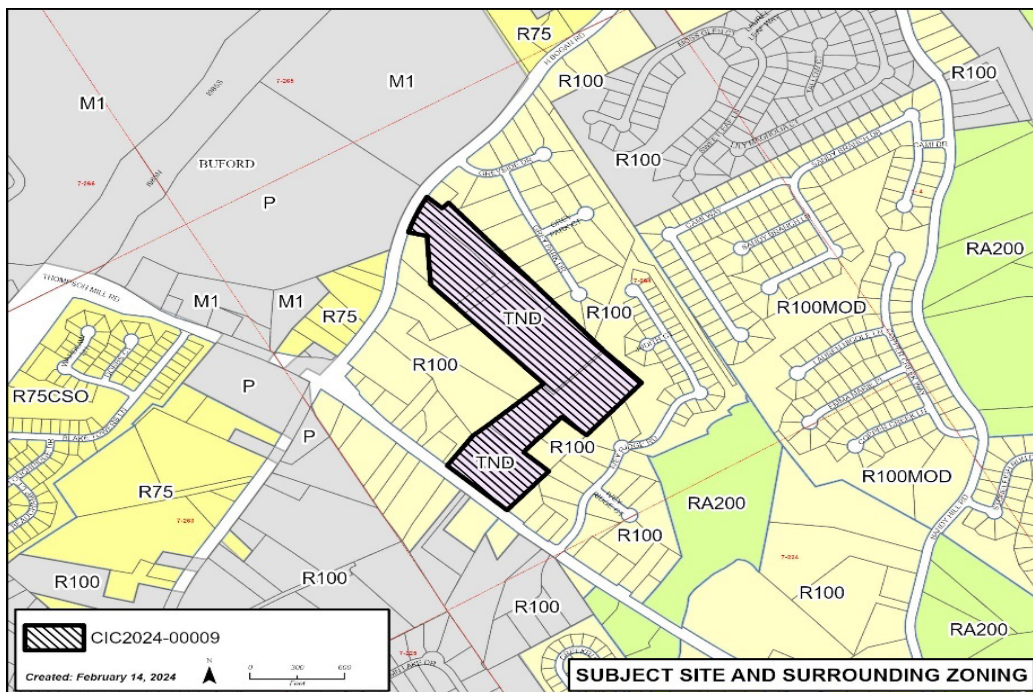
In 2021, the property was rezoned from R-SR (Senior Oriented Residence District) to TND, pursuant to RZR2021-00011.

Existing Site Condition

The subject property is a 27.75-acre assemblage of six parcels located northeast of the intersection of North Bogan Road and Thompson Mill Road, with frontage on both roads. The property is undeveloped and heavily wooded with a mature tree canopy. A stream with associated buffers runs along the north property line. There is no sidewalk along either road frontage. The nearest Gwinnett County Transit stop is approximately 4.6 miles from the subject property.

Surrounding Use and Zoning

The subject property is surrounded by single-family detached residences and the City of Buford. Greystone Plantation and Ivey Ridge, single-family detached subdivisions, are to the north and east of the site. Undeveloped property in the City of Buford is across North Bogan Road to the west. Single-family residences on large lots are south of this site across Thompson Mill Road. To the south and west are single-family residences on large lots. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Traditional Neighborhood Development	TND	3.68 units per acre
North	Single-Family Residential	R-100	1.10 units per acre
East	Single-Family Residential	R-100	1.38 units per acre
South	Single-Family Residential Single-Family Residential	R-100 RA-200 (City of Buford)	0.58 units per acre
West	Single-Family Residential Undeveloped	R-100 P (City of Buford)	N/A

Project Summary

The applicant requests a change in conditions to revise Condition #5 in RZR2021-00011 to allow homes to be constructed with brick, stacked stone, cedar plank or shake, fiber-cement siding, board and batten, and shake, instead of only brick and stacked stones.

The applicant is not proposing any changes to the use, density, or site design. The proposed development, as approved in 2021, includes the following:

- A total of 102 single-family detached residences, yielding a density of 3.68 units per acre, ranging in size from 1,850 to 2,400 square feet.
- A mail kiosk near the southern corner of the site.
- 5-foot-wide sidewalks along the road frontage of Thompson Mill Road and North Bogan Road, and through the internal streets of the subdivision.
- Two detention ponds along the southern boundary of the site.
- A total of 5.55 acres of common area is provided along the perimeter of the site, including a dog park near the northern corner of the property.
- A 30-foot-wide zoning buffer with a 5-foot structure setback extending along the perimeter of the site.
- A full access entrance, a deceleration lane and a left-turn lane on Thompson Mill Road

Zoning and Development Standards

The applicant is requesting a change in conditions for a single-family detached subdivision in TND. A development permit was issued in 2022 with subsequent revisions currently in review under the previous Unified Development Ordinance (UDO). The following is a summary of applicable development standards from the UDO:

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	35'	YES
Front Yard Setback	Minimum 5' - 15'	15'	YES
Side Yard Setback	Minimum 5' - 15'	5'	YES
Rear Yard Setback	Minimum 20'	20'	YES
Landscape Strip	Minimum 10'	20'	YES
Density	Maximum 8.0 units per acre	3.68 units per acre	YES
Common Area	Minimum 5.55 acres (20%)	5.55 acres (20%)	YES
Zoning Buffer	30'	30'	YES
Structure Setback	Minimum 5' from buffer	5'	YES
Minimum Floor Area	1,450 sq ft	1,850 sq ft	YES

Public Participation

The developer held a community meeting for the development on February 22, 2024, at the Gwinnett Historic Courthouse in Lawrenceville. There were no community members in attendance. As a result of the meeting, no changes were made to the site plan or other application materials. The public participation forms are shown in Exhibit G.

Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit H). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Change in Conditions Request Analysis: According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification, or change in conditions, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

A. Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The proposed change in conditions is for building materials and does not change the use of the site. A single-family detached subdivision is suitable in view of the use and development of adjacent and nearby property.

B. Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property.

The existing use and usability of adjacent or nearby properties would not be impacted by the change in conditions. The change in conditions request is to revise the building materials conditions. The neighborhood was originally approved with standard higher quality façade material requirements. Maintaining this condition will ensure the original standard is maintained for the site.

C. Whether the property to be affected by a proposed change in conditions has a reasonable economic use as currently zoned.

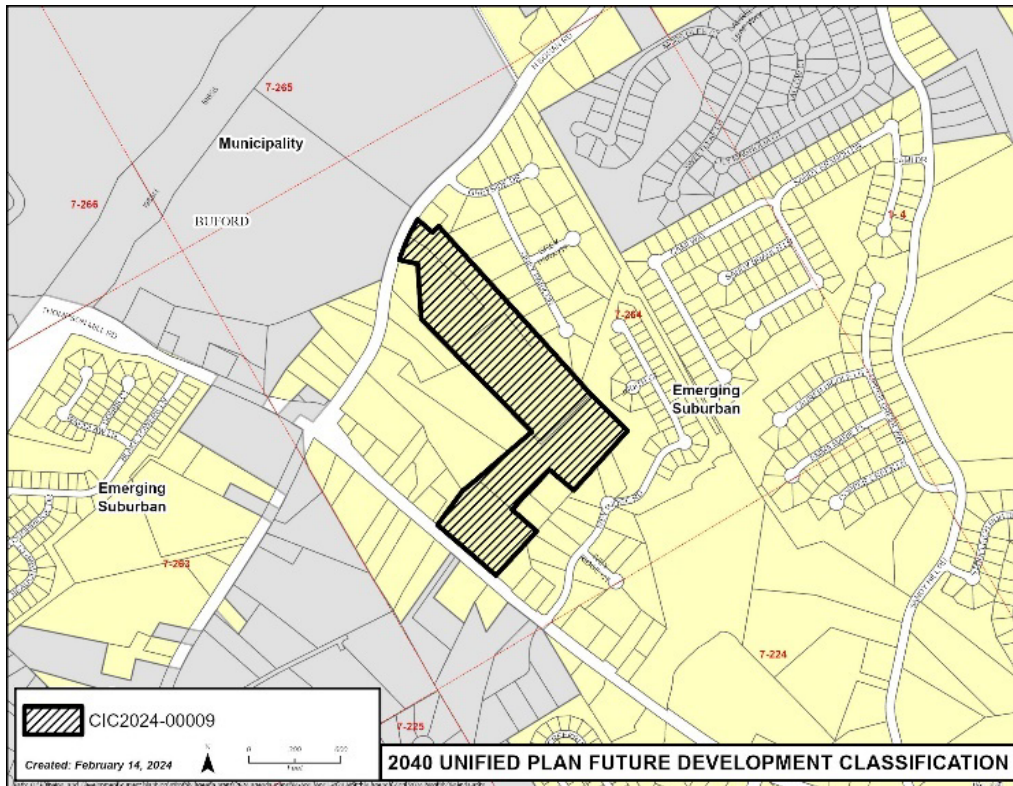
The property has reasonable economic use as currently zoned.

D. Whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

The change in conditions request to allow more flexibility for the building materials would not have additional impact on public infrastructure. Agency review comments related to any potential improvements concerning this change in conditions request are attached (Exhibit H).

E. Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map; and

The application was received prior to the adoption of the 2045 Unified Plan and was analyzed based on the 2040 Unified Plan. The Future Development Map indicates that the subject property lies within the Emerging Suburban Character Area. This designation is identified as areas that are currently mainly residential but have not yet matured into established communities due to relatively large amounts of remaining, undeveloped land. The proposed single-family detached subdivision is in conformity with the policy and Intent of the Unified Plan and Future Development Map.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions.

There are no other conditions giving support for approval or disapproval of the proposal.

Staff Recommendation

Based on the staff's evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **DENIAL** of the change in conditions request.

Planning Commission Recommendation

Based on staff's evaluation of the request, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)

NOTE: The following conditions are provided as a guide should the Board of Commissioners choose to approve this petition.

Approval of a change in conditions for a traditional neighborhood development, subject to the following conditions:

1. No more than 66 of the total number of lots may be categorized as "small lots" per the TND standards within the Unified Development Ordinance.
2. No more than 22 of the total number of lots may be categorized as "mid-size lots" per the TND standards within the Unified Development Ordinance.
3. No less than 14 of the total number of lots may be categorized as "large lots" per the TND standards within the Unified Development Ordinance.
4. The minimum heated floor area per dwelling shall be as follows:
 - A. Small Lot dwellings: 1,850 square feet; provided, however, that no more than 50 percent of such homes shall have less than 2,000 square feet of heated floor.
 - B. Mid-size Lot dwellings: 2,400 square feet
 - C. Large Lot dwellings: 2,400 square feet
5. Homes shall be constructed with ~~front and side facades primarily of brick and/or stacked stone. The balance of the home may be the same or of cedar or fiber-cement siding or shake with a minimum three-foot high brick or stacked stone water table.~~ **facades of brick, stacked stone, cedar plank or shake, fiber-cement siding, board and batten, and/or shake, in general accordance with Exhibit C: Building Elevations dated received February 6, 2024, with a minimum two-foot brick or stacked stone water table. All homes shall have front facades of primarily brick and/or stacked stone.**

6. Provide a 30-foot buffer along all exterior property lines adjacent to R-100 zoned property.
7. The Thompson Mill Road frontage shall be landscaped by the developer and maintained by the Homeowners Association and shall include a decorative masonry entrance feature. Landscape and entrance plans shall be subject to review and approval by the Director of Planning and Development.
8. A mandatory Homeowners Association shall be established and shall be responsible for maintenance of all common areas/facilities and street frontage landscaping.
9. Common area shall be provided in general accordance with the submitted rezoning exhibit. Design and location shall be subject to the review and approval by the Director of Planning and Development.
10. All utilities shall be placed underground.
11. Direct lot access to Thompson Mill Road and North Bogan Road shall be prohibited.
12. All grassed areas on dwelling lots shall be sodded.
13. All utilities shall be placed underground.
14. Natural vegetation shall remain on the property until the issuance of a subdivision development permit.
15. Coordinate with Gwinnett County DOT project manager with Gwinnett DOT project M-1059.
16. An interconnected street grid pattern shall not be required as depicted on the submitted site plan.
17. Ingress/egress easement to parcels R7264 258 and R7264 049 shall be provided to proposed Street A in the general location of Lot 83 as depicted on the submitted site plan in lieu of ingress/egress easement to Thompson Mill Road.
- 18. No more than 10 percent shall be rental.**
- 19. No side-by-side homes shall be identical.**
- 20. Architectural-style shingles shall be required.**
- 21. The homeowners association shall be responsible for landscaping individual lots and maintaining yards as well as the common area.**

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Previously Adopted Resolution (RZR2021-00011)
- E. Letter of Intent and Applicant's Response to Standards
- F. Application and Disclosure of Campaign Contributions
- G. Public Participation Plan and Report
- H. Internal and External Agency Review Comments
- I. Maps

Exhibit A: Site Visit Photos



View of entrance to site from Thompson Mill Road.



View of internal street from Thompson Mill Road.



View of the internal street leading to North Bogan Road.



View of North Bogan Road.

