



















gwinnettcounty

Unified Development Ordinance

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Appendix Section 1.0

Architectural Design Standards

1.0.0 Purpose.

The Architectural Design Standards promote high quality and aesthetically attractive development and construction in Gwinnett County. The Architectural Design Standards establish the basic requirements for architectural and associated landscape components.

2.0.0 Applicability.

The Gwinnett County Architectural Design Standards shall apply to all buildings and structures constructed in Gwinnett County. Refer to Section 10.0.0 for Architectural Design Standards compliance for each zoning district. Wherever the provisions and/or conditions of a zoning case and/or requirements of an Overlay District impose more restrictive, greater or higher standards, the requirements of such provisions and/or conditions shall prevail.

3.0.0 Director's Review.

All building designs designated as Architectural Design Standards for Categories 2, 3, and 4 shall be subject to review and approval of the Director of Planning and Development, or his/her designee, prior to the issuance of a building permit. Alternate building designs, architectural materials or color selections that vary from the architectural design standards of Category I herein may be granted a modification upon review by the Director of the Department of Planning and Development. The Director may authorize review of the modification from Category I by the Planning Commission. Alternate building designs, architectural materials or color selections that vary from the architectural design standards of Category 2, 3, or 4, herein shall be reviewed and approved by the Planning Commission. Creative, innovative and unique designs are encouraged, but care must be taken to maintain compatibility to surrounding buildings and community features. If a design is denied by the Director of Planning and Development, the applicant may submit the design for appeal to the Planning Commission.

4.0.0 Architectural Design Standards for Category 1.

4.1.0 Commercial and Non-Residential Buildings

(Commercial and Non-Residential buildings include but are not limited to office buildings, retail buildings, shopping centers, warehouses, places of worship, medical buildings, and industrial buildings.)

4.1.1 Exterior Wall Design

- A. The front, and sides of buildings shall have glass, brick, stone, and/or stucco/EIFS finish. Textured concrete masonry, architectural precast concrete, and/or fiber cement board siding finish shall be allowed, not to exceed 50 percent of any façade elevation.
- B. The rear of buildings (not directly visible to streets) shall be brick, stone, stucco/EIFS finish, textured concrete masonry, architectural precast concrete, and/or fiber cement board siding finish.
- C. Buildings in zoning districts that allow industrial classified buildings with industrial factory occupancies may have precast concrete or tilt-up concrete panels with textured coating finish. Concrete panels shall have a design pattern of architectural reveals and/or insets. The building facades shall incorporate a minimum of two colors.
- D. Multi-tenant retail (mercantile) buildings and shopping centers shall incorporate distinct architectural entry identity for individual tenant suites exceeding 10,000 square feet of gross floor area, such as towers, portico, gables, or offset façade with change of materials.
- E. Portable buildings shall be prohibited.



- F. Exposed neon or other types of color accent lighting shall be prohibited. Neon light graphic features or signage located on interior walls or bulkheads shall be located a minimum of 8 feet behind the exterior glass façade.
- G. Ornamental wall-mounted sconce lights located on the building elevation adjacent to an entrance must be of non-clear translucent panels with low wattage (not to exceed 30 watts) light source and the light/wall location must be at least 30 feet from the property line.
- H. Wall mounted electrical, mechanical, utility meters, and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have finish which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately in front of the equipment units.
- I. Ground mounted electrical, mechanical, and like utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a finish which is consistent with the finish materials of the building façade, or provide vegetative landscape screening immediately around the units.

4.1.2 Roof and Parapet Design

- A. Flat roof buildings shall incorporate articulated parapets or façade projections such as porticoes or towers every 50 linear feet on front and sides of the building. Articulated parapets shall be a minimum of I foot vertical offset. Green roof designs with live vegetative plantings which are visible from ground level views may be substituted for articulated parapets.
- B. Pitched roof buildings shall incorporate articulated features every 50 linear feet on the front elevation. Articulated features shall include roof eave height changes, towers, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.
- C. All roof mounted equipment, such as mechanical units, vent hoods, communication devices, and/or other building system(s) equipment, shall be screened from view on all sides of the building. Roof screening height shall be equal to the height of the equipment. Screens shall be a material consistent with the finish materials of the building facades.

4.2.0 Parking Decks and Structures

(Parking Decks and Structures include but are not limited to multi-story parking decks and parking structures.)

4.2.1 Exterior Wall Design

- A. The front, sides, and rear facades of parking decks shall have opacified glass, brick, stone, and/or architectural pre-cast concrete finish that relates to the finishes of the adjacent primary building.
- B. The front, sides, and rear facades shall incorporate changes in façade material and color.
- C. Facades facing public streets or private driveways shall incorporate landscape areas immediately in front of the parking structure.
- D. Any openings for ventilation, service, or emergency access located in the façade of the first level must be decorative and be an integral feature of the overall façade design.

4.3.0 Commercial and Non-Residential Canopy Structures

(Canopy structures include but are not limited to gas/service canopies, car wash canopies, parking shade shelter canopies, pedestrian cover canopies, and restaurant patio covers.)

4.3.1 Column Design

A. Columns shall have full height brick, stone, stucco, painted steel and/or architectural wood case with a finish that matches the finish of the primary adjacent building. Exposed rough timber columns may be allowed upon review by the Director.

4.3.2 Roof Design

- A. The vertical façade panels shall be an opaque material. Back lit translucent panels shall be prohibited. The color of the vertical façade panels shall match the main color of the adjacent primary building.
- B. All under canopy lighting for gas/service islands must be fully recessed fixtures.

4.4.0 Multi-Family Residential Buildings

(Multi-Family Residential Buildings include but are not limited to multi-story apartment buildings not exceeding 3 stories above grade.)

4.4.1 Exterior Wall Design

- A. The front, sides, and rear facades shall have a minimum of 30 percent brick or stone finish of the non-fenestration area on each elevation. The balance of the façade may be finished with stucco/EIFS, wood siding, wood shakes, or fiber cement type siding. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. Facades shall incorporate architectural features such as shutters, architectural window surrounds, roof eave brackets, and/or ornamental louvers.
- B. Wall mounted electrical, mechanical, utility meters, and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have finish which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately in front of the equipment units.
- C. Ground mounted electrical, mechanical, and like utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a finish which is consistent with the finish materials of the building façade, or provide vegetative landscape screening immediately around the units.

4.4.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12. Roof design shall incorporate features such as roof eave height changes, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.

4.5.0 Attached Residential Buildings

(Attached Residential Buildings include but are not limited to townhouses and villas.)

4.5.1 Exterior Wall Design

- A. The front facades shall have a minimum of 50 percent brick or stone finish on each elevation. The balance of the façade may be finished with stucco/EIFS, wood siding, wood shakes, or fiber cement type siding. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. The front façade design shall include at least two of the following elevation features:
 - Shutters
 - · Covered porches
 - Bay windows
 - Roof eave brackets
 - Cornice
 - Architectural entrance door surround
- B. Porches and decks shall incorporate architectural columns.

4.5.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12. Roof design shall incorporate features such as roof eave height changes, spires, cupolas, dormers, and/or gables.

4.6.0 Detached Residential Buildings

(Detached Residential Buildings include but are not limited to single family houses and duplexes.)

4.6.1 Exterior Wall Design

- A. The front facades shall be finished with brick, stone, stucco/EIFS, wood siding, wood shakes, vinyl siding, or fiber cement type siding. The front facades shall incorporate changes in building material, texture, and/or color. The front façade design shall include at least two of the following elevation features:
 - Shutters
 - Covered porches
 - Bay windows
 - Roof eave brackets
 - Cornice
 - · Architectural entrance door surround

4.6.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12.

5.0.0 Architectural Design Standards for Category 2.

5.1.0 Commercial and Non-Residential Buildings

(Commercial and Non-Residential buildings include but are not limited to office buildings, retail buildings, shopping centers, warehouses, places of worship, medical buildings, and industrial buildings.)

5.1.1 Exterior Wall Design

- A. The front, sides, and rear facades shall incorporate materials, finish, color, style and features that match and are compatible with the adjacent buildings on the same block. Applicant shall submit a site location plan and photographs of all buildings located within the same block of the proposed project. The site location plan shall include photograph markers that key to the photographs of the adjacent buildings.
- B. The front, sides, and rear facades of buildings shall have glass, brick, and/or stone finish. Stucco/EIFS, textured concrete masonry, and/or fiber cement board siding finish shall be allowed, not to exceed 50 percent of any façade elevation. Architectural precast concrete may be allowed subject to Director's review. Buildings shall be designed to include, but not limited to, compatible building heights, massing, window type, spacing and proportions that are consistent with dwellings on the same block. Façade design shall include at least two f the following elevation features:
 - Shutters
 - Awnings
 - Covered porches
 - Tower or pilasters
 - Colonnades
 - Trellis or arbor
 - Roof eave brackets
 - Cornice
- C. Exposed concrete block, vinyl and metal siding shall be prohibited.
- D. Exposed neon or other types of color accent lighting shall be prohibited.
- E. Under glow lighting of fabric, vinyl, or translucent material awnings shall be prohibited.
- F. Ornamental wall-mounted sconce lights located on the building elevation adjacent to an entrance must be of non-clear translucent panels with low wattage (not to exceed 30 watts) light source.
- G. Wall mounted electrical, mechanical, utility meters, and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have finish which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately in front of the equipment units.
- H. Ground mounted electrical, mechanical, and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a finish which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately around the units.

5.1.2 Roof and Parapet Design

- A. Buildings shall be designed with fully pitched roofs with a minimum pitch of 5 in 12.
- B. Pitched roof buildings shall incorporate articulated features which are compatible with adjacent buildings. Pitched roofs shall include at least two of the following features:
 - Steep sections of roof with at least 6 in 12 pitch
 - Dormers
 - Cupolas
 - Spires
 - Gables
- C. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.

5.2.0 Parking Decks and Structures

(Parking Decks and Structures include but are not limited to multi-story parking decks and parking structures.)

5.2.1 Exterior Wall Design

- A. The front, sides, and rear facades shall incorporate materials, finish, color, style and features that match and are compatible with the adjacent buildings on the same block. Applicant shall submit a site location plan and photographs of all buildings located within the same block of the proposed project. The site location plan shall include photograph markers that key to the photographs of the adjacent buildings.
- B. The front, sides, and rear facades of parking decks shall have opacified glass, brick, stone, and/or architectural pre-cast concrete finish that relates to the finishes of the adjacent primary building. The main parking deck entrance shall incorporate a brick and/or stone finish entrance feature.
- C. The front, sides, and rear facades shall incorporate changes in façade material and color. Facade panels/walls shall incorporate features such as building mass offsets, tower elements, pilaster projections and/or recessed panels that match the scale of the adjacent buildings and are compatible with the design of the adjacent buildings on the same block. Facades shall have interesting architectural horizontal and vertical features and patterns that are designed to articulate mass and scale.
- D. The first level of the parking deck that is adjacent to public or private streets shall incorporate a full height screen utilizing opacified glass, brick, stone, false windows, decorative grills, or dense vegetative screening. Deck floors above the first level shall include a continuous screen a minimum of 42 inches in height utilizing opacified glass, brick, stone, false windows, or decorative grills. Cabling alone will not be sufficient to meet this screen requirement.
- E. Facades facing public streets or private driveways shall incorporate landscape areas immediately in front of the parking structure.
- F. Openings for ventilation, service, or emergency access located in the façade of the first level must be decorative and be an integral feature of the overall façade design.