Exhibit B: Site Plan

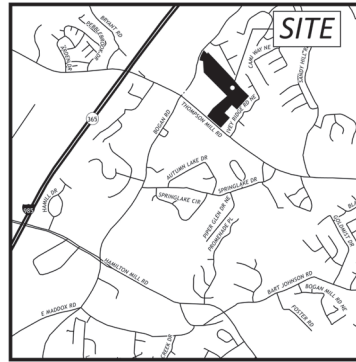
[attached]

GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RECEIVED

2.6.2024

FINAL PLAT FOR EDENGLLEN

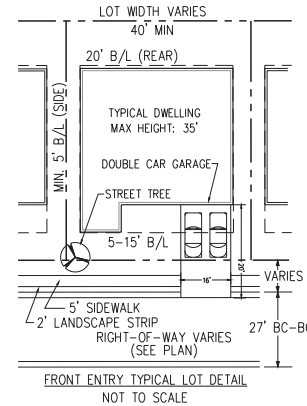
4269-4273 THOMPSON MILL ROAD
BUFORD, GEORGIA 30519
7TH LAND DISTRICT
LAND LOT 264
GWINNETT COUNTY
PARCEL(S) 7-264-024, 7-264-025,
7-264-027, 7-264-053, 7-264-055



VICINITY MAP
SOURCE: USGS

SHEET INDEX

- FINAL PLAT COVER V-100
- FINAL PLAT SOUTH V-101
- FINAL PLAT NORTH V-102



- GENERAL NOTES
- OWNER/DEVELOPER: EDENGLLEN LLC
800 OLD ALPHARETTA ROAD
ALPHARETTA, GEORGIA 30005
TEL: 770-887-2177
CONTACT: JASON TRENCH
 - ENGINEER: BLUE LANDWORKS LLC
5019 WEST BROAD STREET
SUITE 100
SUGAR HILL, GEORGIA 30518
TEL: (678) 804-8586
CONTACT: JOHN NICOLL, PE
NO. 17700
GA SINC LEVEL 1 CERTIFIED DESIGN PROFESSIONAL #14361
 - TOTAL PROPERTY ACRES: 27.76 ACRES
 - COMMON AREA REQUIRED: 5.55 AC (20%)
COMMON AREA PROVIDED: 5.55 AC (20%)
 - ZONING: R6 (SEE ZONING CONDITIONS THIS SHEET)
 - CURRENT USE: SINGLE-FAMILY RESIDENTIAL
 - TOTAL UNITS: 102
 - DENSITY: 3.68 UNITS/ACRE (MINIMUM ALLOWABLE DENSITY = 8.0 UNITS/ACRE)
 - FRONT: 5-15 FEET
REAR: 20 FEET
SIDE: 5 FEET
 - WATER AND DRAINAGE FLOW SEWER PROVIDED BY GWINNETT COUNTY
 - THIS SITE CONTAINS STATE WATERS REQUIRING AN UNDISTURBED 25' STATE WATERS BUFFER
 - PROVISIONAL INFORMATION BASED ON BOUNDARY SURVEY FOR: CONCRETE PIPES, L.I.C. PREPARED BY BLUE LANDWORKS AND LAST DATED JUNE, 2021
 - TOPOGRAPHIC INFORMATION IS TAKEN FROM GWINNETT COUNTY GCS NO.1083. CONTOUR INTERVAL IS TWO FEET

- GWINNETT COUNTY PLANNING STANDARD NOTES
- UTILITIES SHALL BE LOCATED UNDERGROUND
 - WATER SERVICE PROVIDED BY GWINNETT COUNTY
 - SEWER DISPOSAL PROVIDED BY GWINNETT COUNTY (GRAVITY FLOW)
 - CLEANWAYS ARE TO BE MAINTAINED AT GRADE, AND ARE THE PROPERTY OWNER'S RESPONSIBILITY TO ENSURE ACCESSIBILITY AT ALL TIMES
 - GWINNETT COUNTY DOES NOT ENFORCE PROTECTIVE COVENANTS, IT IS THE RESPONSIBILITY OF THE HOMEOWNERS TO ENSURE COMPLIANCE WITH THE PROTECTIVE COVENANTS
 - OPEN SPACE AND COMMON AREA TO BE DEEDED TO AND MAINTAINED BY A QUALIFIED HOMEOWNERS ASSOCIATION. THIS DEED MUST BE FILED PRIOR TO APPROVAL OF A FINAL SUBDIVISION PLAN.
 - EXISTING UTILITIES INCLUDING EXTERNAL STREETS, TRASHES, TRASHES, RECREATION AREAS, LOTS, AND OPEN SPACE/COMMON AREAS PRIOR TO THE FINAL PLAT APPROVAL. THE LOT BUILDER SHALL METAL SPRAKES AND INTERSECTION MARKERS CLEAR MARKERS AT NEW INTERSECTIONS, "TERRIOR" TURNAROUNDS AND COL-DE-SACS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR EACH LOT.
 - SEWERAGE SHALL BE LOCATED AT LEAST 2 FEET FROM THE BACK OF CURB AND SHALL BE CONSTRUCTED OF CONCRETE AT A MINIMUM OF 4 FT IN WIDTH AND 4" THICK WITH A CROSS SLOPE OF .25 IN/FT. CONCRETE SHALL BE CLASS B AND HAVE A STRENGTH OF 3000 PSI.
 - SEWERAGE IS REQUIRED ALONG BOTH SIDES OF THE INTERNAL STREETS (INCLUDING "TERRIOR" TURNAROUNDS AND COL-DE-SACS). SEWERAGE IS TO BE 18 FEET FROM BACK OF CURB AND SHALL BE CONSTRUCTED OF CONCRETE AT A MINIMUM OF 4 FT IN WIDTH AND 4" THICK WITH A CROSS SLOPE OF .25 IN/FT. CONCRETE SHALL BE CLASS B AND HAVE A STRENGTH OF 3000 PSI @ 28 DAYS.
 - SEWERAGE IS TO BE MAINTAINED AND CARE BY THE PROPERTY OWNER ASSOCIATED TO THE BEE. EXCEPT FOR SUBDIVISIONS IN WHICH THE PROPERTY OWNERS ASSOCIATION PROVIDES MAINTENANCE AND CARE, MAINTENANCE SHALL INCLUDE REPLACEMENT AND REPAIRS AS NECESSARY.
 - TORNING TREES IS NOT ALLOWED. TREES REMOVED OR HAVING THEIR TOPS CUT OFF COMPLIANCE WITH THIS ORDINANCE SHALL BE REPLACED WITH THE EQUIVALENT NUMBER OF REMOVED TREES.
 - IRON PINS SET AT LOT CORNERS ARE 7 FEET APART
 - THE SUBDIVISION OWNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PLAT IS NOT RESPONSIBLE OR ACCOUNTABLE FOR ANY INFORMATION WHICH LIES OUTSIDE THE SCOPE OF PROFESSIONAL SERVICES AS DETERMINED BY THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS.

- GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES STANDARD STORMWATER NOTES
- GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVERTLOW OR INTRUSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY OR FOR THE EXTENSION OF COLLECTORS BEYOND THE POINT SHOWN ON AN APPROVED AND RECORDED SUBDIVISION PLAN.
 - AN APPROVED RESIDENTIAL DRAINAGE PLAN (RDP) IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "750P". AN APPROVED HOLD AND RELEASE AFFIDAVIT IS REQUIRED FOR THOSE LOTS LABELED "750P" OR RESIDENTIAL DRAINAGE STUDY AND RDP.
 - IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE STORM WATER MANAGEMENT FACILITY TO KEEP THE ACCESS DRIVE FREE OF OBSTRUCTIONS AND TO MAINTAIN THE FACILITY FREE OF OBSTRUCTIONS, SET AND SLOPES, AND OPERATIONAL PURSUANT TO COUNTY REQUIREMENTS.
 - APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY GWINNETT COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND ACTIVITIES.
 - THIS SITE CONTAINS STATE WATERS REQUIRING AN UNDISTURBED 25' STATE WATERS BUFFER. THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 75-FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED PURSUANT TO SECTION 4.3.1, PARAGRAPH 1(b). AN EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME CARE, REPAIRS AND MAINTENANCE WORK (ARTICLE 3, SECTION 3.1, PARAGRAPH 3).
 - STORM WATER MANAGEMENT FOR THIS SITE IS PROVIDED ON-LOT.
 - DEVELOPERS ARE TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
 - ACCESS TO DETENTION POND IS TO BE MAINTAINED AT ALL TIMES.
 - A SEPARATE BUILDING PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION FOR EACH SITE RETAINING WALL (WHICH EXCEEDS 4 FEET IN HEIGHT OR HAS A BACKFILL SLOPE GREATER THAN 1 FOOT HORIZ. TO 3 FEET VERTIC. HORIZ.) FOR EACH DETENTION POND WALL. WALLS IN ACCORDANCE WITH GWINNETT COUNTY CONSTRUCTION SECTION 103.11.1. A CERTIFICATE OF COMPLETION SHALL BE ISSUED BY GWINNETT COUNTY BUILDING INSPECTIONS SECTION FOR ALL WALLS PERMITTED TO THE PROJECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING STRUCTURE ON THE SITE OR PRIOR TO APPROVAL OF THE FINAL SUBDIVISION PLAN AS APPLICABLE.

ISSUE NO.	DATE	DESCRIPTION
1	10/13/2023	SUBMIT FOR GOVERNMENT REVIEW

BLUE LANDWORKS LLC
5019 WEST BROAD STREET
SUITE 100
SUGAR HILL, GA 30518
Tel: (678) 804-8586
info@bluelandworks.com
PROJECT# 2020.089



CASE NUMBER RESIDES: 00011
GDD 2023-086

GWINNETT COUNTY
BOARD OF COMMISSIONERS
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: AMENDMENT TO THE OFFICIAL ZONING MAP

ADOPTION DATE: APRIL 27, 2021

At the regular meeting of the Gwinnett County Board of Commissioners held in the Gwinnett Justice and Administration Center, Auditorium, 73 Langley Drive, Lawrenceville, Georgia.

Present	Absent	
Nicole L. Handrichman, Chairwoman	Yes	None
Richard C. Smith 1	Yes	None
Ben G. Smith 2	Yes	None
Andrew Perkins, Jr. District 3	Yes	None
Martina Pappas, District 4	Yes	None

On motion of COMMISSIONER FORDGE, which carried 5-0, the following Resolution was adopted:

RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to amend the Official Zoning Map from R6B to TND by EDENGLLEN PROPERTIES, LLC for the proposed use of "EDENGLLEN NEIGHBORHOOD DEVELOPMENT" on a tract of land described by the attached legal description which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT COUNTY DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on APRIL 27, 2021 and objections were not filed;

NOW, THEREFORE, BE IT RESOLVED BY the Gwinnett County Board of Commissioners, this 22D day of APRIL, 2021, that the following application to amend the Official Zoning Map from R6B to TND is hereby APPROVED with the following enumerated conditions:

- No more than 6% of the total number of lots may be categorized as "small lots" per the TND standards within the Unified Development Ordinance.
- No more than 20% of the total number of lots may be categorized as "large lots" per the TND standards within the Unified Development Ordinance.
- No less than 14 of the total number of lots may be categorized as "large lots" per the TND standards within the Unified Development Ordinance.
- The minimum finished floor area per dwelling shall be as follows:
 - A. Small Lot dwellings: 1,850 square feet, however, not less than 20 percent of such homes shall have less than 2,000 square feet of finished floor.
 - B. Medium Lot dwellings: 2,400 square feet
 - C. Large Lot dwellings: 2,400 square feet
- Homes that are constructed with four or more bedrooms primarily of brick or masonry construction. The balance of the homes may be the same or of other or brick-concrete siding or shake with a minimum three-foot high brick or masonry stone veneer.
- A 30-foot buffer along an exterior property line adjacent to a 100-foot property.
- The Thompson Mill Road frontage shall be landscaped by the developer and maintained by the Homeowners Association and shall include a decorative masonry entrance feature. Landscape and exterior plans shall be subject to review and approval by the Director of Planning and Development.
- A Homeowners Association shall be established and shall be responsible for maintenance of all common areas, facilities and street frontage landscaping.
- Common area shall be provided in general accordance with the submitted preliminary site plan and location shall be subject to the review and approval by the Director of Planning and Development.
- All utilities shall be placed underground.
- Direct lot access to Thompson Mill Road and North Begon Road shall be prohibited.
- All paved areas on dwelling lots shall be sealed.
- All utilities shall be placed underground.
- Natural vegetation shall remain on the property until the issuance of a subdivision development permit.
- Coordinate with Gwinnett County DOT project manager with Gwinnett DOT project M-1039.
- An environmental street grid pattern shall not be required as depicted on the submitted site plan.
- Progressive easement to parcels 07264-038 and 07264-049 shall be provided to parcel Street A in the general location of Lot 63 as depicted on the submitted site plan in lieu of progressive easement to Thompson Mill Road.

FINAL PLAT APPROVAL

THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT CERTIFIES THAT THIS PLAT COMPLES WITH RULE 2 AND TITLE 3 OF THE GWINNETT COUNTY UNIFIED DEVELOPMENT ORDINANCE (UDO) AND THAT IT HAS BEEN APPROVED BY ALL OTHER OPERATIONAL COUNTY DEPARTMENTS AS APPROPRIATE. THIS PLAT IS APPROVED SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE DEVELOPMENT PERFORMANCE AND MAINTENANCE AGREEMENT (DEED) FOR THIS PROJECT BETWEEN THE OWNER AND GWINNETT COUNTY. ACCEPTANCE OF CONSTRUCTED ORDINANCE IS FROM ON THE FINAL PLAT, IS HEREBY EXPRESSLY EXCLUDED FROM APPROVAL AND MAINTENANCE AND SHALL NOT BE ACCEPTED BY THE COUNTY UNLESS SAID AGREEMENT IS COMPLETED IN ITS ENTIRETY AND VERIFIED THAT IT HAS BEEN TIED UP TO STANDARDS AS SET FORTH IN THE UDO.

DATE: THIS _____ DAY OF _____, 20____

DIRECTOR
DEPARTMENT OF PLANNING AND DEVELOPMENT

FINAL REGISTERED LAND SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL ADJUSTMENTS HERETO, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION, THAT THE MONUMENTS SHOWN HERETO ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN, THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE ERROR PROPORTION OF ONE PART IN 11,000 FEET AND AN ANGULAR ERROR OF 08 SECONDS PER ARC MINUTE AND WAS ADJUSTED USING THE LEAST SQUARES ADJUSTMENT. THIS MAP OF PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE WITHIN ONE FOOT IN 71,000 FEET AND CONTAINS A TOTAL OF 27.76 ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS WERE AS FOLLOWS: ROBSONIC TOTAL STATION ELECTRONIC INSTRUMENT.