5.3.0 Commercial and Non-Residential Canopy Structures

(Canopy structures include but are not limited to gas/service canopies, car wash canopies, parking shade shelter canopies, pedestrian cover canopies, and restaurant patio covers.)

5.3.1 Column Design

- A. The front, sides, and rear facades shall incorporate materials, finish, color, style and features that match and are compatible with the adjacent buildings on the same block. Applicant shall submit a site location plan and photographs of all buildings located within the same block of the proposed project. The site location plan shall include photograph markers that key to the photographs of the adjacent buildings.
- B. Columns shall have full height brick, stone, stucco, and/or textured paint finish which matches the finish of the primary adjacent building.

5.3.2 Roof Design

- A. Canopy structures shall have fully pitched roofs with a minimum pitch of 4 in 12. Canopy shall incorporate design elements such as dormers, eave brackets, cornice, gables, or cupola which are compatible with the roof design of the adjacent primary building.
- B. The vertical façade panels shall be an opaque material. Back lit translucent panels shall be prohibited. The color of the vertical façade panels shall match the main color of the adjacent primary building.
- C. All under canopy lighting for gas/service islands must be fully recessed fixtures.

5.4.0 Multi-Family Residential Buildings

(Multi-Family Residential Buildings include but are not limited to multi-story apartment buildings not exceeding 3 stories above grade.)

5.4.1 Exterior Wall Design

- A. The front, sides, and rear facades shall incorporate materials, finish, color, style and features that match and are compatible with the adjacent buildings on the same block. Applicant shall submit a site location plan and photographs of all buildings located within the same block of the proposed project. The site location plan shall include photograph markers that key to the photographs of the adjacent buildings.
- B. The front, sides, and rear facades shall have a minimum of 50 percent brick or stone finish of the non-fenestration area on each elevation. The balance of the façade may be finished with stucco/EIFS, wood siding, wood shakes, or fiber cement type siding. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. Facades shall incorporate architectural features such as shutters, architectural window surrounds, roof eave brackets, and/or ornamental louvers.
- C. Porches, decks, and balconies shall incorporate architectural columns.
- D. Wall mounted electrical, mechanical, utility meters, and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have finish which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately in front of the equipment units.
- E. Ground mounted electrical, mechanical, and like utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a finish which is consistent with the finish materials of the building façade, or provide vegetative landscape screening immediately around the units.

5.4.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12. Roof design shall incorporate features such as roof eave height changes, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.

5.5.0 Attached Residential Buildings

(Attached Residential Buildings include but are not limited to townhouses and villas.)

5.5.1 Exterior Wall Design

- A. The front, sides, and rear facades shall incorporate materials, finish, color, style and features that match and are compatible with the adjacent buildings on the same block. Applicant shall submit a site location plan and photographs of all buildings located within the same block of the proposed project. The site location plan shall include photograph markers that key to the photographs of the adjacent buildings.
- B. The front facades shall have a minimum of 50 percent brick or stone finish on each elevation. The balance of the façade may be finished with stucco/EIFS, wood siding, wood shakes, or fiber cement type siding. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. The front façade design shall include at least two of the following elevation features:
 - Shutters
 - Covered porches
 - Bay windows
 - Roof eave brackets
 - Cornice
 - Architectural entrance door surround
- C. Porches and decks shall incorporate architectural columns.

5.5.2 Roof Design

Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12. Roof design shall incorporate features such as roof eave height changes, spires, cupolas, dormers, and/or gables.

5.6.0 Detached Residential Buildings

(Detached Residential Buildings include but are not limited to single family houses and duplexes.)

5.6.1 Exterior Wall Design

- A. The front, sides, and rear facades shall incorporate materials, finish, color, style and features that match and are compatible with the adjacent buildings on the same block. Applicant shall submit a site location plan and photographs of all buildings located within the same block of the proposed project. The site location plan shall include photograph markers that key to the photographs of the adjacent buildings.
- B. The front facades shall be finished with brick, stone, stucco/EIFS, wood siding, wood shakes, vinyl siding, or fiber cement type siding.

The front facades shall incorporate changes in building material, texture, and/or color. The front façade design shall include at least two of the following elevation features:

- Shutters
- Covered porches
- Bay windows
- Roof eave brackets
- Cornice
- Architectural entrance door surround

5.6.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12.

6.0.0 Architectural Design Standards for Category 3.

6.1.0 Commercial and Non-Residential Buildings

(Commercial and Non-Residential buildings include but are not limited to office buildings, retail buildings, shopping centers, warehouses, places of worship, medical buildings, and industrial buildings.)

6.1.1 Exterior Wall Design

- A. The front, sides, and rear facades of buildings shall have glass, brick, and/or stone finish. Stucco/EIFS, textured concrete masonry, and/or fiber cement board siding finish shall be allowed, not to exceed 30 percent of any façade elevation. Architectural precast concrete and architectural non-ribbed metal panels with concealed fasteners may be allowed subject to Director's review.
- B. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. Building mass shall incorporate plan offsets (minimum offset shall be 2 feet) every 50 linear feet. Exterior walls shall incorporate features such as storefront/windows, colonnade openings, false windows, decorative tower features, and/or recessed panels reminiscent of windows and doors, every 50 linear feet.
- C. Buildings in zoning districts that allow industrial classified buildings with industrial factory occupancies may have precast concrete or tilt-up concrete panels with textured coating finish. Concrete panels shall have a design pattern of architectural reveals and/or insets. The building facades shall incorporate a minimum of two colors. Building facades facing streets shall incorporate features such as storefront, building mass offsets, colonnade openings, false windows, and/or recessed panels reminiscent of windows and doors, every 50 linear feet.
- D. Multi-tenant retail (mercantile) buildings and shopping centers shall incorporate distinct architectural entry identity for individual tenant suites exceeding 10,000 square feet of gross floor area, such as towers, portico, gables, or offset façade with change of materials.
- E. Portable buildings shall be prohibited.
- F. Exposed neon or other types of color accent lighting shall be prohibited. Neon light graphic features or signage located on interior walls or bulkheads shall be located a minimum of 8 feet behind the exterior glass façade.
- G. Ornamental wall-mounted sconce lights located on the building elevation adjacent to an entrance must be of non-clear translucent panels with low wattage (not to exceed 30 watts) light source and the light/wall location must be at least 30 feet from the property line.

- H. Wall mounted electrical, mechanical, utility meters, and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a brick/stone finish, which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately in front of the equipment units.
- I. Ground mounted electrical, mechanical, and like utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a brick/stone finish, which is consistent with the finish materials of the building façade, or provide vegetative landscape screening immediately around the units.
- J. All parapets on buildings three stories or less shall incorporate comice features which project horizontally a minimum of I foot.
- K. Under "glow" lighting of fabric, vinyl, or translucent material awnings shall be prohibited.
- L. Buildings shall incorporate landscape areas immediately in front of the building. Landscape areas shall have live ornamental shrubs and/or trees. Landscape areas shall be located not more than 10 feet from the building and shall be provided at intervals not to exceed 50 linear feet. Building facades without windows or storefront shall incorporate landscape areas with vertical height plants. Buildings located on corner lots or double frontage lots, facing either public streets or private driveways shall be considered as having multiple fronts. Landscape areas shall be permanent in-ground installations. Moveable planters do not qualify as permanent installations. Sculptured topiary shrubs shall not depict product shapes or other graphic shapes.

6.1.2 Roof and Parapet Design

- A. Flat roof buildings shall incorporate articulated parapets or façade projections such as porticoes or towers every 50 linear feet on all sides of the building.
- B. Pitched roof buildings shall incorporate articulated features every 50 linear feet on the front elevation. Articulated features shall include roof eave height changes, towers, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.
- C. Fully pitched roof buildings may have a flat roof well located in the central area of the roof, not to exceed 50 percent of the roof area, with a pitched roof similar to a mansard design on all sides of the building. The height of the partial (mansard design) pitched roof profile must be equal in ridge height to the design height of a fully pitched 4 in 12 roof for that building.
- D. All roof mounted equipment, such as mechanical units, vent hoods, communication devices, and/or other building system(s) equipment, shall be screened from view on all sides of the building. Roof screening height shall be equal to the height of the equipment. Roof screening design shall include parapets, secondary roof screening systems, and/or individual equipment screens. Buildings with non-parapet roof edges exceeding 50 linear feet shall incorporate secondary roof screening systems that enclose groups of equipment units rather than a "box" around individual units. Secondary screening systems and/or individual equipment screens shall be a material consistent with the finish materials of building facades. Alternative screen materials such as decorative ABS panels with a textured stucco pattern may be submitted for consideration.

6.2.0 Parking Decks and Structures

(Parking Decks and Structures include but are not limited to multi-story parking decks and parking structures.)

6.2.1 Exterior Wall Design

- A. The front, sides, and rear facades of parking decks shall have opacified glass, brick, stone, and/or architectural pre-cast concrete finish that relates to the finishes of the adjacent primary building. Non-ribbed composite metal panels with concealed fasteners may be allowed up to 30 percent of the façade finish. The main parking deck entrance shall incorporate a brick and/or stone finish entrance feature.
- B. The front, sides, and rear facades shall incorporate changes in façade material and color. Facade panels/walls shall incorporate features such as building mass offsets, tower elements, pilaster projections and/or recessed panels every 100 linear feet. Facades shall have interesting architectural horizontal and vertical features and patterns that are designed to articulate mass and scale.
- C. The first level of the parking deck that is adjacent to public or private streets shall incorporate a full height screen utilizing opacified glass, brick, stone, false windows, decorative grills, or dense vegetative screening. Deck floors above the first level shall include a continuous screen a minimum of 42 inches in height utilizing opacified glass, brick, stone, false windows, or decorative grills. Cabling alone will not be sufficient to meet this screen requirement.
- D. Facades facing public streets or private driveways shall incorporate landscape areas immediately in front of the parking structure.
- E. Any openings for ventilation, service, or emergency access located in the façade of the first level must be decorative and be an integral feature of the overall façade design.

6.3.0 Commercial and Non-Residential Canopy Structures

(Canopy structures include but are not limited to gas/service canopies, car wash canopies, parking shade shelter canopies, pedestrian cover canopies, and restaurant patio covers.)

6.3.1 Column Design

A. Columns shall have full height brick, stone, stucco, and/or textured paint finish which matches the finish of the primary adjacent building.

6.3.2 Roof Design

- A. All canopies shall have a pitched roof or a continuous cornice. The minimum roof pitch shall be 4 in 12. An arched/vaulted roof shall be allowed with the same rise height of the required pitched roof. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles. A cornice shall have a minimum 1 foot horizontal projection.
- B. The vertical façade panels shall be an opaque material. Back lit translucent panels shall be prohibited. The color of the vertical façade panels shall match the main color of the adjacent primary building.
- C. All under canopy lighting for gas/service islands must be fully recessed fixtures.
- D. Exposed timber framing is only allowed as a minor accent material.



6.4.0 Multi-Family Residential Buildings

(Multi-Family Residential Buildings include but are not limited to multi-story apartment buildings not exceeding 3 stories above grade.)

6.4.1 Exterior Wall Design

- A. The front, sides, and rear facades shall have a minimum of 50 percent brick or stone finish of the non-fenestration area on each elevation. The balance of the façade may be finished with stucco/EIFS, wood siding, wood shakes, or fiber cement type siding. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. Facades shall incorporate architectural features such as shutters, architectural window surrounds, roof eave brackets, and/or ornamental louvers.
- B. Common entrances and breezeway entrances shall incorporate a distinctive architectural entrance structure such as a tower element, arched portal, and/or trellis/arbor feature.
- C. Porches, decks, and balconies shall incorporate architectural columns. Exposed timber column posts shall be prohibited.
- D. Wall mounted electrical, mechanical, utility meters, and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have finish which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately in front of the equipment units.
- E. Ground mounted electrical, mechanical, and like utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a finish which is consistent with the finish materials of the building façade, or provide vegetative landscape screening immediately around the units.

6.4.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12. Roof design shall incorporate features such as roof eave height changes, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.

6.5.0 Attached Residential Buildings

(Attached Residential Buildings include but are not limited to townhouses and villas.)

6.5.1 Exterior Wall Design

- A. The front facades shall have a minimum of 50 percent brick or stone finish on each elevation. The balance of the façade may be finished with stucco/EIFS, wood siding, wood shakes, or fiber cement type siding. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. The front façade design shall include at least two of the following elevation features:
 - Shutters
 - Covered porches
 - Bay windows
 - Roof eave brackets
 - Cornice
 - · Architectural entrance door surround
- B. Porches and decks shall incorporate architectural columns.

6.5.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12. Roof design shall incorporate features such as roof eave height changes, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.

6.6.0 Detached Residential Buildings

(Detached Residential Buildings include but are not limited to single family houses and duplexes.)

6.6.1 Exterior Wall Design

- A. The front and side facades shall be a minimum of 50 percent brick or stone finish on each elevation. The balance of the front and side façades shall be finished with wood siding, wood shakes, or fiber cement type siding. The rear façade shall be finished with brick, stone, wood siding, wood shakes, or fiber cement type siding. The front and side facades shall incorporate changes in building material, texture, and color. The front façade design shall include at least two of the following elevation features:
 - Shutters
 - Covered porches
 - Bay windows
 - Roof eave brackets
 - Cornice
 - Architectural entrance door surround
- B. Porches, decks, and balconies shall incorporate architectural columns. Exposed timber column posts shall be prohibited.

6.6.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12.

7.0.0 Architectural Design Standards for Category 4.

7.1.0 Commercial, Non-Residential, Mid-Rise Residential and High-Rise Residential Buildings.

(Commercial, Non-Residential, Mid-Rise Residential, and High-Rise Residential buildings include but are not limited to office buildings, retail buildings, shopping centers, warehouses, medical buildings, places of worship, industrial buildings, apartment buildings, and condominium towers.)

7.1.1 Exterior Wall Design

- A. The front, sides, and rear facades of buildings 2 stories or less, which are not adjacent to residentially zoned property, shall have glass, architectural precast concrete, brick and/or stone finish. Non-ribbed composite metal panels with concealed fasteners may be allowed for up to 50 percent of the façade finish. Stucco/EIFS finish shall be allowed as a minor accent for components such as trim, linear design features, and/or porch gables.
- B. The front, sides, and rear facades of buildings 2 stories or less, which are adjacent to residentially zoned property, shall have glass, brick and/or stone finish. Non-ribbed composite metal panels with concealed fasteners and/or architectural precast concrete may be allowed for up to 30 percent of the façade finish. Stucco/EIFS finish shall be allowed as a minor accent for components such as trim, linear design features, and/or porch gables.

- C. The front, sides, and rear facades of buildings 3 stories and greater, which are not adjacent to residentially zoned property, shall have glass, architectural precast concrete, brick and/or stone finish on the first and second stories. Non-ribbed composite metal panels with concealed fasteners may be allowed for up to 50 percent of the façade finish on the first and second stories. Stucco/EIFS finish shall be allowed as a minor accent for components such as trim, linear design features, and/or porch gables. The front, sides, and rear facades for the third story and above shall be glass, brick, stone, non-ribbed composite metal panels with concealed fasteners, stucco/EIFS, and/or architectural precast concrete finish.
- D. The front, sides, and rear facades of buildings 3 stories and greater, which are adjacent to residentially zoned property, shall have glass, brick and/or stone finish on the first and second stories. Non-ribbed composite metal panels with concealed fasteners or architectural precast concrete may be allowed for up to 30 percent of the façade finish on the first and second stories. Stucco/EIFS finish shall be allowed as a minor accent for components such as trim, linear design features, and/or porch gables. The front, sides, and rear facades for the third story and above shall be glass, brick, stone, non-ribbed composite metal panels with concealed fasteners, stucco/EIFS, and/or architectural precast concrete finish.
- E. All parapets on buildings three stories or less shall incorporate cornice features which project horizontally a minimum of I foot.
- F. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. Building mass shall incorporate plan offsets (minimum offset shall be 2 feet) every 50 linear feet. Exterior walls shall incorporate features such as storefront/windows, colonnade openings, false windows, decorative tower features, and/or recessed panels reminiscent of windows and doors, every 50) linear feet. Buildings shall have interesting architectural horizontal and vertical features and patterns that are designed to articulate mass and scale.
- G. Buildings in zoning districts that allow industrial classified buildings with industrial factory occupancies may have precast concrete or tilt-up concrete panels with textured coating finish. Concrete panels shall have a design pattern of architectural reveals and/or insets. The building facades shall incorporate a minimum of two colors. Building facades facing streets shall incorporate features such as storefront, building mass offsets, colonnade openings, false windows, and/or recessed panels reminiscent of windows and doors, every 50 linear feet.
- H. Multi-tenant retail (mercantile) buildings and shopping centers shall incorporate distinct architectural entry identity for individual tenant suites exceeding 10,000 square feet of gross floor area, such as towers, portico, gables, or offset façade with change of materials.
- I. Portable buildings shall be prohibited.
- J. Exposed neon or other types of color accent lighting shall be prohibited. Neon light graphic features or signage located on interior walls or bulkheads shall be located a minimum of 8 feet behind the exterior glass façade.
- K. Under "glow" lighting of fabric, vinyl, or translucent material awnings shall be prohibited.
- L. Ornamental wall-mounted sconce lights located on the building elevation adjacent to an entrance must be of non-clear translucent panels with low wattage (not to exceed 30 watts) light source and the wall location must be at least 30 feet from the property line.
- M. Wall mounted electrical, mechanical, utility meters, and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a brick/stone finish, which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately in front of the equipment units.
- N. Ground mounted electrical, mechanical and other utility equipment shall be screened. Screening height shall be equal to the height of the equipment. Equipment screens shall have a brick/stone finish, which is consistent with the finish materials of the building façade, or vegetative landscape screening shall be provided immediately around the units.
- O. Buildings shall incorporate landscape areas immediately in front of the building. Landscape areas shall have live ornamental shrubs and/or trees. Landscape areas shall be located not more than 10 feet from the building and shall be provided at intervals not to exceed 50 linear feet. Building facades without windows or storefront shall incorporate landscape areas with vertical height plants. Buildings located on corner lots or double frontage lots, facing either public streets or private driveways shall be considered as having multiple fronts. Landscape areas shall be permanent in-ground installations. Moveable planters do not qualify as permanent installations. Sculptured topiary shrubs shall not depict product shapes or other graphic shapes.

7.1.2 Roof and Parapet Design

- A. Flat roof buildings shall have parapets on all sides with interior roof drains. Flat roof buildings shall incorporate articulated parapets or façade projections such as porticoes or towers every 50 linear feet on all sides of the building. Articulated parapets shall be a minimum of I foot vertical offset. Green roof designs with live vegetative plantings which are visible from ground level views may be substituted for articulated parapets.
- B. Pitched roof buildings shall incorporate articulated features every 50 linear feet on the front elevation. Articulated features shall include roof eave height changes, towers, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.
- C. Fully pitched roof buildings may have a flat roof well located in the central area of the roof, not to exceed 50 percent of the roof area, with a pitched roof similar to a mansard design on all sides of the building. The height of the partial (mansard design) pitched roof profile must be equal in ridge height to the design height of a fully pitched 4 in 12 roof for that building.
- D. All roof mounted equipment, such as mechanical units, vent hoods, communication devices, and/or other building system(s) equipment, shall be screened from view on all sides of the building. Roof screening height shall be equal to the height of the equipment. Roof screening design shall include parapets, secondary roof screening systems, and/or individual equipment screens. Secondary roof screening systems shall enclose groups of equipment units rather than a "box" around individual units. Secondary screening systems and/or individual equipment screens shall be a material and finish design consistent with the design and finish materials of building facades. Alternative screen materials such as decorative ABS panels with a textured stucco pattern may be submitted for consideration.

7.2.0 Parking Decks and Structures

(Parking Decks and Structures include but are not limited to multi-story parking decks and parking structures.)

7.2.1 Exterior Wall Design

- A. The front, sides, and rear facades of parking decks shall have opacified glass, brick, stone, and/or architectural pre-cast concrete finish that relates to the finishes of the adjacent primary building. Non-ribbed composite metal panels with concealed fasteners may be allowed up to 30 percent of the façade finish. The main parking deck entrance shall incorporate a brick and/or stone finish entrance feature. Elevated planters with live vegetative plantings may be substituted for the entrance feature.
- B. The front, sides, and rear facades shall incorporate changes in façade material and color. Facade panels/walls shall incorporate features such as building mass offsets, tower elements, pilaster projections and/or recessed panels every one hundred (100) linear feet. Facades shall have interesting architectural horizontal and vertical features and patterns that are designed to articulate mass and scale.
- C. The first level of the parking deck that is adjacent to public or private streets shall incorporate a full height screen utilizing opacified glass, brick, stone, false windows, decorative grills, or dense vegetative screening. Deck floors above the first level shall include a continuous screen a minimum of 42 inches in height utilizing opacified glass, brick, stone, false windows, or decorative grills. Cabling alone will not be sufficient to meet this screen requirement.
- D. Facades facing public streets or private driveways shall incorporate landscape areas immediately in front of the parking structure.
- E. Any openings for ventilation, service, or emergency access located in the façade of the first level must be decorative and be an integral feature of the overall façade design.