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY CERTIFICATES, SIGNATURES, STAMPS, OR SIGNATURES HERETO. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO UNUSUAL USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

DATE OF LAST FIELD WORK: 9/26/2023
DATE PLAT WAS SEALED: 10/13/2023

BY: THOMAS W. WOODRALL
REGISTERED GEORGIA LAND SURVEYOR
REG NO. 2307 (EXPIRES) DATE OF EXPIRATION: DECEMBER 31, 2023

GPS STATEMENT

THE INITIAL CONTROL POINTS FOR THIS SURVEY WERE LOCATED USING GPS. THE EQUIPMENT USED WAS A CHAMBERLAIN D30S RECEIVER WITH CHAMBERLAIN SURVEY DATA COLLECTION SOFTWARE. ALL COORDINATES ARE BASED ON NAD83/2011 AND GEODESIC NETWORK RTM CORRECTIONS WERE RECEIVED VIA A CELLULAR MODEM. THE TYPE OF SURVEY WAS NETWORK RTM UTILIZING THE TRIMBLE WIS REAL TIME NETWORK OPERATED BY USGS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY AS CALCULATED ACCORDING TO THE FEDERAL GEODESIC DATA COMPARE PART 3 NATIONAL STANDARD FOR SPATIAL DATA ACCURACY IS 0.4 FT HORIZONTAL AND 0.7 FT VERTICAL, WITHIN THE 95% CONFIDENCE LEVEL.

HLP = HOUSE LOCATION PLAN

A HOUSE LOCATION PLAN SHALL BE REQUIRED TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND DEVELOPMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "HLP". A HOUSE LOCATION PLAN IS A SCALE DRAWING SUBMITTED BY THE BUILDER AT THE TIME OF THE PERMIT APPLICATION. IT IS NOT REQUIRED THAT THIS PLAN BE PREPARED BY AN AUTHORIZED REGISTERED PROFESSIONAL. THE PURPOSE OF THIS PLAN IS TO ENSURE THAT THE HOUSE IS PROPERLY LOCATED ON THE LOT.

CORNER SIGHT DISTANCE FOR SUBDIVISIONS UTILIZING THE UNIFIED DEVELOPMENT ORDINANCE

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED ENTRANCE AND ALL INTERIOR STREETS FOR EACH LOT ARE DESIGNED WITH ADEQUATE CORNER SIGHT DISTANCE FOR EACH INTERSECTION. THE REGULATED SPEED LIMIT AT THE ENTRANCE IS 45 MILES PER HOUR. THE CORNER SIGHT DISTANCE PROVIDED FROM THE ENTRANCE IS EQUAL TO OR GREATER THAN 50 FEET OF SIGHT DISTANCE REQUIRED IN THE UNIFIED DEVELOPMENT ORDINANCE. THE REGULATED SPEED LIMIT FOR INTERIOR STREETS IS 25 MILES PER HOUR. THE SIGHT DISTANCE FOR ALL INTERIOR INTERSECTIONS MEETS OR EXCEEDS 100 FEET IN EACH DIRECTION. SIGHT DISTANCE IS MEASURED FROM THE DRIVER'S EYE HEIGHT OF 3.5 FEET AT A DISTANCE OF 15 FEET FROM THE NEAREST THROUGH LANE TO THE CENTER OF EACH THROUGH LANE.

RELATO RECORDS

RELATO RECORDS	DATE	DESCRIPTION
R20201-0001	4 - 27 - 21	
DWSEWAR2022-00051	2 - 28 - 22	
DWSEWAR2022-00052	2 - 28 - 22	
DWSEWAR2022-00053	2 - 28 - 22	
MC2022-0003	6 - 24 - 22	
DWSEWAR2022-00016	6 - 30 - 22	
DWSEWAR2022-00018	6 - 30 - 22	
MC2022-0026	7 - 15 - 22	
DWSEWAR2022-00025	8 - 9 - 22	
DWSEWAR2022-00037	9 - 08 - 22	

JOHN NICOLL, PE
SIGNED AND SEALED

DATE _____

OWNER'S ACKNOWLEDGMENT AND DECLARATION:
STATE OF GEORGIA, COUNTY OF GWINNETT

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS HEREBY SET FORTH IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, KNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND ACKNOWLEDGES THAT THIS PLAT COMPLES WITH THE REQUIREMENTS AND DECLARATION TO THE USE OF THE PUBLIC FOR ALL STREET, SEWER COLLECTORS, LIFT STATIONS, STORM, EROSION, AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN.

SIGNATURE OF SUBDIVIDER DATE SIGNED _____

PRINTED OR TYPED NAME OF SUBDIVIDER _____

SIGNATURE OF OWNER DATE SIGNED _____



BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # 15700404
5919 WELLS BRIDGE STREET
SUITE 8230
SUGAR HILL, GEORGIA 30088
TELEPHONE: (678) 604-8586
INFO@BLUELANDWORKS.COM
WWW.BLUELANDWORKS.COM

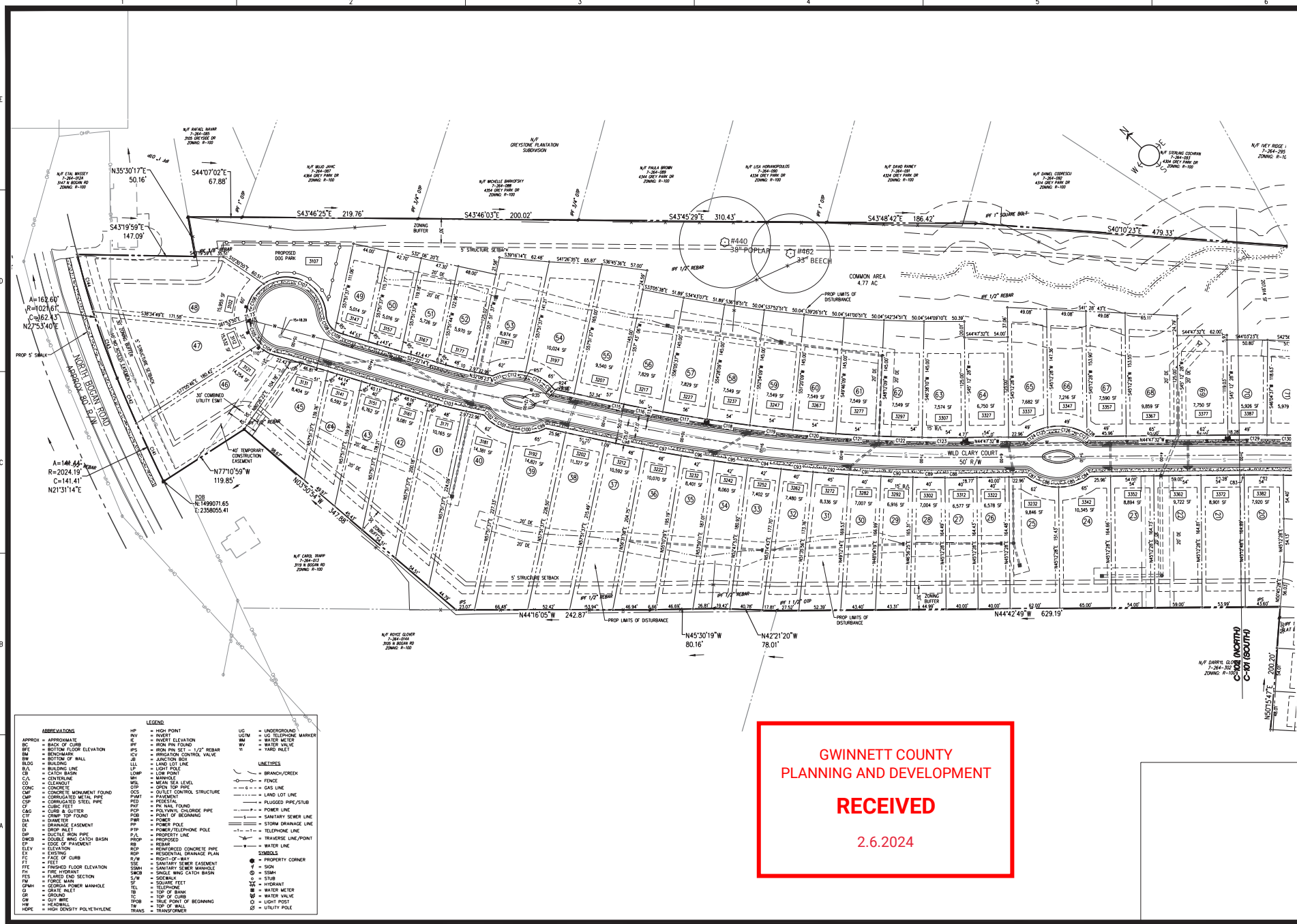
PROJECT NO. 2024-0009
DATE: 02/27/2024
DRAWN BY: J. GARDNER
CHECKED BY: J. GARDNER
SCALE: 1" = 50'

PROJECT NO. 2024-0009
DATE: 02/27/2024
DRAWN BY: J. GARDNER
CHECKED BY: J. GARDNER
SCALE: 1" = 50'

SCALE: 1" = 50'
0 50 100 150
feet
EDENGLLEN
7th LAND DISTRICT
MAYFIELD 7-264-024, 025, 027, 033, 035
14271 THOMPSON MIL ROAD
GWINNETT, GA 30088

FINAL PLAN (NORTH)

PROJECT # 2024.089
V-102



GWINNETT COUNTY
PLANNING AND DEVELOPMENT
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Exhibit C: Building Elevations

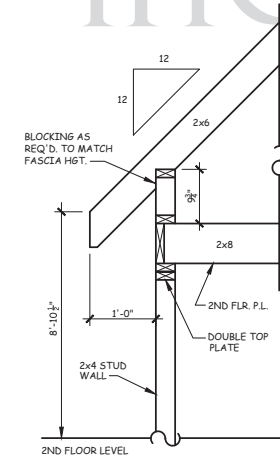
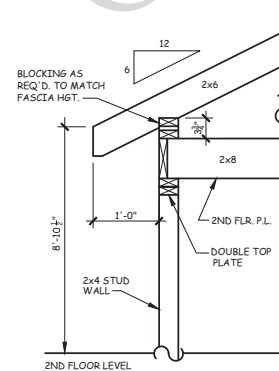
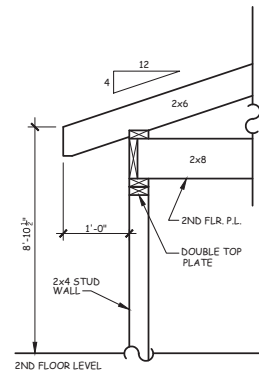
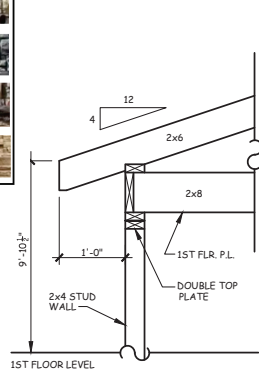
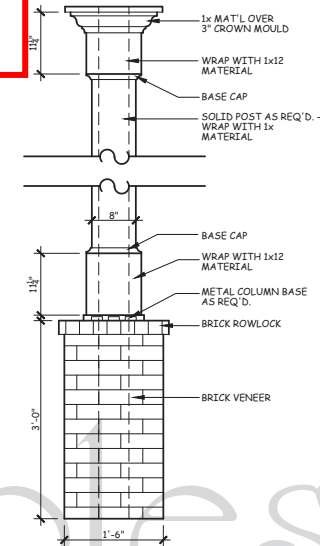
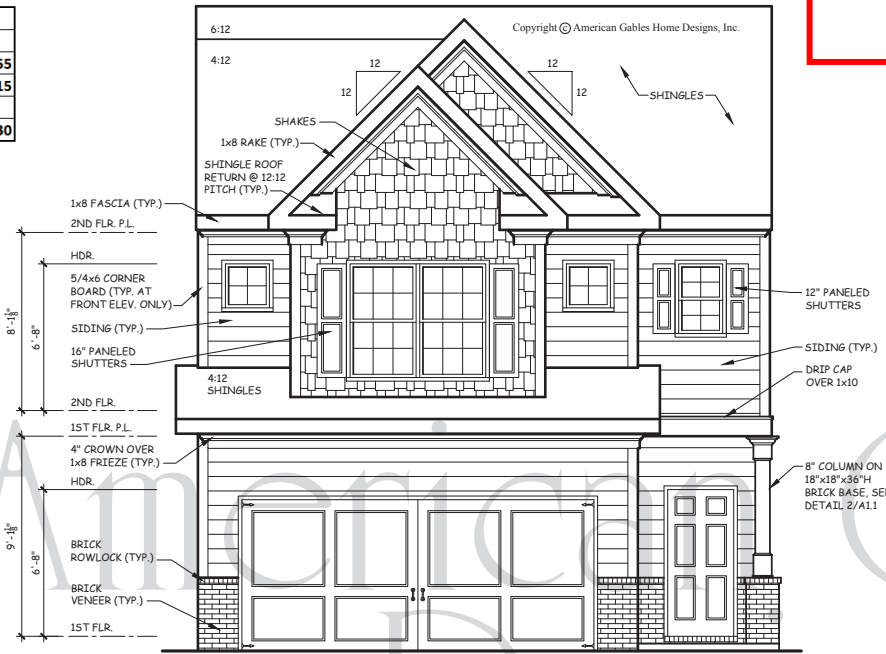
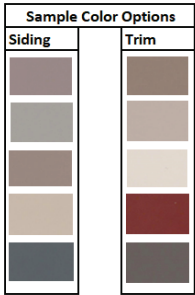
[attached]

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2.6.2024

Material Percentages	
Material	%
Siding	55
Brick	15
Stone	
Other	30

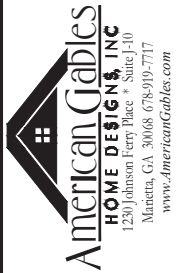
Colors are based upon the variety of schemes we offer as well as a design appointment with a certified decorator. This gives each house a personalized touch. Samples are below.