7.3.0 Commercial and Non-Residential Canopy Structures

(Canopy structures include but are not limited to gas/service canopies, car wash canopies, parking shade shelter canopies, pedestrian cover canopies, and restaurant patio covers.)

7.3.1 Column Design

A. Columns shall have full height brick, stone, stucco, and/or textured paint finish which matches the finish of the primary adjacent building.

7.3.2 Roof Design

- A. All canopies shall have a pitched roof or a continuous cornice. The minimum roof pitch shall be 4 in 12. An arched/vaulted roof shall be allowed with the same rise height of the required pitched roof. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles. A cornice shall have a minimum I foot horizontal projection
- B. The vertical façade panels shall be an opaque material. Back lit translucent panels shall be prohibited. The color of the vertical façade panels shall match the main color of the adjacent primary building.
- C. All under canopy lighting for gas/service islands must be fully recessed fixtures.
- D. Exposed timber framing is only allowed as a minor accent material.

7.4.0 Multi-Family Residential Buildings

(Multi-Family Residential Buildings include but are not limited to multi-story apartment buildings not exceeding 3 stories above grade.)

7.4.1 Exterior Wall Design

- A. The front, sides, and rear facades shall have a minimum of 75 percent brick or stone finish of the non-fenestration area on each elevation. The balance of the façade may be finished with stucco/EIFS, wood siding, wood shakes, or fiber cement type siding. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. Facades shall incorporate architectural features such as shutters, architectural window surrounds, roof eave brackets, and/or ornamental louvers.
- B. Common entrances and breezeway entrances shall incorporate a distinctive architectural entrance structure such as a tower element, arched portal, and/or trellis/arbor feature.
- C. Porches, decks, and balconies shall incorporate architectural columns.

7.4.2 Roof Design

Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12. Roof design shall incorporate features such as roof eave height changes, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.

7.5.0 Attached Residential Buildings

(Attached Residential Buildings include but are not limited to townhouses and villas.)

7.5.1 Exterior Wall Design

- A. The front facades shall have a minimum of 50 percent brick or stone finish on each elevation. The balance of the façade may be finished with stucco/EIFS, wood siding, wood shakes, or fiber cement type siding. The front, sides, and rear facades shall incorporate changes in building material, texture, and color. The front façade design shall include at least two of the following elevation features:
 - Shutters
 - Covered porches
 - Bay windows
 - Roof eave brackets
 - Cornice
 - Architectural entrance door surround
- B. Porches and decks shall incorporate architectural columns.

7.5.2 Roof Design

A. Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12. Roof design shall incorporate features such as roof eave height changes, spires, cupolas, dormers, and/or gables. Roofing material shall be limited to standing seam metal, natural slate or stone shingles, traditional tile, or architectural dimensional shingles.

7.6.0 Detached Residential Buildings

(Detached Residential Buildings include but are not limited to single family houses and duplexes.)

7.6.1 Exterior Wall Design

- A. The front and side facades shall be a minimum of 50 percent brick or stone finish on each elevation. The balance of the front and side façades shall be finished with wood siding, wood shakes, or fiber cement type siding. The rear façade shall be finished with brick, stone, wood siding, wood shakes, or fiber cement type siding. The front and side facades shall incorporate changes in building material, texture, and color. The front façade design shall include at least two of the following elevation features:
 - Shutters
 - · Covered porches
 - Bay windows
 - Roof eave brackets
 - Cornice
 - Architectural entrance door surround
- B. Porches, decks, and balconies shall incorporate architectural columns.

7.6.2 Roof Design

Buildings shall be designed with fully pitched roof. Minimum roof pitch shall be 4 in 12.

8.0.0 Architectural Design Standards for Accessory Structures and Site Accessories

Note: The Architectural Design Standards for Accessory Structures and Site Accessories shall apply to all Architectural Standard Design Categories.

Trash Enclosures	Trash receptacles and dumpsters shall be screened from view on all sides. Trash and dumpster enclosures screen walls shall have a finish consistent with the finish materials of the building façade.
Shopping Cart Corrals	Shopping cart corrals, located in parking lots, shall have decorative side rails and posts with at least 50 percent infill screen.
Vending/Self Service Machines	Vending/self-service machines shall not be located directly in front of glass/window storefront areas. The vending machines shall not exceed the ratio of one vending machine per 25 linear feet of tenant store frontage.
Site Accessories	Site accessories such as railings, benches, trash receptacles, bicycle racks, and shopping cart corrals shall complement the building design and style.

9.0.0 Architectural Design Standards Color and Finish Chart

Note: The Architectural Design Standards Color and Finish Chart shall apply to all Architectural Design Standards Categories.

Brick	Natural clay colors, or painted earth tone and neutral colors. Face coated brick with a porcelain enamel or ceramic finish shall be prohibited. Embossed synthetic panels or stucco or EIFS panels with simulated brick patterns shall be prohibited.
Stone	Natural colors.
Stucco/EIFS	Earth tone and neutral colors. White shall only be allowed for minor accent features.
Tilt-up Concrete	Earth tone and neutral colors of textured coating finish.
Pre-cast Concrete	Architectural concrete of earth tone and/or neutral color with exposed aggregate finish.
Metal Panels	Earth tone and neutral colors. Non-ribbed composite core with concealed fasteners.
Ceramic Accent Tile	Earth tone and neutral colors. Alternative colors may be utilized provided that the ceramic tile and other alternative color features do not exceed 10 percent of any single façade surface area.
Standing Seam Metal Roof	Colors shall be dark green, brick red, silver, black, and champagne-metallic beige, dark metallic bronze and aged copper.
Standing Seam Metal Awnings	Colors shall be dark green, brick red, silver, black, and champagne-metallic beige, dark metallic bronze and aged copper.
Fabric Awnings	Colors shall be dark green, brick red, gray, black, tan, beige, and brown. Alternative colors may be utilized provided that the awnings and other alternative color features do not exceed 10 percent of any single façade surface area.
Canopy Fascia Panels	Earth tone and neutral colors – colors shall be consistent with features/colors of the primary adjacent building.
Slate or Stone Shingles	Natural stone color.
Architectural Roof Tiles	Natural terra cotta or slate color.
Dimensional Shingles	Shingles with slate or natural stone color appearance.
Wood Shakes	Natural Finish.
Wood Siding & Fiber Cement Siding	Neutral colors for main field.

10.0.0 Architectural Design Standards for Zoning Districts

	Unified Development Ordinance		rchitectı tandards			
Section	Zoning District Title	1	2*	3*	4*	
210-10	RA-200 Agriculture Residence District	×				
210-20	R-LL Single Family Residence – Large Lot	×				
210-30	R-100 Single Family Residential District	×				
210-40	R-75 Single Family Residential District	×				
210-50	OSC Open Space Conservation District		X			
210-60	R-60 Single Family Residential District	×				
210-70	MH Manufactured Housing	X				
210-80	TND Traditional Neighborhood Development District		×			
210-90	R-SR Senior Oriented Residence District		X			
210-100	R-TH Residence Townhouse District			X		
210-110	RM-13 Multifamily Residence District			X		
210-120	RM-24 Multifamily Residence District			X		
210-130	HRR High-Rise Residence District				X	
210-140	OR Office Residence District		×			
210-150	O-I Office Institutional District			X		
210-160	C-1 Neighborhood Business District	×				
210-170	C-2 General Business District	×				
210-180	C-3 Highway Business District	×				
210-200	MU-N Neighborhood Mixed-Use District		X			
210-210	MU-C Community Mixed-Use District			×		
210-220	MU-R Regional Mixed-Use District				X	
210-230	M-1 Light Industry District	X				
210-240	M-2 Heavy Industry District	X				
220-30	Activity Center/Corridor Overlay District			X		

(2*, 3*, 4*: Director Review is Required)

Appendix Section 2.0

Standard Drawings

These standard drawings illustrate minimum acceptable standards for land development activities authorized under the development regulations of Gwinnett County, Georgia, however, these standards shall not supersede more restrictive prudent design requirements or good engineering practice as applied to specific situations on a case-by-case basis. Unless otherwise specified on these standard drawings or in the development regulations, all construction must meet or exceed the minimum standards established by the Georgia Department of Transportation.

Series

100: Site Grading

200: Stormwater Detention and Erosion Control

300: Streets – Designs

400: Streets - Construction

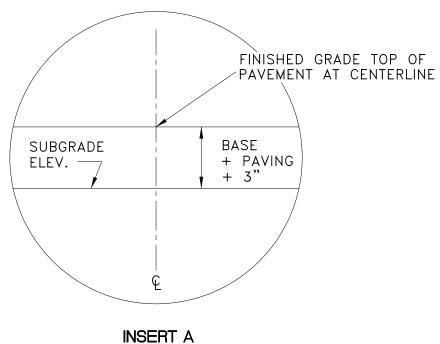
500: Streets - Utilities

600: Reserved

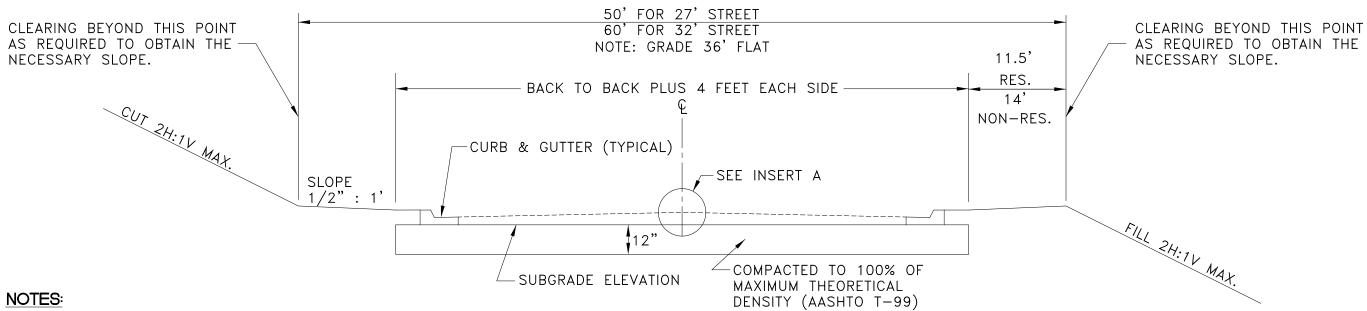
700: Reserved

800: Landscaping and Tree Protection

900: Miscellaneous







Standard Drawings

- 1. TOP OF SHOULDER TO BE GRADED HIGH TO FURNISH MATERIAL TO BACKFILL BEHIND CURB.
- 2. FOR UTILITY LOCATIONS SEE SHEET 501
- 3. MAXIMUM CUT OR FILL SLOPES 2H:1V



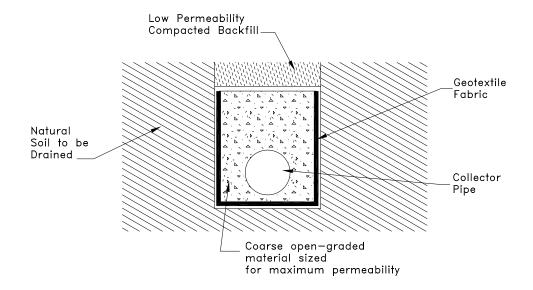
GWINNETT COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT

Street Grading: Local or Minor Collector Street

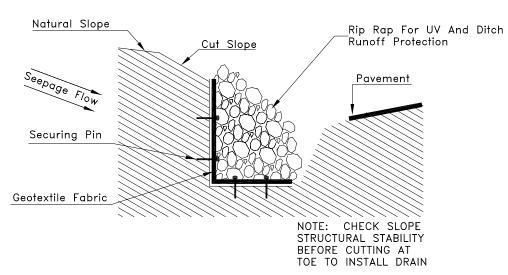
D A T E: JANUARY 1988

S H E E T: 101

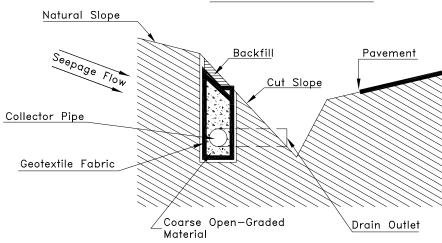
gwinnettcounty



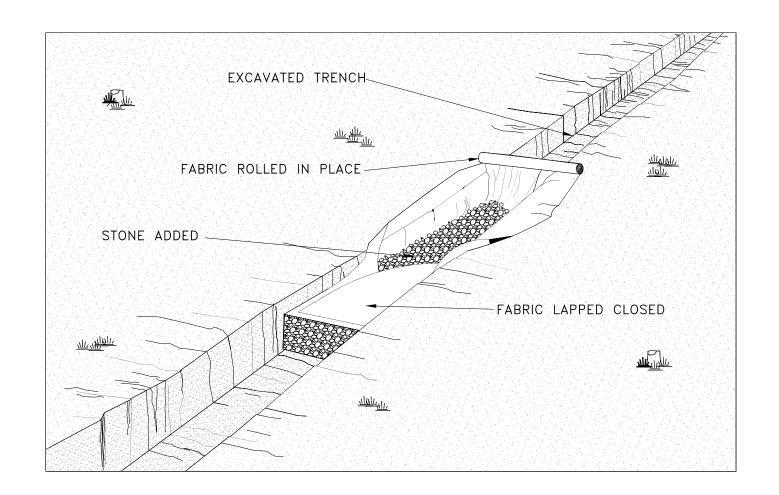
FABRIC-LINED DITCH UNDERDRAIN



ROCK TOE INTERCEPTOR DRAIN FOR CUT SLOPE SEEPAGE



TRENCH INTERCEPTOR DRAIN FOR CUT SLOPE SEEPAGE





GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT
S T A N D A R D D R A W I N G

Examples of Geotextiles Used In Drainage Applications

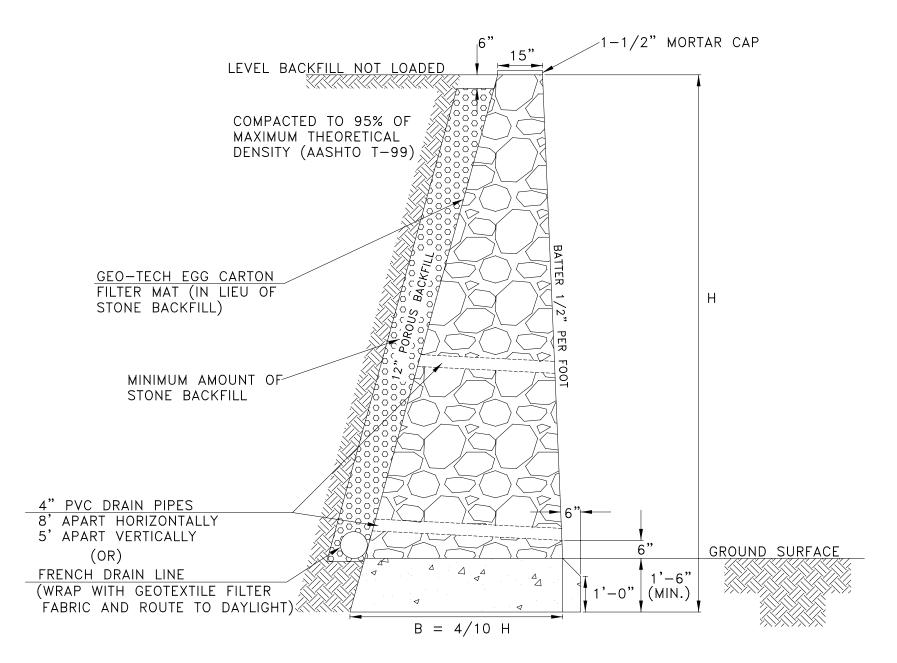
D A T E: JANUARY 1988

S H E E T: 102

DESIGN PARAMETERS

H = HEIGHT IN FEET BASE = 4/10 H WEIGHT CU. FT. OF EARTH = 100 LBS WEIGHT CU. FT. OF RUBBLE OR GRANITE = 150 LBS

HEIGHT OF WALL "H" IN FT.	THICKNESS AT BASE B = 0.4H	MIN. REQUIRED SOIL BEARING CAPACITY (PSF)	AREA OF WALL (SQ.FT.)	AREA OF FOOTING (SQ.FT.)		
2	1'-6"		0.75	2.875		
3	1'-6"	1500	2.25	2.875		
4	1'-7 1/4"		3.828	2.997		
5	2'-0"	2000	5.862	3.513		
6	2'-4 3/4"	2000	8.212	4.113		
7	2'-9 1/2"	2500	12.060	4.615		
8	8 3'-2 1/2"		8 3'-2 1/2"		14.240	5.186
9	3'-7 1/4"	3000	17.813	5.762		
10	4'-0"	3500	21.781	6.344		
11	4'-4 3/4"	4000	26.148	6.927		
12	4'-9 1/2"	4000	30.909	7.516		
13	5'-2 1/2"	4500	36.070	8.105		
14	14 5'-7 1/4"		41.629	8.696		
15	6'-0"	5000	47.587	9.288		



NOTES:

1. STONE LAID IN PORTLAND CEMENT (3 PARTS SAND TO ONE PART CEMENT).

2. DRAIN PIPES ARE TO BE ONE CONTINUOUS LENGTH OR BELL AND SPIGOT WITH MORTAR JOINTS.

- 3. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 4. FOR CONDITIONS IN WHICH THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN THE REQUIRED MINIMUM, A SPECIAL FOOTING SHALL BE DESIGNED BY A GEORGIA STATE REGISTERED PROFESSIONAL ENGINEER.
- 5. DEPTH OF FOUNDATION TO BE DETERMINED BY SOIL CONDITIONS (1'-6" MIN.)
- 6. THIS WALL IS DESIGNED FOR LEVEL BACKFILL CONDITIONS ONLY WITHOUT SURCHARGE LOADING. WALLS FOR APPLICATIONS WHICH INCLUDE SLOPED BACKFILL CONDITIONS, SURCHARGE LOADS, FLUID DETENTION, ETC. SHALL BE DESIGNED BY A GEORGIA STATE REGISTERED PROFESSIONAL ENGINEER.
- 7. REQUIRED SOIL BEARING CAPACITY SHALL BE VERIFIED AT THE TIME OF EXCAVATION.

<u>SECTION</u>



GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT

Mortar Rubble - Granite Retaining Wall, Level Backfill

D A T E: JANUARY 1988

S H E E T: 103

DESIGN PARAMETERS

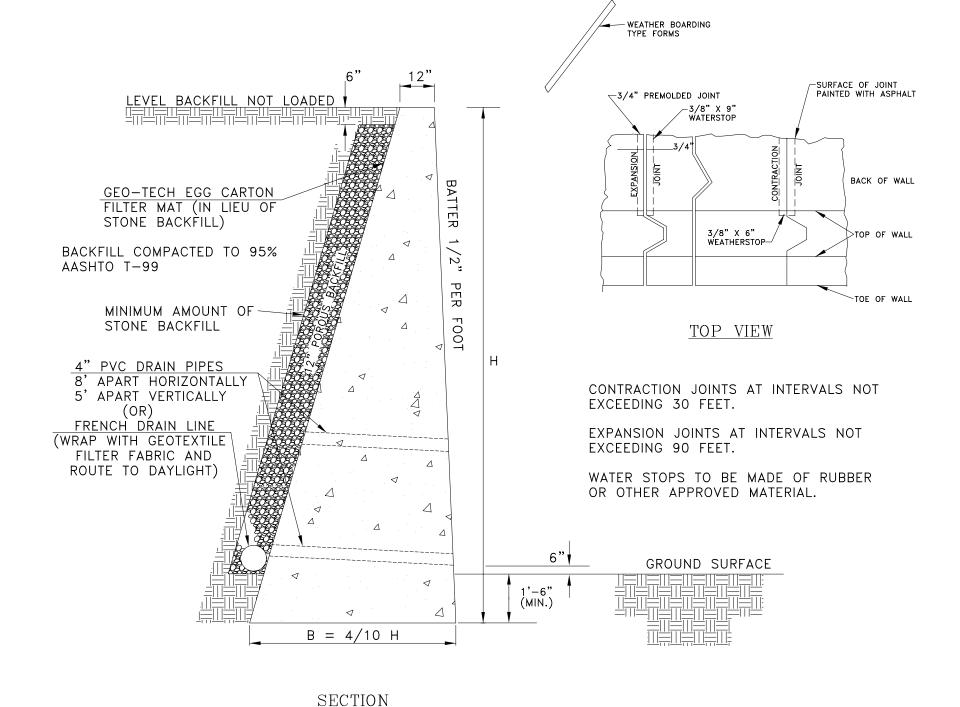
H = HEIGHT IN FEET

BASE = 4/10 H

WEIGHT CU. FT. OF EARTH = 100 LBS.