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AUDREY - A

FRONT ELEVATION
& EXTERIOR DETAILS



DRAWN BY: AMH

DATE: 07/29/14

REVISIONS:

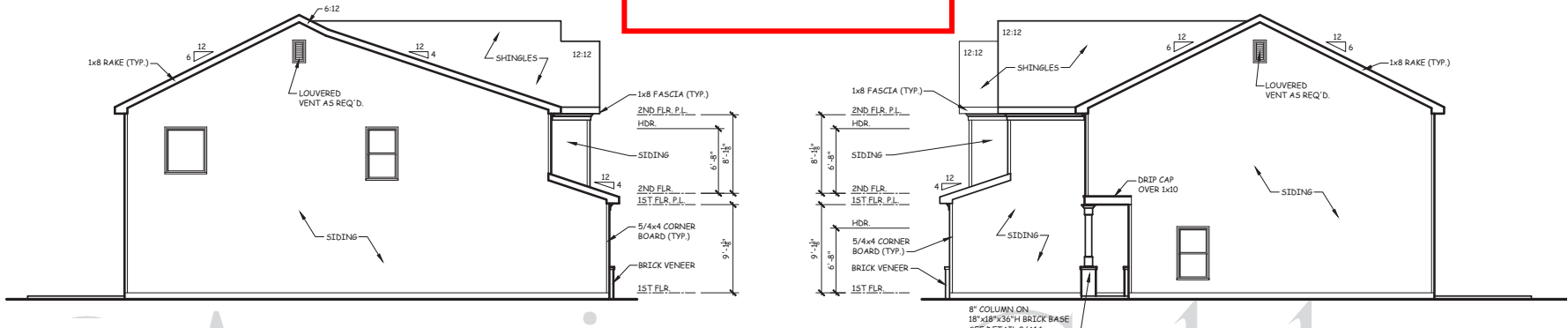
02/16/16-5345

SHEET

A1.1

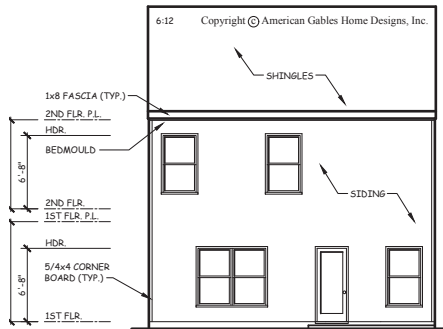
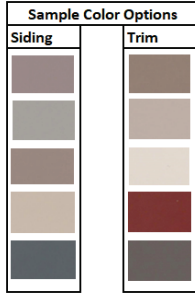
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2.6.2024



1 LEFT ELEVATION
A1.2 SCALE: 1/8" = 1'-0"

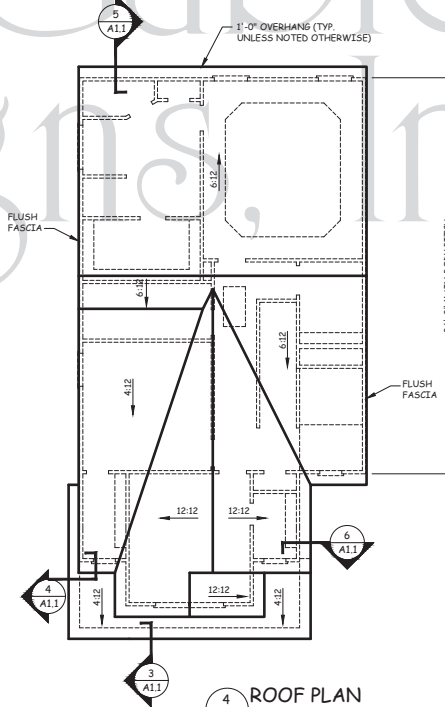
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A1.2 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
A1.2 SCALE: 1/8" = 1'-0"

NOTE:

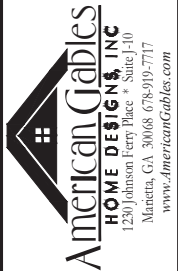
1. WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, ADD BLOCKING TO STEEPER PITCH AS REQUIRED TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG.
2. ELEVATIONS REFLECT A SLAB FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN.
3. PROVIDE ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS.
4. FOUNDATION WALLS, RETAINING WALLS, WINDOWS, AND DOORS ARE SUBJECT TO CHANGE DUE TO CHANGING SITE CONDITIONS.



4 ROOF PLAN
A1.2 SCALE: 1/8" = 1'-0"

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AUDREY - A
SIDE & REAR ELEVATIONS,
& ROOF PLAN



DRAWN BY: AMH
DATE: 07/29/14
REVISIONS:

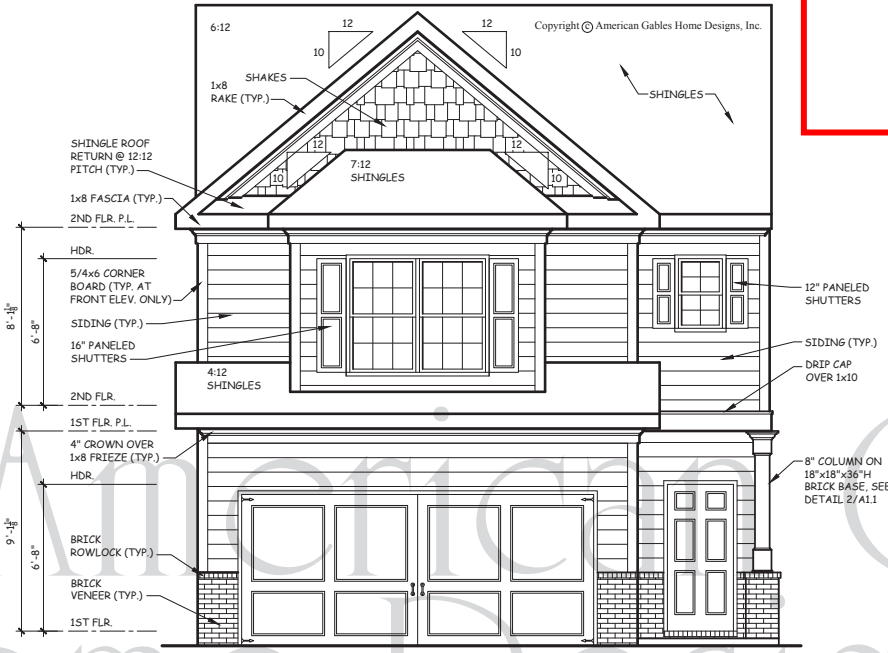
02/16/16-5345

SHEET
A1.2

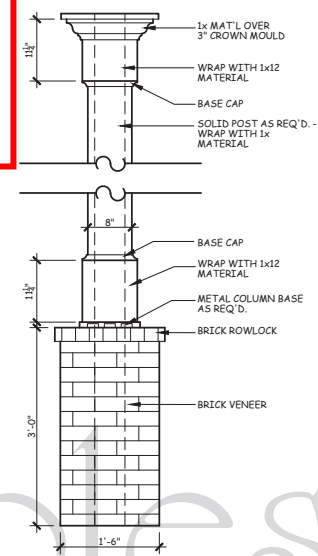
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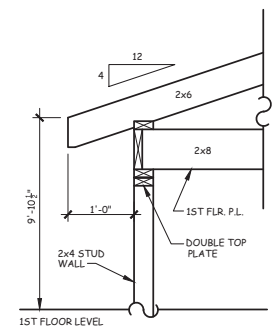
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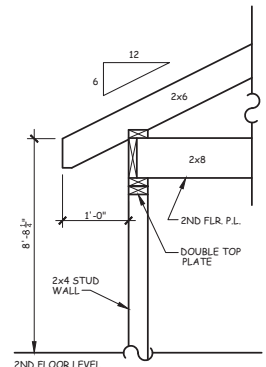
1 FRONT ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



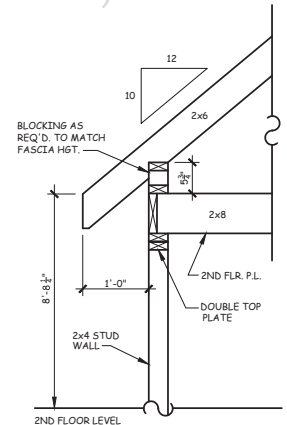
2 TYP. COLUMN DETAIL
A1.1 SCALE: 3/4" = 1'-0"



3 RAFTER FRAMING DETAIL
A1.1 SCALE: 3/4" = 1'-0"



4 RAFTER FRAMING DETAIL
A1.1 SCALE: 3/4" = 1'-0"



5 RAFTER FRAMING DETAIL
A1.1 SCALE: 3/4" = 1'-0"

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AUDREY - B

**FRONT ELEVATION
& EXTERIOR DETAILS**

American Gables
HOME DESIGNS & INC.
1230 Johnson Ferry Place, Suite 110
Marietta, GA 30068 (770) 919-7717
www.AmericanGables.com

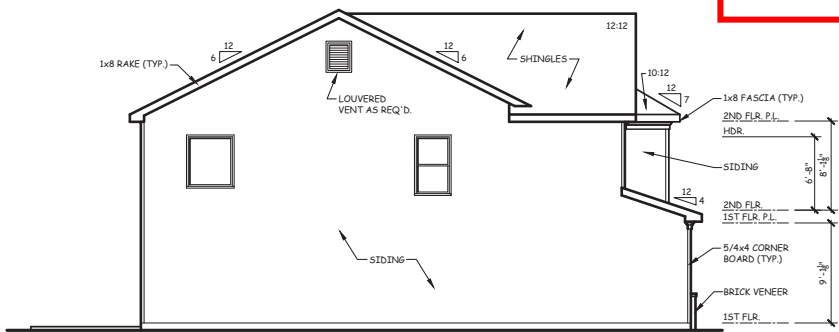
DRAWN BY:	AMH
DATE:	07/29/14
REVISIONS:	
	02/16/16-5345

SHEET **A1.1**

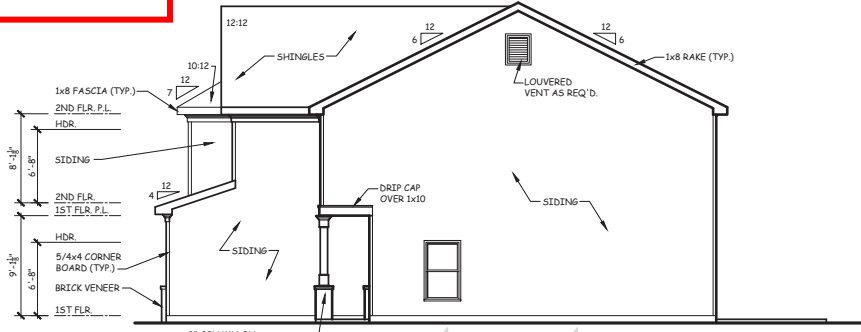
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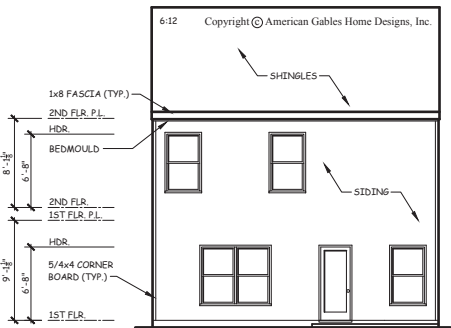
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A1.2 SCALE: 1/8" = 1'-0"



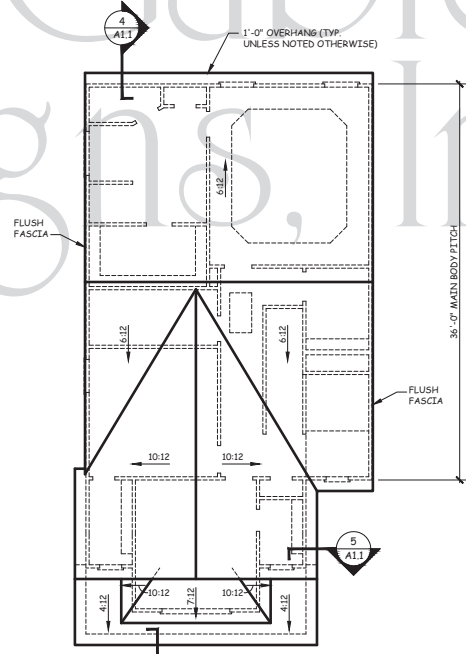
2 RIGHT ELEVATION
A1.2 SCALE: 1/8" = 1'-0"

© American Gables Home Designs, Inc.

NOTE:
1. WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, ADD BLOCKING TO STEEPER PITCH AS REQUIRED TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG.
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4. FOUNDATION WALLS, RETAINING WALLS, WINDOWS, AND DOORS ARE SUBJECT TO CHANGE DUE TO CHANGING SITE CONDITIONS.