WEIGHT CU. FT. OF CONCRETE = 150 LBS

HEIGHT OF WALL "H" (IN FEET)	THICKNESS AT BASE "B"	MIN. REQUIRED SOIL BEARING CAPACITY (PSF)	AREA OF SECTION (SQ.FT.)		
2	1'-6"		2.63		
3	1'-6"	1500	3.93		
4	1'-7 1/4"		5.83		
5	2'-0"	2000	8.13		
6	2'-4 3/4"	2000	10.83		
7	2'-9 1/2"	2500	13.93		
8	3'-2 1/2"	3000	17.43		
9	3'-7 1/4"	3000	21.33		
10	4'-0"	3500	25.63		
11	4'-4 3/4"	4000	30.33		
12	4'-9 1/2"	4000	35.43		
13	5'-2 1/2"	4500	40.93		
14	5'-7 1/4"	5000	46.83		
15	6'-0"	3000	53.13		



NOTES:

- 1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 2. FOR CONDITIONS IN WHICH THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN THE REQUIRED MINIMUM, A SPECIAL FOOTING SHALL BE DESIGNED BY A GEORGIA STATE REGISTERED PROFESSIONAL ENGINEER.
- 3. THIS WALL IS DESIGNED FOR LEVEL BACKFILL CONDITIONS ONLY WITHOUT SURCHARGE LOADING. WALLS FOR APPLICATIONS WHICH INCLUDE SLOPED BACKFILL CONDITIONS, SURCHARGE LOADS, FLUID DETENTION, ETC. SHALL BE DESIGNED BY A GEORGIA STATE REGISTERED PROFESSIONAL ENGINEER.
- 4. REQUIRED SOIL BEARING CAPACITY SHALL BE VERIFIED AT THE TIME OF EXCAVATION.



GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT
S T A N D A R D D R A W I N G

Concrete Gravity Retaining Wall

D A T E: JANUARY 1988 S H E E T: 104

CONTROL JOINTS AT INTERVALS NOT EXCEEDING 30 FEET (INTERRUPT EVERY OTHER HORIZONTAL REBAR 3" EACH SIDE OF EACH JOINT).

1" EXPANSION JOINTS AT INTERVALS
NOT EXCEEDING 90 FEET (EVERY
THIRD CONTROL JOINT).

JOINTS SHALL NOT BE PLACED IN FOOTINGS.

WATER STOPS TO BE MADE OF RUBBER OR OTHER APPROVED MATERIAL.

															-						
Σ	z		O	Σ	z		3	M		z	σ		Σ	Z		σ		Σ		1/2 H	2/3 H
	<u>a</u>	<u>~</u>	<u>α</u>		ж	<u>~</u>	\(\alpha\)		α.		ж	<u>a</u>		Œ	<u>~</u>		œ	<u>~</u>	Т		FOOTING
	-					<u> </u>	ELEV	⁷ AT	+ 'IOI'	1		-									

_	<u>⊢9"</u> LEVEL BACKFILL NOT LOADED
пент)	1" CLR. 1" CLR. 4" DRAIN PIPES 8' APART HORIZONTALLY 5' APART VERTICALLY (OR) FRENCH DRAIN LINE
H (DESIGN HEIGHT)	Bars M,N & Q (See Elevation) BARS T1 CRUSHED STONE CONTINUOUS
	4" PVC WEEP - 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
A	#4 @ 24" C-C
<u>*</u>	3" CLR. De LUG WHERE "H" IS 10'-0" OR OVER
	b a c

BACKFILL COMPACTED TO 95% of AASHTO T-99 (Min.) SECTION

NOTES:

- 1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 2. MINIMUM REQUIRED SOIL BEARING CAPACITY IS 3000 PSF.
- 3. THIS WALL IS DESIGNED FOR LEVEL BACKFILL CONDITIONS ONLY WITHOUT SURCHARGE LOADING. WALLS FOR APPLICATIONS WHICH INCLUDE SLOPED BACKFILL CONDITIONS, SURCHARGE LOADS, FLUID DETENTION, ETC. SHALL BE DESIGNED BY A GEORGIA STATE REGISTERED PROFESSIONAL ENGINEER.
- 4. REQUIRED SOIL BEARING CAPACITY SHALL BE VERIFIED AT THE TIME OF EXCAVATION.



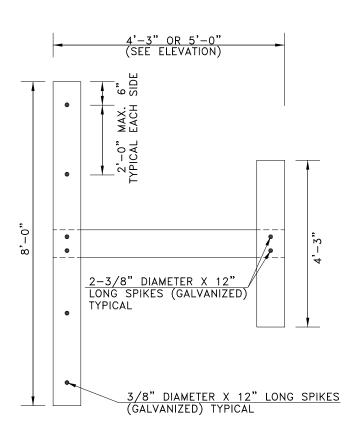
GWINNETT COUNTY

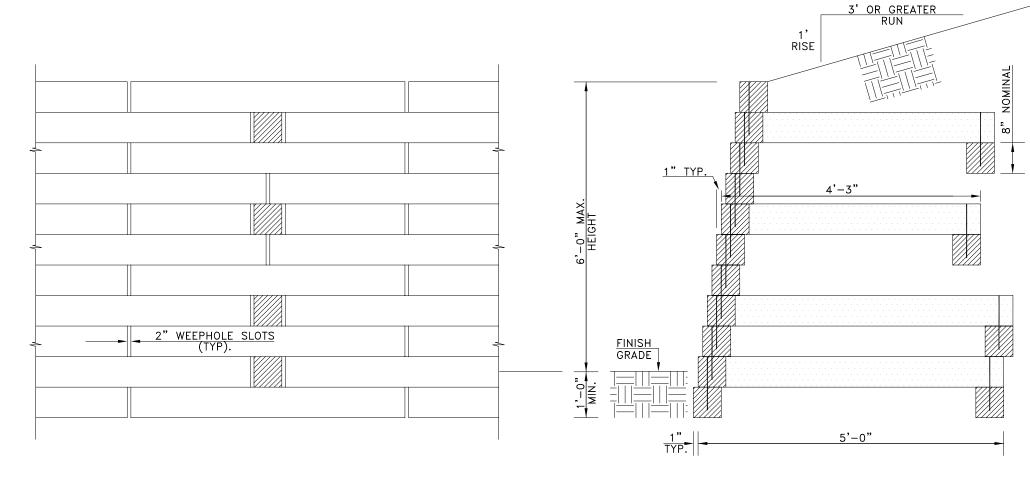
DEPARTMENT OF PLANNING & DEVELOPMENT
S T A N D A R D D R A W I N G

Concrete Cantilever Retaining Wall

D A T E: JANUARY 1988 S H E E T: 105

Н	а	b	С	В	M BARS	N BARS	Q BARS	P BARS	T BARS	T1 BARS	L BARS	R BARS
3'-0"	0'-10 1/2"	0'-4"	0'-7"	1'-9 1/2"	#3 @ 12"	_	_	#3 @ 18"	#3 @ 12"	#4 @ 12"	#3 @ 12"	#3 @ 12"
4'-0"	0'-11"	0'-6"	0'-10"	2'-3"	#3 @ 12"	_	_	#3 @ 18"	#3 @ 12"	#4 @ 12"	#3 @ 12"	#3 @ 12"
5'-0"	0'-11 1/2"	0'-8"	1'-4"	2'-11 1/2"	#3 @ 12"	_	_	#3 @ 18"	#3 @ 12"	#4 @ 12"	#3 @ 12"	#3 @ 12"
6'-0"	1'-0"	0'-10"	1'-7"	3'-5"	#3 @ 12"	_	_	#3 @ 16"	#3 @ 12"	#4 @ 12"	#3 @ 12"	#3 @ 12"
7'-0"	1'-0 1/2"	1'-0"	1'-10"	3'-10 1/2"	#4 @ 24"	#4 @ 24"	_	#3 @ 10"	#3 @ 12"	#4 @ 12"	#3 @ 12"	#4 @ 12"
8'-0"	1'-1"	1'-1"	2'-1"	4'-3"	#4 @ 20"	#4 @ 20"	_	#4 @ 15"	#3 @ 12"	#4 @ 12"	#3 @ 12"	#4 @ 10"
9'-0"	1'-1 1/2"	1'-2"	2'-9"	5'-0 1/2"	#4 @ 21"	#4 @ 21"	#4 @ 21"	#4 @ 11"	#3 @ 10"	#4 @ 10"	#3 @ 12"	#4 @ 7"
10'-0"	1'-2"	1'-4"	2'-10"	5'-4"	#5 @ 27"	#5 @ 27"	#5 @ 27"	#5 @ 16"	#3 @ 10"	#4 @ 10"	#3 @ 12"	#5 @ 9"
11'-0"	1'-2 1/2"	1'-6"	3'-2"	5'-10 1/2"	#5 @ 21"	#5 @ 21"	#5 @ 21"	#5 @ 12"	#3 @ 10"	#4 @ 10"	#4 @ 12"	#5 @ 7"
12'-0"	1'-3"	1'-8"	3'-7"	6'-6"	#6 @ 27"	#6 @ 27"	#6 @ 27"	#5 @ 10"	#3 @ 10"	#4 @ 10"	#4 @ 12"	#6 @ 9"
13'-0"	1'-3 1/2"	1'-8"	4'-0"	6'-11 1/2"	#6 @ 21"	#6 @ 21"	#6 @ 21"	#4 @ 6"	#3 @ 10"	#4 @ 10"	#4 @ 12"	#6 @ 7"
14'-0"	1'-4"	2'-1"	4'-3"	7'-8"	#6 @ 18"	#6 @ 18"			#4 @ 16"	#5 @ 16"	#4 @ 12"	#6 @ 6"
15'-0"	1'-4 1/2"	2'-1"	4'-7"	8'-0 1/2"	#7 @ 21"	#7 @ 21"	#7 @ 21"	#5 @ 6"	#4 @ 16"	#5 @ 16"	#4 @ 12"	#7 @ 7"
16'-0"	1'-5"	2'-2"	4'-11"	8'-6"	#7 @ 18"	#7 @ 18"	#7 @ 18"	#5 @ 5"	#4 @ 16"	#5 @ 16"	#4 @ 12"	#7 @ 6"
17'-0"	1'-5 1/2"	2'-3"	5'-3"	8'-11 1/2"	#7 @ 15"	#7 @ 15"	#7 @ 15"	#6 @ 6"	#4 @ 16"	#5 @ 16"	#4 @ 12"	#7 @ 5"
18'-0"	1'-6"	2'-4"	5'-7"	9'-5"	#8 @ 18"	#8 @ 18"	#8 @ 18"	#6 @ 5 1/2"	#4 @ 16"	#5 @ 16"	#4 @ 12"	#8 @ 6"
19'-0"	1'-6 1/2"	2'-6"	6'-1"	10'-1 1/2"	#8 @ 15"	#8 @ 15"	#8 @ 15"	#7 @ 6 1/2"	#4 @ 12"	#5 @ 12"	#4 @ 12"	#8 @ 5"
20'-0"	1'-7"	2'-8"	6'-6"	10'-9"	#9 @ 18"	#9 @ 18"	#9 @ 18"	#7 @ 6"	#4 @ 12"	#5 @ 12"	#4 @ 12"	#9 @ 6"





PLAN VIEW <u>SECTION ELEVATION</u>

NOTES:

- 1. THIS DESIGN SHALL BE USED FOR WALLS FROM 4'-0" HEIGHT TO 6'-0" MAXIMUM HEIGHT. A BUILDING PERMIT IS REQUIRED FOR WALLS WHICH EXCEED 4'-0" IN HEIGHT.
- 2. SOIL BEARING CAPACITY TO BE 2000 PSF MINIMUM.
- 3. LEVEL BACKFILL WITH SOIL TYPE B. (ASSUMED ACTIVE PRESSURE 45h PCF/L.F.)
- 4. NOMINAL TIE SIZE TO BE 8"X8".
- 5. PROVIDE 2" WEEPHOLE SLOTS AT EVERY 8'-0" LENGTH IN THIRD COURSE OF WALL HEIGHT.
- 6. SPIKE TIES AS INDICATED ON PLAN WITH GALVANIZED 3/8" DIAMETER X 12" LONG SPIKES. ACCEPTABLE OPTION IS NO. 3 REBARS.
- 7. ANY VARIATION FROM THIS DETAIL SHALL REQUIRE SUBMISSION OF ENGINEERED DESIGN PREPARED BY GEORGIA REGISTERED ENGINEER TO THE DEPARTMENT. REQUIRES BUILDING PERMIT.
- 8. BACKFILL SLOPE NOT TO EXCEED A RISE TO RUN RATIO OF 1 IN 3.
- 9. MINIMUM DISTANCE BETWEEN ADJACENT WALLS NOT TO BE LESS THAN MAXIMUM HEIGHT ABOVE GRADE OF DOWNGRADE WALL.