3 REAR ELEVATION
A1.2 SCALE: 1/8" = 1'-0"



4 ROOF PLAN
A1.2 SCALE: 1/8" = 1'-0"

AUDREY - B
SIDE & REAR ELEVATIONS,
& ROOF PLAN

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HOME DESIGNS, INC.
1230 Johnson Ferry Place, Suite 1-10
Marietta, GA 30068 (770)919-7717
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DRAWN BY: AMH
DATE: 07/29/14
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02/16/16-5345

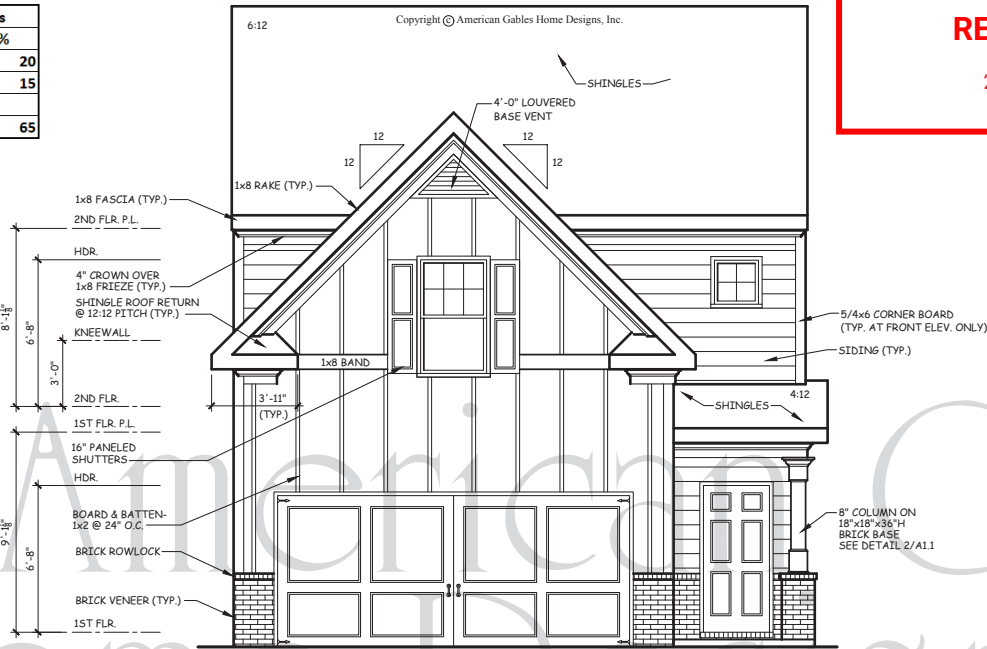
SHEET
A1.2

**GWINNETT COUNTY
PLANNING AND DEVELOPMENT**

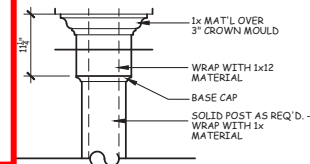
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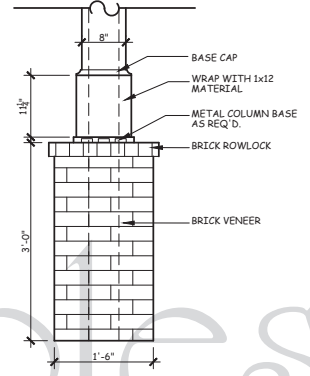
Material Percentages	
Material	%
Siding	20
Brick	15
Stone	
Other	65



1 FRONT ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



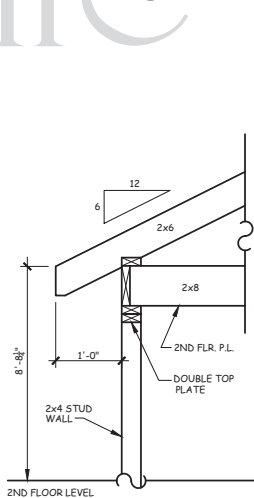
2 TYP. COLUMN DETAIL
A1.1 SCALE: 3/4" = 1'-0"



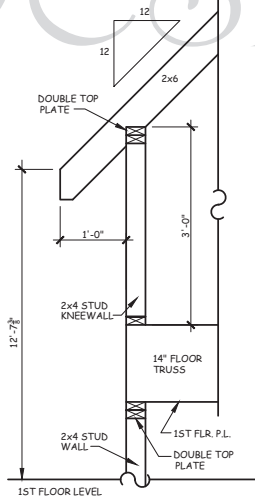
Sample Color Options	
Siding	Trim

Sample Color Options	
Brick	Stone

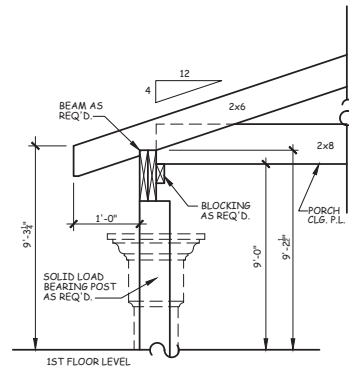
Colors are based upon the variety of schemes we offer as well as a design appointment with a certified decorator. This gives each house a personalized touch. Samples are below.



3 RAFTER FRAMING DETAIL
A1.1 SCALE: 3/4" = 1'-0"



4 RAFTER FRAMING DETAIL
A1.1 SCALE: 3/4" = 1'-0"



5 PORCH FRAMING DETAIL
A1.1 SCALE: 3/4" = 1'-0"

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HAILEY

FRONT ELEVATION,
& EXTERIOR DETAILS

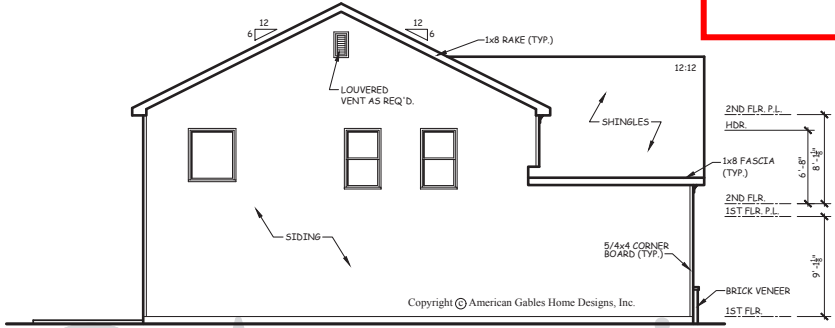
DRAWN BY:	AMH
DATE:	07/28/14
REVISIONS:	
	02/16/16-5345

SHEET **A1.1**

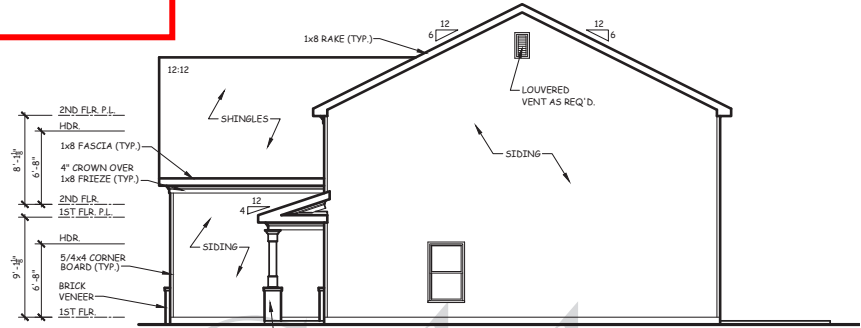
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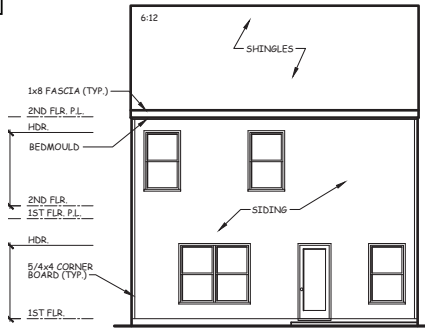
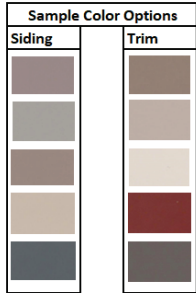
2.6.2024



1 LEFT ELEVATION
A1.2 SCALE: 1/8" = 1'-0"



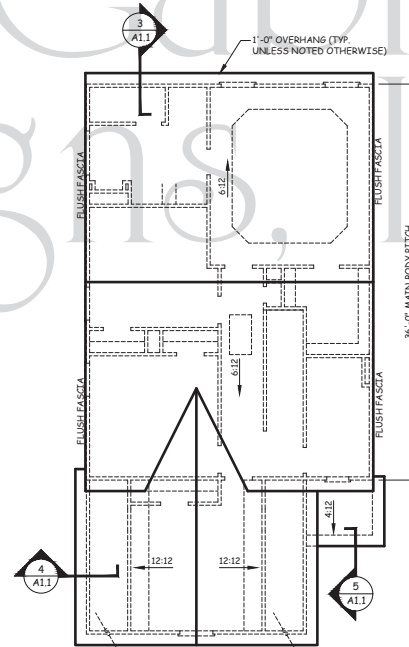
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A1.2 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
A1.2 SCALE: 1/8" = 1'-0"

NOTE:

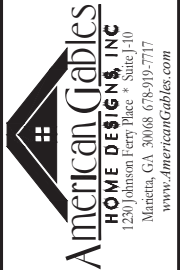
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2. ELEVATIONS REFLECT A SLAB FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN.
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4 ROOF PLAN
A1.2 SCALE: 1/8" = 1'-0"

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HAILEY
SIDE & REAR ELEVATIONS,
& ROOF PLAN



DRAWN BY: AMH
DATE: 07/28/14
REVISIONS:
02/16/16-5345

SHEET
A1.2

MODEL:

LOCATION:

REVISIONS

NUMBER	DATE









PRINT DATE:

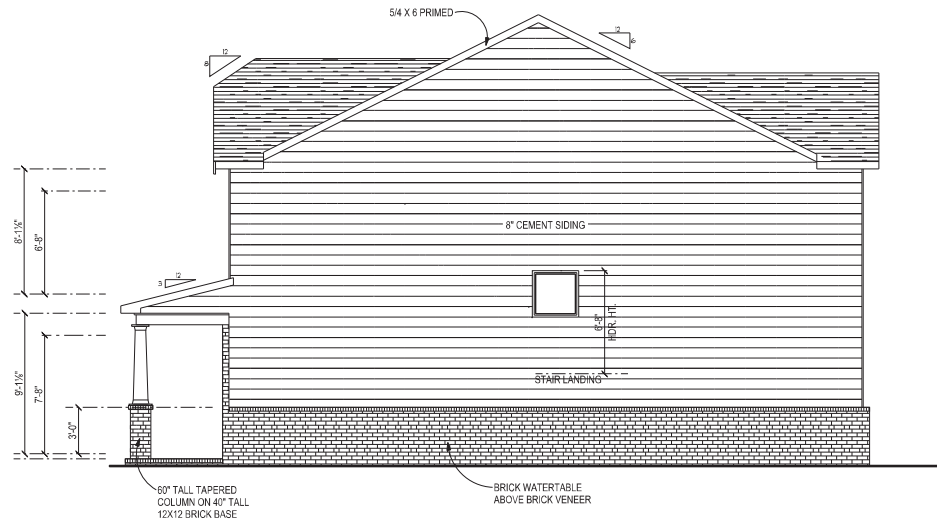
11/9/2023

SHEET TITLE:
 RIGHT AND
 REAR
 ELEVATION
 SHEET:

3 of 9

Sample Color Options













Brick	Stone
	
	
	
	
	
	



RIGHT ELEVATION-B

SCALE: 1/8" = 1'-0"

Sample Color Options

Siding	Trim
	
	
	
	
	
	



REAR ELEVATION-B

SCALE: 1/8" = 1'-0"

BUILDER NOTES:

1. USE ALL SCRAPS LUMBER FOR DRYWALL BACKING
2. ALL NON-LOAD BEARING WALLS TO BE FRAMED 24" O.C.
3. ALL INTERIOR WALLS TO BE FRAMED 24" O.C.
3. 1 SHEET PLYWOOD IN ATTIC ACCESS AREAS
4. NO OSB WASTE

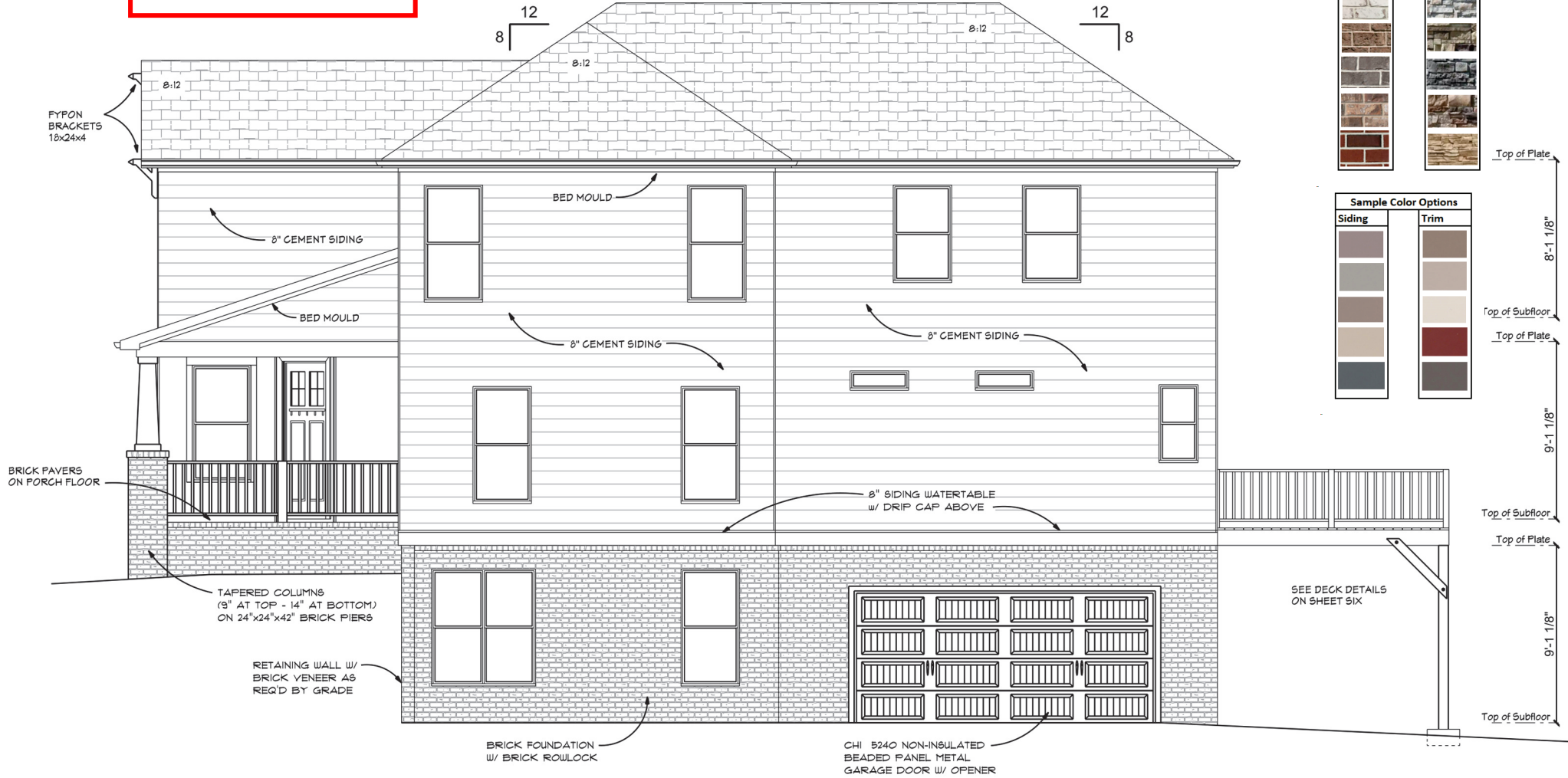
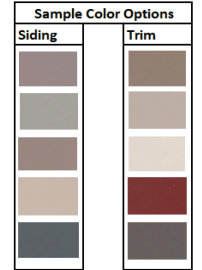
RELEASED FOR CONSTRUCTION

GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
RECEIVED
 2.6.2024

RECEIVED

2.6.2024

Colors are based upon the variety of schemes we offer as well as a design appointment with a certified decorator. This gives each house a personalized touch. Samples are below.



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

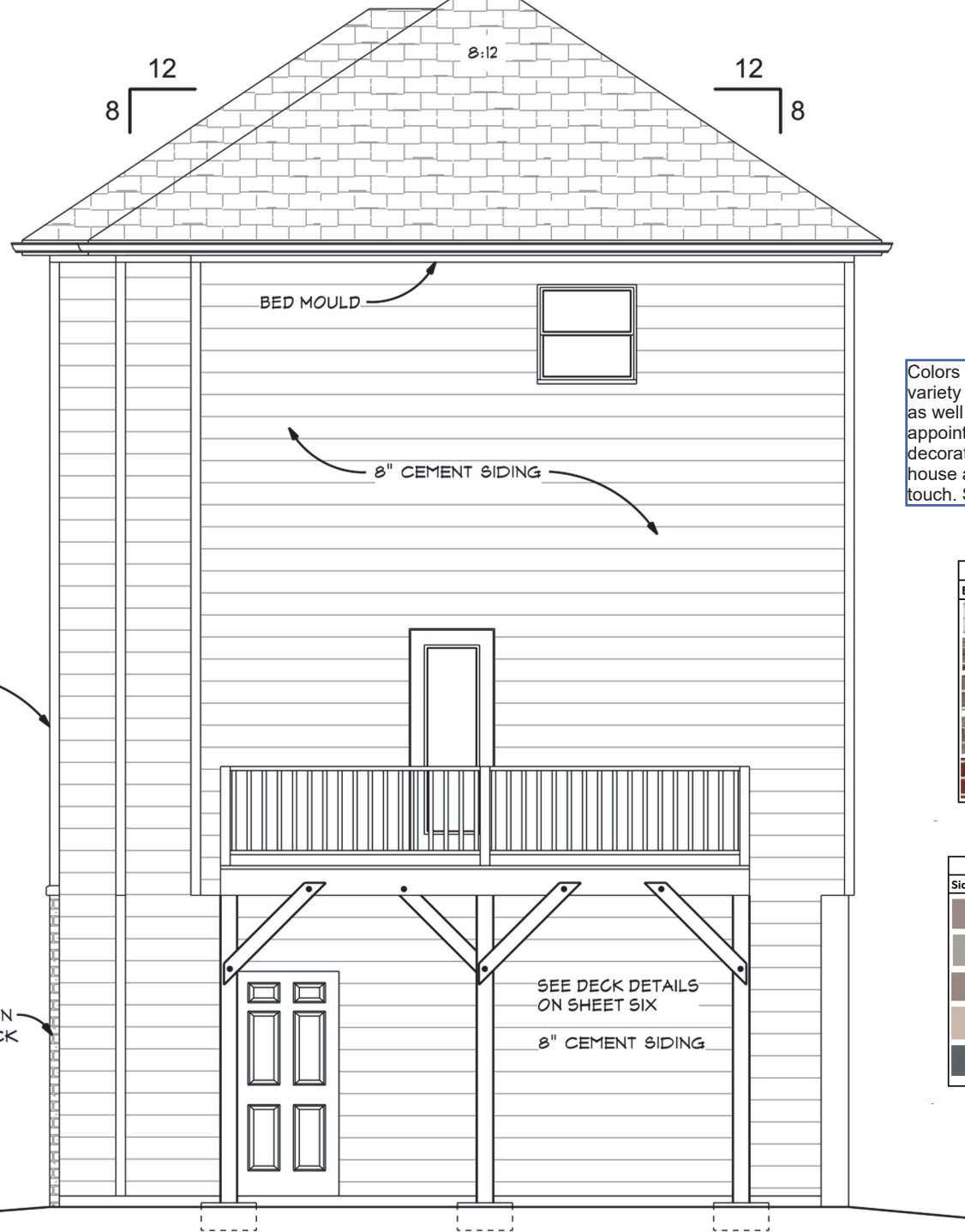
RECEIVED

2.6.2024

Top of Plate
8'-1 1/8"
Top of Subfloor
Top of Plate
9'-1 1/8"
Top of Subfloor
Top of Plate
9'-1 1/8"
Top of Subfloor

1x4 CORNER
BOARDS

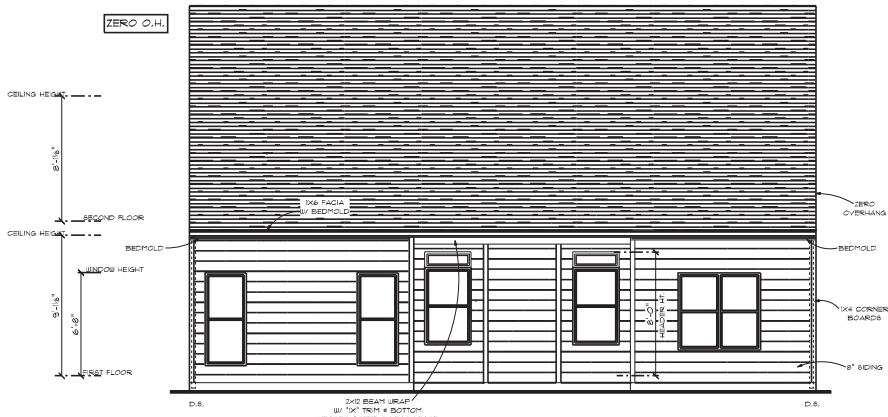
BRICK FOUNDATION
W/ BRICK ROWLOCK



Colors are based upon the variety of schemes we offer as well as a design appointment with a certified decorator. This gives each house a personalized touch. Samples are below.

Sample Color Options	
Brick	Stone

Sample Color Options	
Siding	Trim



REAR ELEVATION (B1)

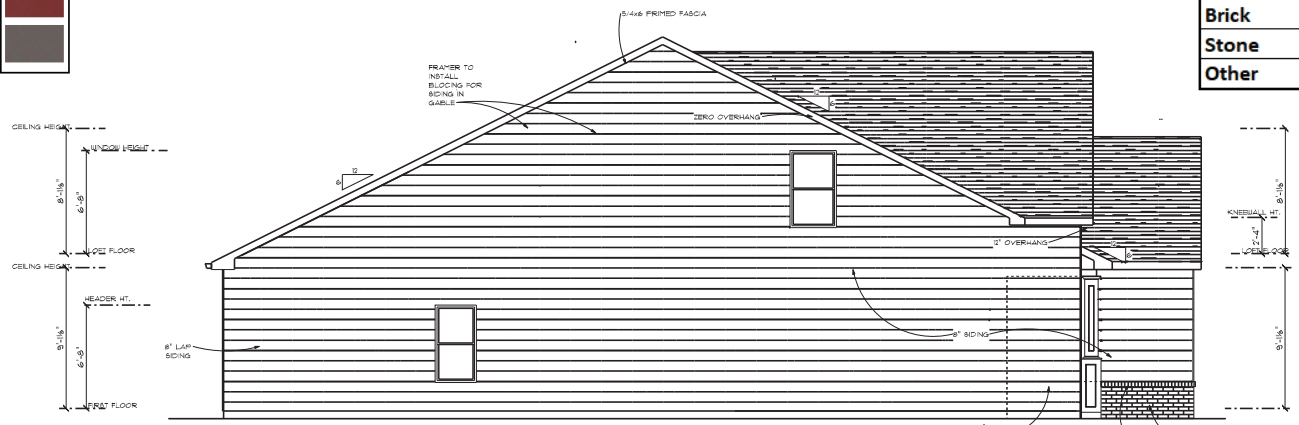
SCALE: 1/8" = 1'-0"

Material Percentages	
Material	%
Siding	100
Brick	0
Stone	0
Other	0

Sample Color Options	
Brick	Stone

Sample Color Options	
Siding	Trim

Material Percentages	
Material	%
Siding	90
Brick	10
Stone	0
Other	0

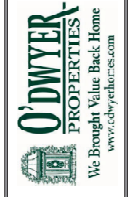


LEFT ELEVATION (B1)

SCALE: 1/8" = 1'-0"

- BUILDER NOTES:**
- USE ALL SCRAPS LUMBER FOR CRYSTALL BACKING
 - ALL NON-LOAD BEARING WALLS TO BE FRAMED 24" O.C.
 - ALL INTERIOR WALLS TO BE FRAMED 24" O.C.
 - 1 SHEET PLYWOOD IN ATTIC ACCESS AREAS
 - NO OSB WASTE

RELEASED FOR CONSTRUCTION



MODEL: KILLARNEY - ELEVATION B1-1
COOKS FARM LOT 13
LOCATION: 3012 FARM TRACT TRAIL
WOODSTOCK, GA 30189

REVISIONS	
NUMBER	DATE

PRINT DATE:
10/19/2023

SHEET TITLE:
LEFT - REAR ELEV_B1

SHEET:
3 OF 10

GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RECEIVED
2.6.2024

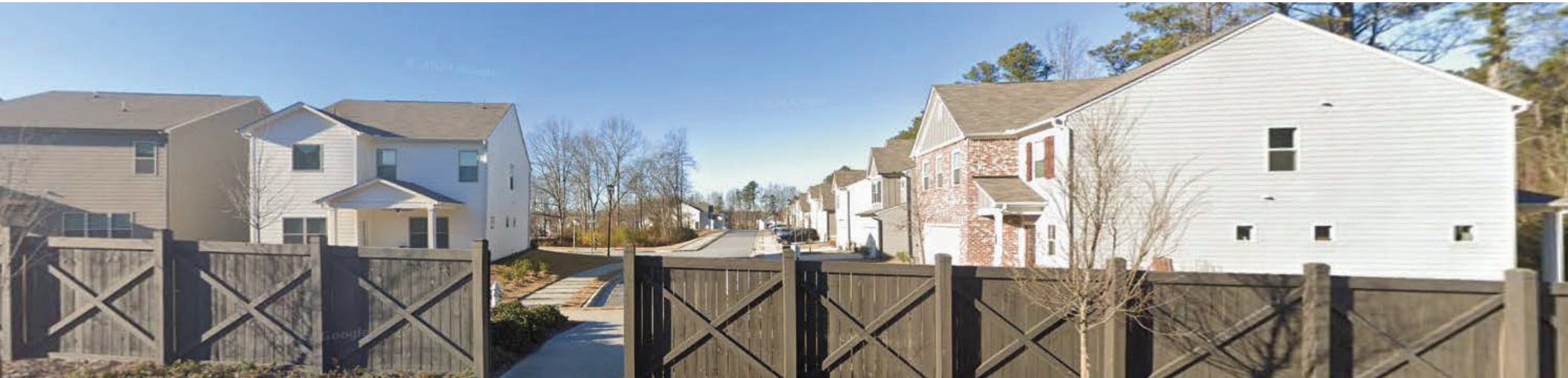
GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RECEIVED
2.6.2024



GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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2.6.2024



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2.6.2024



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2.6.2024



Exhibit D: Previously Adopted Resolution (RZ2021-00011)

[attached]

GWINNETT COUNTY
BOARD OF COMMISSIONERS
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: AMENDMENT TO THE OFFICIAL ZONING MAP

ADOPTION DATE: APRIL 27, 2021

At the regular meeting of the Gwinnett County Board of Commissioners held in the Gwinnett Justice and Administration Center, Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

	<u>Present</u>	<u>Vote</u>
Nicole L. Hendrickson, Chairwoman	Yes	Aye
Kirkland Carden, District 1	Yes	Aye
Ben Ku, District 2	Yes	Aye
Jasper Watkins, III, District 3	Yes	Aye
Marlene Fosque, District 4	Yes	Aye

On motion of COMMISSIONER FOSQUE, which carried 5-0, the following Resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from R-SR to TND by O'DWYER PROPERTIES, LLC for the proposed use of TRADITIONAL NEIGHBORHOOD DEVELOPMENT on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on APRIL 27, 2021 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners, this the 27th day of APRIL 2021, that the aforesaid application to amend the Official Zoning Map from R-SR to TND is hereby **APPROVED** with the following enumerated conditions:

1. No more than 66 of the total number of lots may be categorized as “small lots” per the TND standards within the Unified Development Ordinance.
2. No more than 22 of the total number of lots may be categorized as “mid-size lots” per the TND standards within the Unified Development Ordinance.
3. No less than 14 of the total number of lots may be categorized as “large lots” per the TND standards within the Unified Development Ordinance.
4. The minimum heated floor area per dwelling shall be as follows:
 - A. Small Lot dwellings: 1,850 square feet; provided, however, that no more than 50 percent of such homes shall have less than 2,000 square feet of heated floor.
 - B. Mid-size Lot dwellings: 2,400 square feet
 - C. Large Lot dwellings: 2,400 square feet
5. Homes shall be constructed with front and side façades primarily of brick and/or stacked stone. The balance of the home may be the same or of cedar or fiber-cement siding or shake with a minimum three-foot high brick or stacked stone water table.
6. Provide a 30-foot buffer along all exterior property lines adjacent to R-100 zoned property.

7. The Thompson Mill Road frontage shall be landscaped by the developer and maintained by the Homeowners Association and shall include a decorative masonry entrance feature. Landscape and entrance plans shall be subject to review and approval by the Director of Planning and Development.
8. A mandatory Homeowners Association shall be established and shall be responsible for maintenance of all common areas/facilities and street frontage landscaping.
9. Common area shall be provided in general accordance with the submitted rezoning exhibit. Design and location shall be subject to the review and approval by the Director of Planning and Development.
10. All utilities shall be placed underground.
11. Direct lot access to Thompson Mill Road and North Bogan Road shall be prohibited.
12. All grassed areas on dwelling lots shall be sodded.
13. All utilities shall be placed underground.
14. Natural vegetation shall remain on the property until the issuance of a subdivision development permit.
15. Coordinate with Gwinnett County DOT project manager with Gwinnett DOT project M-1059.
16. An interconnected street grid pattern shall not be required as depicted on the submitted site plan.
17. Ingress/egress easement to parcels R7264 258 and R7264 049 shall be provided to proposed Street A in the general location of Lot 83 as depicted on the submitted site plan in lieu of ingress/egress easement to Thompson Mill Road.

WINNETT COUNTY BOARD OF COMMISSIONERS

By: Nicole L. Hendrickson
Nicole L. Hendrickson, Chairwoman

Date Signed: 5-18-21

ATTEST:

Diane Kemp
County Clerk/Deputy County Clerk



Exhibit E: Letter of Intent and Applicant's Response to Standards

[attached]

ODWYER PROPERTIES LLC
850 OLD ALPHARETTA ROAD
ALPHARETTA, GA 30005
770-887-2177

Jan 2, 2024

Gwinnett County

Re: Intent to request a modification to zoning condition #5 for RZR2021-00011 to allow for more varied architectural elevations in the TND community, Edenglen.

Dear Gwinnett County Board of Commissioners:

O'Dwyer Properties is requesting a modification to the zoning condition #5 for RZR2021-000111. The condition states: *Homes shall be constructed with front and side facades primarily of brick and/or stacked stone. The balance of the home may be the same or of cedar or fiber cement siding on shake with a minimum three-foot high brick or stacked stone water table.*

We believe the purpose and intent of this condition is to improve the aesthetic appearance, enhance community character and focus upon the creation of quality homes in the area. We believe that we can achieve this goal with a modification to this zoning condition. This also follows the goal of the TND zoning to have a variety of products, elevations, and price points.

We are requesting that the condition be changed to our previous community Edenbrook which stated *Homes shall be constructed with facades of brick, stacked stone, cedar plank or shake, fiber-cement siding, board and batten, and/or shake, in general accordance with the building designs presented at the October 2,2018 Planning commission public heading, with a minimum two-foot brick or stacked stone water able. At least 20% of the homes shall have front facades of primarily brick and/or stone.* This community is located minutes away from Edenglen and has just finished construction of all the houses.

The adjacent communities have many houses that would not meet the current requirement as shown in Exhibit A. Also the idea that brick adds value is not the case anymore due to the desire of many homeowners want more of a farmhouse and craftman looks, which fits well within the existing area. See exhibit B for our requested elevations matching these elevations.

In summary we respectfully request the Board to modify zoning condition #5 from the edenglen property to allow us to provide a unique community that doesn't look like ~100 similar homes. Based upon our past community Edenbrook, modifying this requirement adds value to the surrounding area.

Sincerely,



Jordan Tench
Director of Land Acquisition and Development
O'Dwyer Properties, LLC
770-887-2177

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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1.24.2024

RECEIVED

1.24.2024

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

Pursuant to requirements of the Unified Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

Please respond to the following standards in the space provided or use attachment as necessary:

- (A) Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property:

Please see attached.

- (B) Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property:

Please see attached.

- (C) Whether the property to be affected by a proposed change in conditions has reasonable economic use as currently zoned:

Please see attached.

- (D) Whether the proposed change in conditions will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

Please see attached.

- (E) Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map:

Please see attached.

- (F) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions:

Please see attached.

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) Yes, approval of the application will permit a use that is suitable in view of the use and development of adjacent and nearby property. The proposed development would still provide homes that are compatible with surrounding development.
- (B) No, approval of the application will not adversely affect the existing use or usability of any of the nearby properties. The proposed use is compatible with surrounding and nearby residential and commercial land uses. A modification of the required building materials would not (and could not) affect the use or usability of surrounding property.
- (C) Due to the size, location, layout and dimensions of the subject property, the Applicant submits that the property does not have reasonable economic use as currently zoned with the existing zoning conditions.
- (D) No, approval of the application will not result in an excessive or burdensome use of the infrastructure systems. The Property is conveniently-located near major thoroughfares with access to utilities. The requested application would not change the number of lots permitted in the development.
- (E) Yes, approval of the application would be in conformity with the policy and intent of the Gwinnett County 2040 Unified Plan. Residential neighborhoods are encouraged by the 2040 Unified Plan policies for the subject Character Area. Allowing flexibility in building materials would increase access to housing for future buyers.
- (F) The Applicant submits that the proposed building materials would actually result in a more attractive neighborhood with variety of housing styles and building materials.



Exhibit F: Application and Disclosure of Campaign Contributions

[attached]

RECEIVED

1.24.2024

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

Pursuant to requirements of the Unified Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

Please respond to the following standards in the space provided or use attachment as necessary:

- (A) Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property:

Please see attached.

- (B) Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property:

Please see attached.

- (C) Whether the property to be affected by a proposed change in conditions has reasonable economic use as currently zoned:

Please see attached.

- (D) Whether the proposed change in conditions will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

Please see attached.

- (E) Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map:

Please see attached.

- (F) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions:

Please see attached.

RECEIVED

2.6.2024

CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

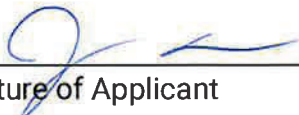
APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
Name: <u>Owner c/o Mahaffey Pickens Tucker, LLP</u>	Name: <u>Edenglen, LLC</u>
Address: <u>1550 North Brown Road, Suite 125</u>	Address: <u>850 Old Alpharetta Road</u>
City: <u>Lawrenceville, GA 30043</u>	City: <u>Alpharetta</u>
State: <u>Georgia</u> ZIP: <u>30043</u>	State: <u>Georgia</u> ZIP: <u>30005</u>
Phone: <u>770 232 0000</u>	Phone: <u>770 232 0000</u>
Email: <u>slanham@mptlawfirm.com</u>	Email: <u>slanham@mptlawfirm.com</u>
Contact Person: <u>Shane Lanham</u> Phone: <u>770 232 0000</u>	
Contact's Email: <u>slanham@mptlawfirm.com</u>	
APPLICANT IS THE:	
<input type="checkbox"/> Owner's Agent <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Contract Purchaser	
Zoning District(s): <u>TND</u> Prior Zoning Case No.: <u>RZR2021-00011</u>	
Parcel Number(s): <u>R7264 024, 025, 027, 053, 055, & 303</u> Acreage: <u>+/- 27.75</u> <small>4200 Block of Thompson Mill Road & 3100 Block of North Bogan Road</small>	
Property Address(es): <u>4269, 4273, & 4271 Thompson Mill Road</u>	
Proposed Change in Conditions: <u>To modify building materials requirements</u>	
Variance(s): <u>none</u> Waiver(s): <u>none</u>	
RESIDENTIAL DEVELOPMENT: No. of Dwelling Units: <u>102</u> Dwelling Unit Sq. Ft.: <u>varies per zoning condition</u> Density: <u>+/-3.68 units per acre</u> Floor Area Ratio (LRR, MRR, HRR): <u>NA</u>	NON-RESIDENTIAL DEVELOPMENT No. of Buildings: <u>NA</u> Total Building Sq. Ft.: <u>NA</u> Floor Area Ratio: <u>NA</u>
MIXED-USE DEVELOPMENT	
No. of Dwelling Units: <u>NA</u> Dwelling Unit Sq. Ft.: <u>NA</u>	
Total Non-Residential Sq. Ft.: <u>NA</u> Floor Area Ratio: <u>NA</u>	

RECEIVED

1.24.2024

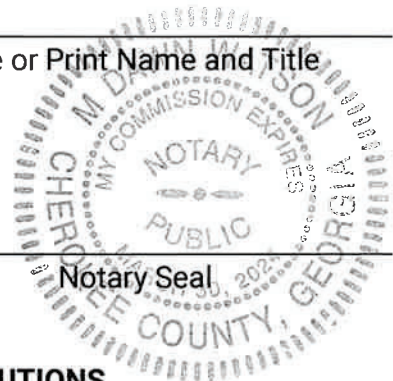
CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

 1/23/24 JORDAN TENCH MANAGER
Signature of Applicant Date Type of Print Name and Title

Signature of Applicant's Attorney or Representative Date Type or Print Name and Title

 1/23/24
Signature of Notary Public Date



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners?

Yes No Edenglen, LLC (Your Name)

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

**CONFLICT OF INTEREST CERTIFICATION FOR REZONING/CHANGE IN
CONDITIONS AND SPECIAL USE PERMIT APPLICATIONS**

MAHAFFEY PICKENS TUCKER, LLP

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS	DATE
Ben Ku, Commissioner	\$1,500	10/03/2022
Matt Holtkamp, Commissioner	\$1,000	04/13/2023
Nicole Love Hendrickson, Chairwoman	\$2,500	08/11/2023
Matt Holtkamp, Commissioner	\$3,300	09/18/2023
Kirkland Carden, Commissioner	\$3,300	09/27/2023

Lee Tucker, Attorney at Law, P.C.

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS	DATE
Kirkland Carden, Commissioner	\$2,000	10/25/2023

Jeffrey Mahaffey, Attorney at Law, Individually

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS	DATE
Nicole Love Hendrickson, Chairwoman	\$1,000	08/14/2023



Exhibit G: Public Participation Plan and Report

[attached]

Public Participation Report

1. List all groups that you notified of the requested application. Include a copy of the notification package and stamped Postal Service Form 3877 (attached) with itemized name and address of each addressee.

2. Provide the date, time, and location of all meeting(s) that the applicant and/or representative attended to discuss an application with interested parties.

3. Provide the number of people who participated in the meeting(s). Include the sign-in sheet(s) with meeting date, time, location, and attendee names.

4. What issues and concerns were expressed by attendees at the meeting(s)?

5. What are the applicant's responses to the issues and concerns that were expressed at the meetings? What changes to the development will be made?

Exhibit H: Internal and External Agency Review Comments

[attached]



Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:		03.01.2024	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 1	
Reviewer Email Address:		Brent.Hodges@gwinnettcounty.com	
Case Number:		CIC2024-00009	
Case Address:		4200 Block of Thompson Mill Road and 3100 Block of North Bogan Road, Buford, 30519	
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		YES	NO
1	Thompson Mill Road is a major collector. ADT = 7,307.		
2	4.6 miles to the nearest transit facility (#2334754) at the Buford/SR 20 Park and Ride.		
3			
4			
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input checked="" type="checkbox"/>
		YES	NO
1			
2			
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021