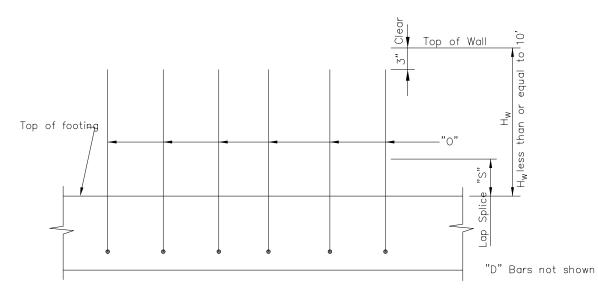
GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT S T A N D A R D D R A W I N G

Cross-Tie Retaining Wall

D A T E: JUNE 1993

S H E E T: 106

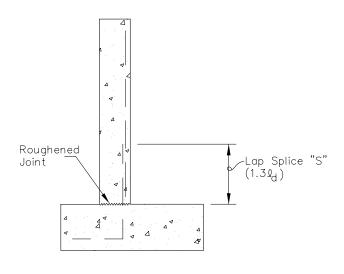


Elevation-Vertical Wall Reinforcement

General Notes

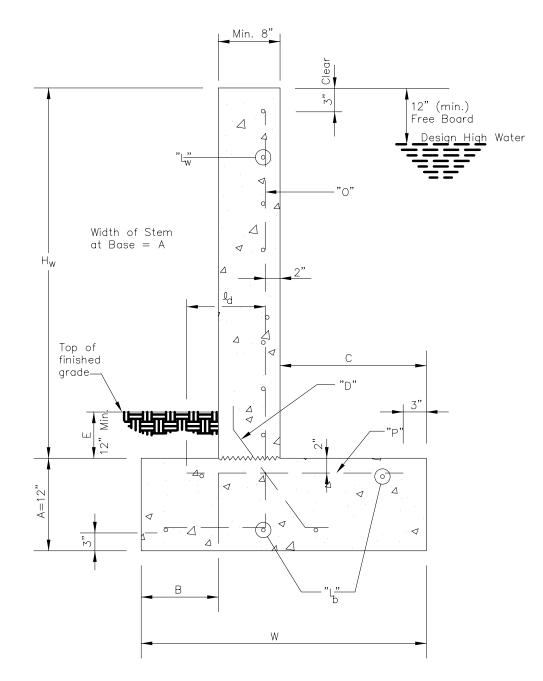
- 1. Concrete shall have a minimum 28 day compressive strength of 3000 psi. Steel shall be grade 60.
- 2. Minimum required soil bearing capacity of 3000 psf shall be verified at the time of excavation.
- This wall is designed for hydrostatic pressure (62.4 pcf) due to water detention.
- 4. Weir requirements for detention pond wall are beyond the scope of these details, and shall be specified by a professional engineer registered in the State of Georgia.
- 5. Refer to tables on this sheet for additional information not indicated in the details.

Rebar Developme Length 🍇)	nRebar Size
22"	#4
27"	#5
32"	#6
39"	#7
51"	#8
64"	#9



Optional Splice

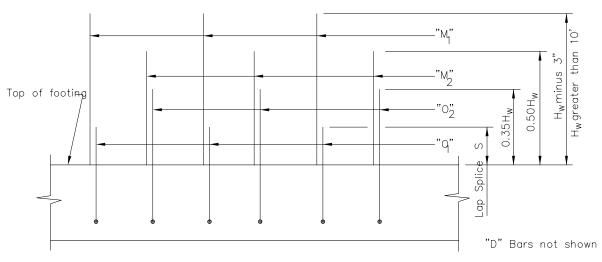
CONCRETE DIMENSIONS				Height above	Base Depth	D 102 112 01102211						STEM		Soil on Footing
Height above Base H _W	Width of Wall A	Heel C	Width of Base W	Base Hw	A ≥12"		r Dowels Stem	"D" Bars Diagonal Corner Bars		s"P" Bars đlop Bars	Straight	"L _w " Bars Longituding		Minimum Soil Depth E
ft.	in.	ft.—in.	ft.—in.	ft.	in.	Size— Spacing	Short Dowel	Size— Spacing	Number- Size	Size— Spacing	Size— Spacing	Size- Spacing	S	
3	8	1'-2"	2'-6"	3	12	#4@18"	None	#4@18"	5-#4	#6@18"	None	#4@12"	22"	12"
4	8	1'-7"	3'-1"	4	12	#4@18"	None	#4@18"	5-#4	#6@18"	None	#4@12"	22"	12"
5	8	2'-7"	4'-3"	5	12	#4@18"	None	#4@18"	5-#5	#6@18"	None	#4@12"	22"	12"
6	8	3'-6"	5'-5"	6	12	#4@15"	None	#4@15"	5-#5	#6@15"	None	#4@12"	22"	12"
7	8	4'-5"	6'-6"	7	12	#4@9"	None	#4@9"	6-#5	#4@9"	None	#4@12"	22"	12"
8	12	4'-11"	7'-7"	8	12	#4@11"	None	#4@11"	6-#6	#5@11"	None	#5@12"	22"	12"
9	12	5'-10"	8'-8"	9	12	#5@12"	None	#4@12"	6-#6	#5@12"	None	#5@12"	22"	12"
10	12	6'-8"	9'-8"	10	12	#6@12"	None	#4@12"	6-#6	#5@12"	None	#5@12"	22"	12"



Dimensions and Structural Reinforcement for Wall Heights ≤10'



GWINNETT COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT S T A N D A R D D R A W I N G Concrete Cantilever Detention Pond Retaining Wall, Height $\leq 10^{\circ}$

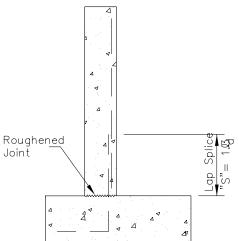


Rebar Developme Length 🍇)	nRebar Size
22"	#4
27"	#5
32"	#6
39"	#7
51"	#8
64"	#9

Elevation-Vertical Wall Reinforcement

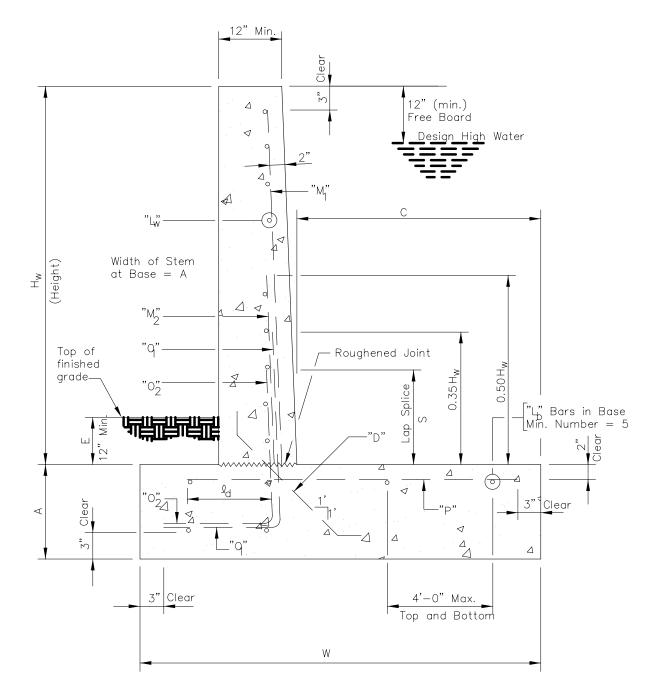
General Notes

- 1. Concrete shall have a minimum 28 day compressive strength of 3000 psi. Steel shall be grade 60.
- 2. Minimum required soil bearing capacity of 3000 psf shall be verified at the time of excavation.
- This wall is designed for hydrostatic pressure (62.4 pcf) due to water detention.
- 4. Weir requirements for detention pond wall are beyond the scope of these details, and shall be specified by a professional engineer registered in the State of Georgia.
- 5. Refer to tables on this sheet for additional information not indicated in the details.



Optional Splice

CC	NCRETE	DIMENSI	ONS	Height above	Base Depth							STEM		Soil on Footing
Height above Base Hw	Width of Wall A	Heel C	Width of Base W	Base Hw	A ≥12"		r Dowels Stem			s"P" Bars đlop Bars	"M" Bars Straight Lengths	"L _w " Bars Longitudin	Splice al	Mininmun Soil Dept
ft.	in.	ft.—in.	ft.—in.	ft.	in.	Size— Spacing	Short Dowel	Size— Spacing	Number- Size	Size- Spacing	Size- Spacing	Size— Spacing	S	E
11	13	7'-5"	10'-9"	11	13	#6@9"	2'-1"	#4@9"	7-#6	#5@9"	#4@9"	#6@12"	25"	12"
12	14	8'-1"	11'-8"	12	14	#7@9"	2'-5"	#4@9"	7-#7	#6@9"	#5@9"	#6@12"	30"	12"
13	15	8'-10"	12'-9"	13	15	#7@9"	2'-5"	#4@9"	7-#7	#6@9"	#5@9"	#6@11"	30"	16"
14	16	9'-7"	13'-9"	14	16	#8@9"	2'-11"	#5@9"	7-#8	#7@9"	#5@9"	#7@15"	39"	16"
15	18	10'-2"	14'-8"	15	18	#8@9"	2'-11"	#5@9"	8-#8	#7@9"	#6@9"	#8@17"	39"	16"
16	19	10'-11'	' 15'-9"	16	19	#8@9"	2'-11"	#5@9"	8-#9	#7@9"	#6@9"	#8@16"	39"	16"
17	20	11'-7"	16'-8"	17	21	#9@9"	3'-8"	#6@9"	8-#9	#8@9"	#6@9"	#8@15"	49"	20"
18	21	12'-4"	17'-9"	18	23	#9@9"	3'-8"	#6@9"	8-#10	#8@9"	#7@9"	#8@15"	49"	20"
19	22	13'-1"	18'-9"	19	24	#10@9"	4'-8"	#6@9"	9-#9	#9@9"	#7@9"	#8@14"	63"	20"
20	23	13'-10	19'-9"	20	26	#10@9"	4'-8"	#7@9"	9-#10	#9@9"	#8@9"	#8@17"	63"	20"



Dimensions and Structural Reinforcement for Wall Heights greater than 10'



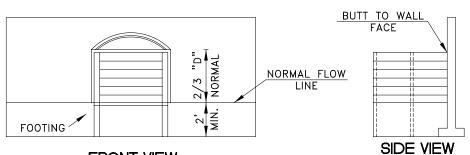
GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT S T A N D A R D D R A W I N G

Concrete Cantilevered Detention Pond Retaining Wall, Height Greater than 10'

D A T E: JANUARY 1988 S H E E T: 108

TYPE 2. FOR STRAIGHT HEADWALLS TO BE PLACED AT INLET

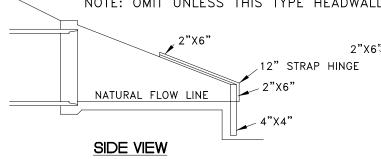


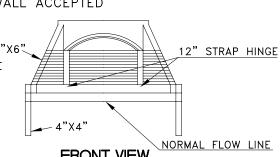
NOTES:

- 1. ALL TIMBER TO BE TREATED.
- 2. NO SPACE TO BE ALLOWED BETWEEN BOARDS.

TYPE 4. FOR FLARED END SECTIONS AND SPECIAL DESIGN HEADWALLS

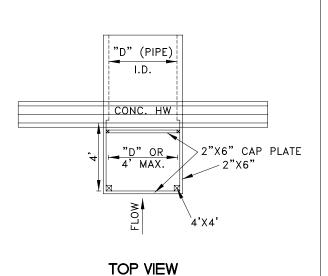
NOTE: OMIT UNLESS THIS TYPE HEADWALL ACCEPTED

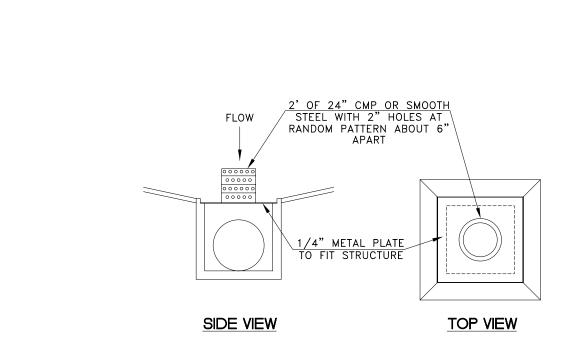


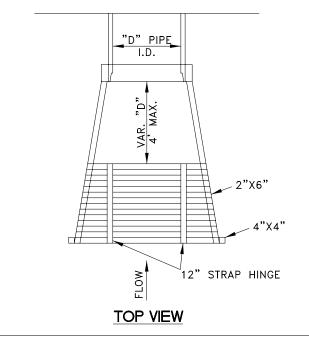


FRONT VIEW

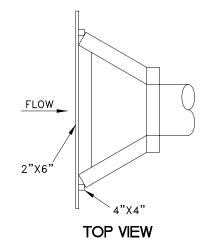
FRONT VIEW

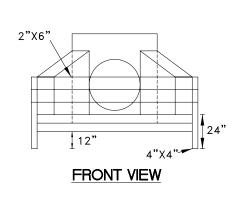


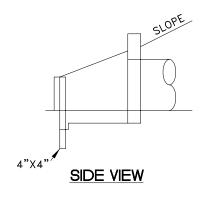




TYPE 3 FOR DROP INLETS AND CATCH BASINS







TYPE 1. TO BE PLACED ON INLET OF PRECAST HEADWALLS

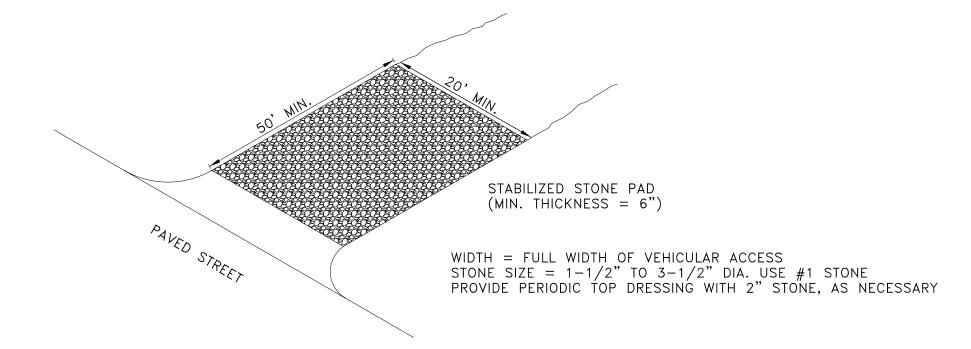
REFER TO S.C.S. "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" LATEST EDITION FOR OTHER DETAILS CONCERNING BEST MANAGEMENT PRACTICES.



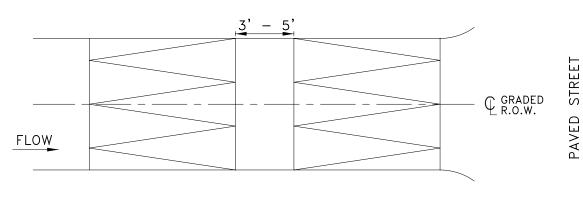
GWINNETT COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT STANDARD DRAWING Temporary Erosion Control - Silt Gates Types 1, 2, 3, and 4

D A T E: JANUARY 1988

S H E E T: 201



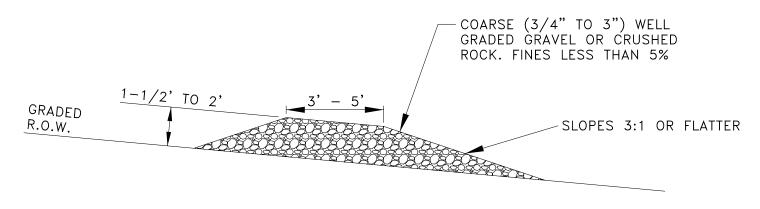
STONE PAD CONSTRUCTION EXIT



PLAN

NOTES:

- 1. CONSTRUCTION PADS ARE REQUIRED.
 THE LENGTH AND WIDTH OF THE PAD
 WILL DEPEND ON THE TYPE OF ACTIVITY
 AND SITE CONDITIONS WHICH WILL BE
 DETERMINED BY GWINNETT COUNTY IN THE
 FIELD.
- 2. A WOVEN GEO-TEXTILE SHALL BE PLACED UNDER THE 6" STONE PAD WHERE CONST. TRAFFIC IS HEAVY, OR EROSION CONTROL MAINTENANCE IS ESSENTIAL.
- 3. REMOVE TRAPPED SEDIMENT AFTER EACH STORM. CLEAN OR REPLACE FILTER MATERIAL AS NEEDED.



FILTER BERM



GWINNETT COUNTY

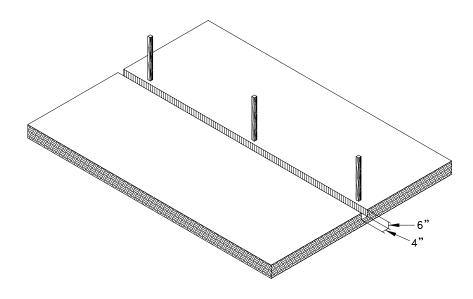
DEPARTMENT OF PLANNING & DEVELOPMENT
S T A N D A R D D R A W I N G

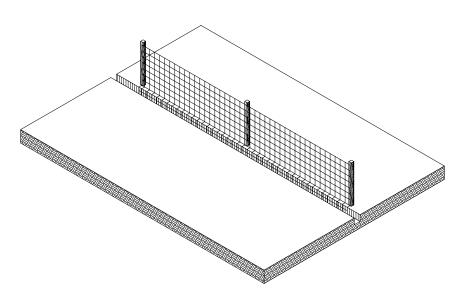
Stone Pad Construction Exit and Filter Berm

D A T E: JANUARY 1988

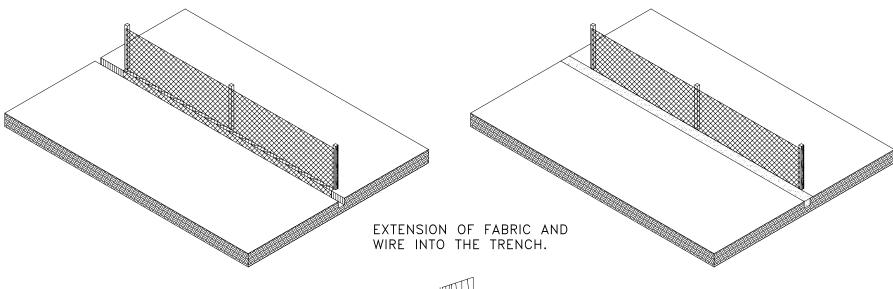
1. SET POSTS AND EXCAVATE A 4"X6" TRENCH UPSLOPE ALONG THE LINE OF POSTS.

2. STAPLE WIRE FENCING TO THE POSTS. OPTIONAL, BUT RECOMMENDED.



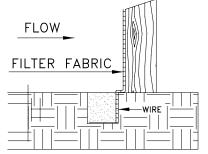


- 3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND IT INTO THE TRENCH.
- 4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



NOTE:

GEO-TEXTILE FABRIC MAY BE ERECTED WITH OR WITHOUT A WIRE BACKING DEPENDING ON SITE CONDITIONS.



NO.	BY	REVISION	DATE
1.	EOP	REV. TYPE C S.F.	3/3/04

TYPE "A" FENCE:

POST SHALL BE A MINIMUM OF 4 FEET LONG AND SHALL BE EITHER WOOD OR STEEL. SOFT WOOD POSTS SHALL BE AT LEAST 3 INCHES IN DIAMETER OR NOMINAL 2"x4" STRAIGHT ENOUGH TO PROVIDE A FENCE WITHOUT NOTICEABLE MISALIGNMENT. IF HARDWOOD POSTS ARE USED THE SIZE MAY BE REDUCED TO 1-1/2"x1-1/2" WITH A MINIMUM TOLERANCE OF 1/4". STEEL POSTS SHALL BE U, T OR C SHAPED WITH A MINIMUM WEIGHT OF 1.15 POUNDS PER FOOT AND HAVE PROJECTIONS FOR FASTENING THE FENCE TO THE POSTS. MAXIMUM SPACING OF THE POSTS SHALL BE 6 FEET.

TYPE "B