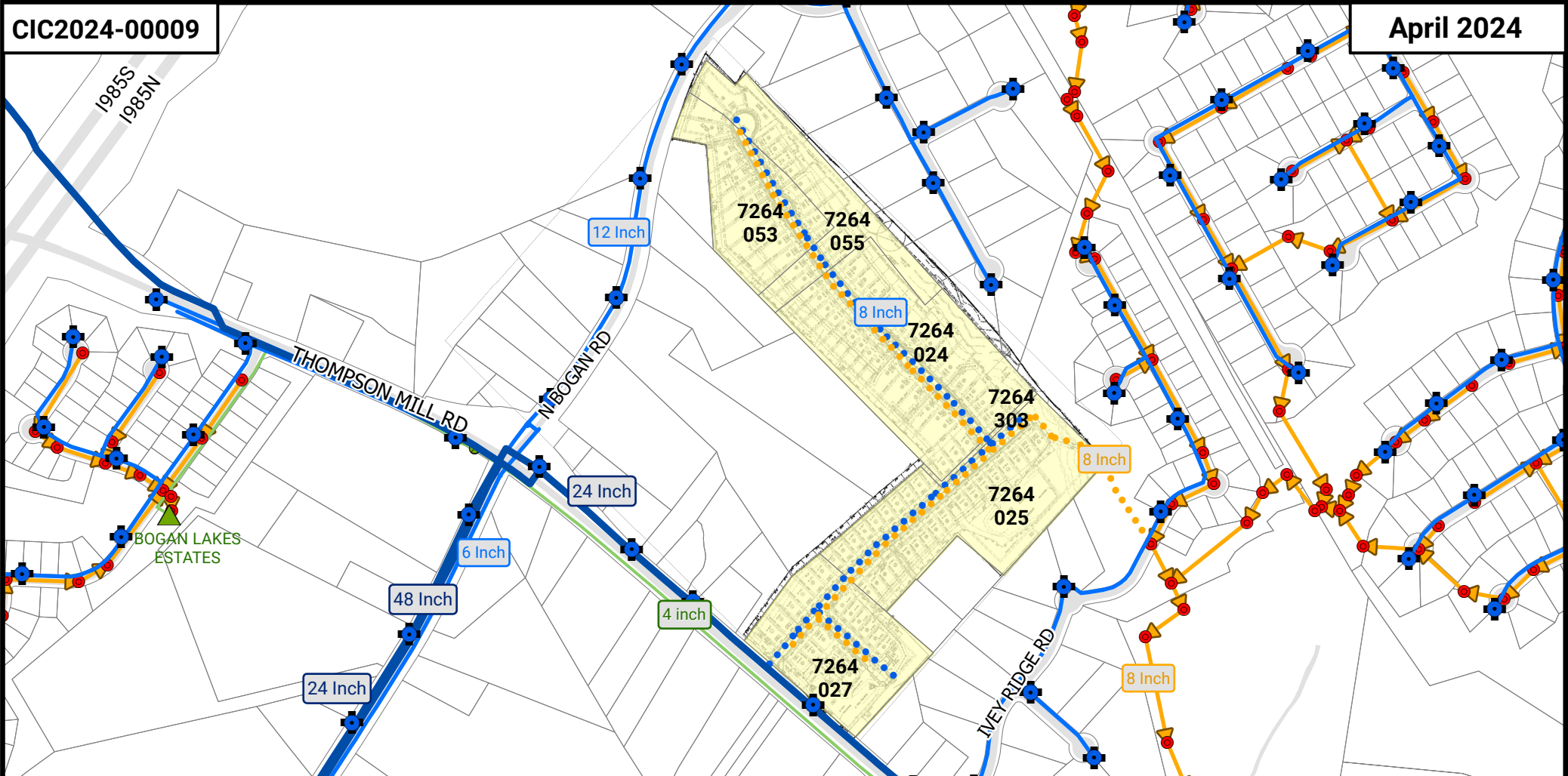


**Department of Planning and Development
TECHNICAL REVIEW COMMITTEE**

TRC Meeting Date:				
Department/Agency Name:		DWR		
Reviewer Name:		Mike Pappas		
Reviewer Title:		GIS Planning Manager		
Reviewer Email Address:		Michael.pappas@gwinnettcountry.com		
Case Number:		CIC2024-00009		
Case Address:		4200 Block of Thompson Mill Road & 3100 Block of North Bogan Road, 4269, 4273, & 4271 Thompson Mill Road		
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1	Water: The development is under construction and plans to connect to an existing 24-inch water main along the northern right-of-way of Thompson Mill Road.			
2	Sewer: The development is under construction and plans to connect to an existing 8-inch gravity sewer located within the right-of-way of Ivey Ridge Road. A Sewer Capacity Certification (C2022-01-006) was approved for 102 single-family residences.			
3				
4				
5				
6				
7				
Recommended Zoning Conditions:		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1				
2				
3				
4				
5				
6				
7				

Note: Attach additional pages, if needed

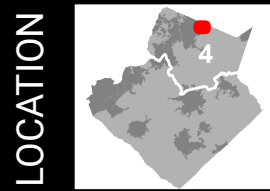
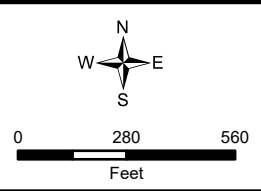
Revised 7/26/2021



LEGEND

- Water Main
- Hydrant
- Proposed Water Main
- Manhole
- Sewer Collector
- Sewer Force Main
- Pump Station
- Proposed Sewer Collector

4200 Block of Thompson Mill Rd
TND
Water & Sewer
Utility Map



Water Comments: The development is under construction and plans to connect to an existing 24-inch water main along the northern right-of-way of Thompson Mill Road.

Sewer Comments: The development is under construction and plans to connect to an existing 8-inch gravity sewer located within the right-of-way of Ivey Ridge Road. A Sewer Capacity Certification (C2022-01-006) was approved for 102 single-family residences.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Residential Rezoning Impact on Local Schools
 Prepared for Gwinnett County BOC, **April, 2024**

											Proposed Zoning
	School	2023-24			2024-25			2025-26			Approximate Student Projections from Proposed Developments
		Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	
CIC2024-00009	Seckinger HS	2,004	2,800	-796	2,226	2,800	-574	2,330	2,800	-470	31
	Jones MS	1,699	1,575	124	1,767	1,575	192	1,870	1,575	295	25
	Harmony ES	602	700	-98	595	700	-105	588	700	-112	46
RZR2024-00012	Grayson HS	3,420	3,000	420	3,506	3,000	506	3,576	3,000	576	26
	Bay Creek MS	1,361	1,150	211	1,380	1,150	230	1,433	1,150	283	18
	Trip ES	1,386	1,200	186	1,422	1,200	222	1,460	1,200	260	32
RZM2024-00006	Shiloh HS	2,260	2,275	-15	2,294	2,275	19	2,328	2,275	53	20
	Shiloh MS	1,695	1,600	95	1,729	1,600	129	1,755	1,600	155	13
	Annistown ES	705	625	80	688	625	63	681	625	56	25
RZR2024-00009	Mill Creek HS	2,685	2,800	-115	2,644	2,800	-156	2,697	2,800	-103	2
	Osborne MS	1,737	1,575	162	1,770	1,575	195	1,833	1,575	258	1
	Puckett's Mill ES	770	1,200	-430	778	1,200	-422	786	1,200	-414	2

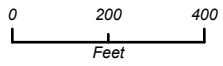
Exhibit I: Maps

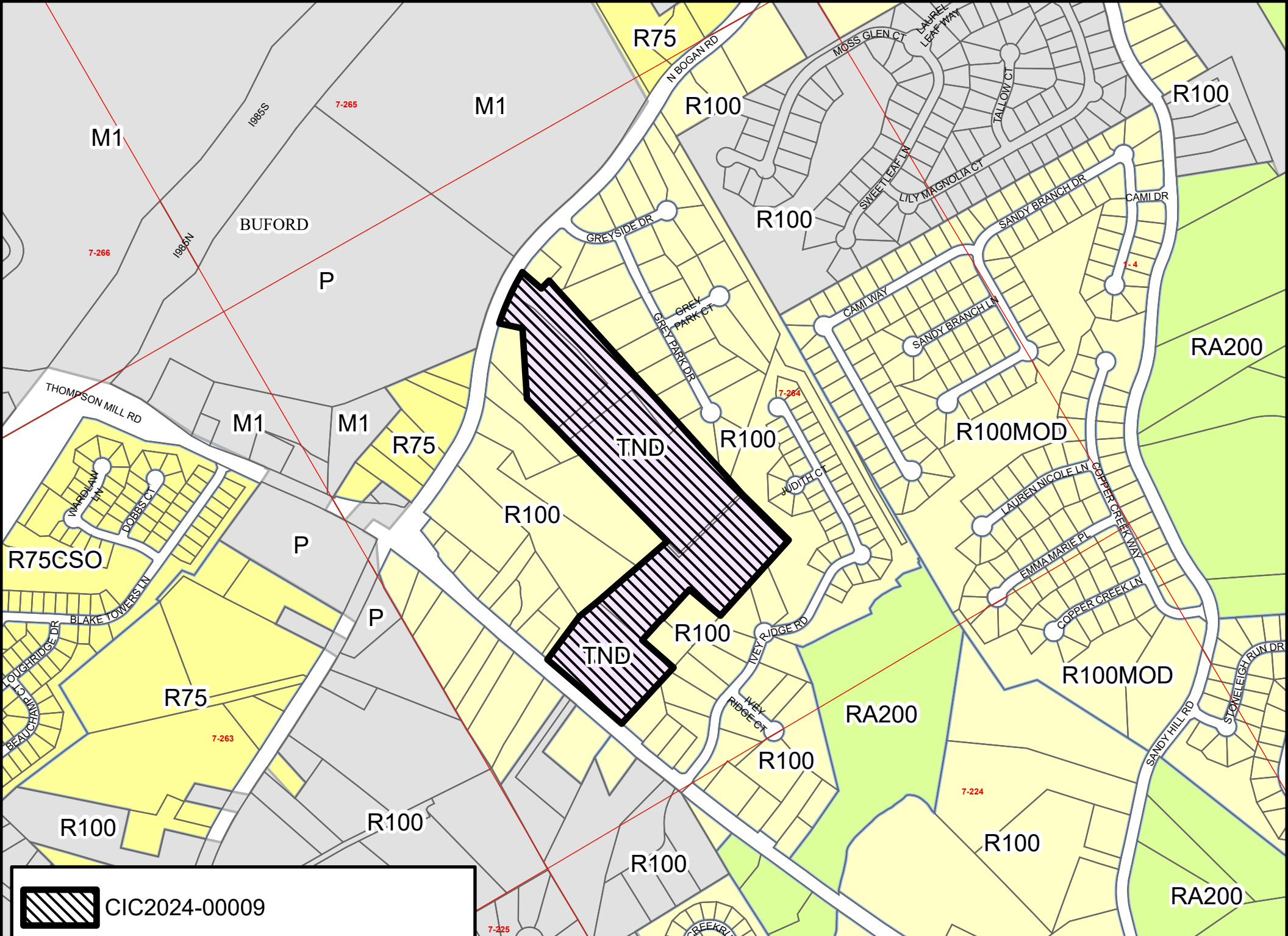
[attached]



 CIC2024-00009

Created: February 14, 2024





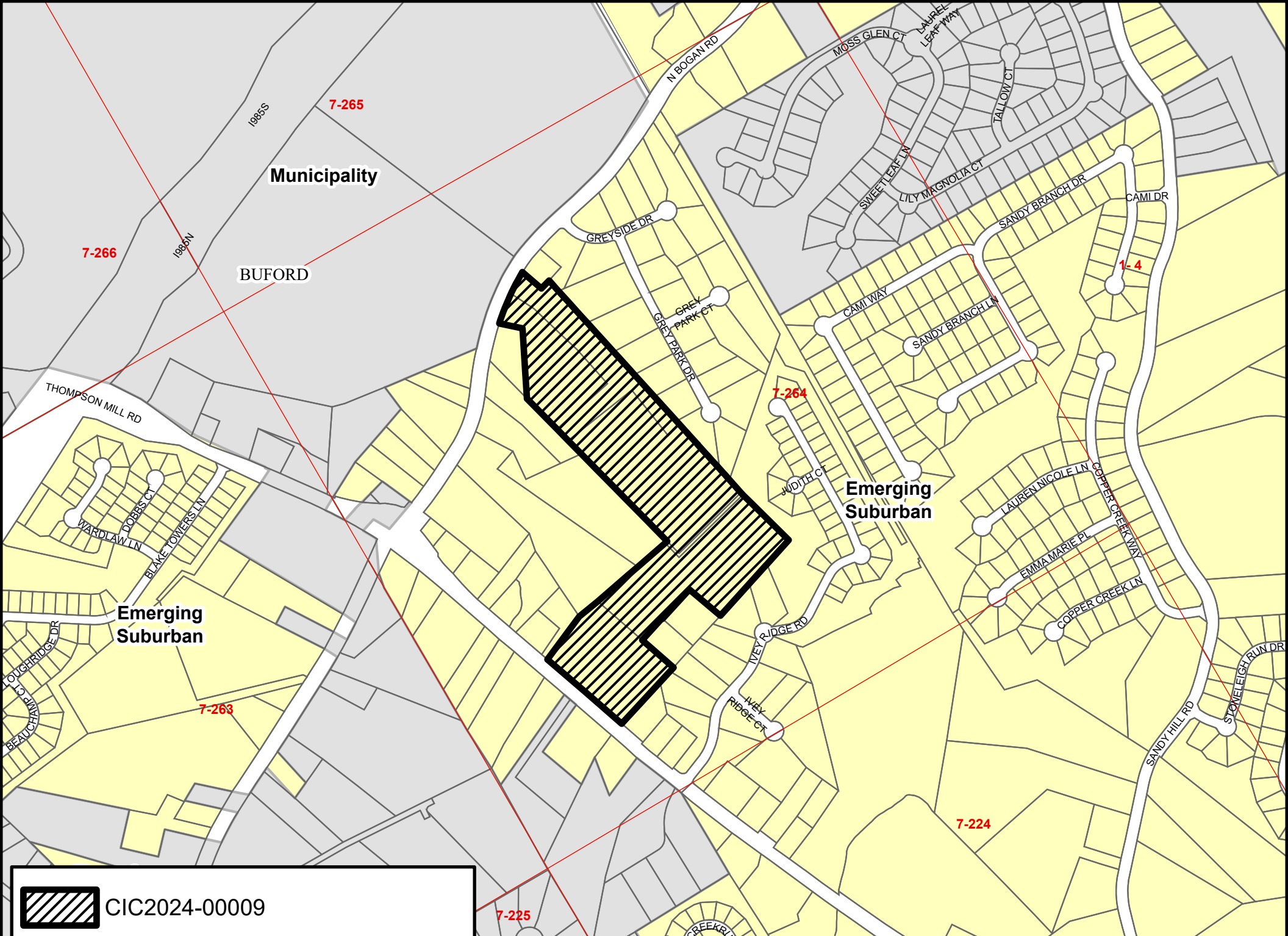
 CIC2024-00009

Created: February 14, 2024

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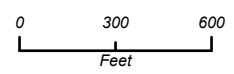


SUBJECT SITE AND SURROUNDING ZONING



 CIC2024-00009

Created: February 14, 2024



2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION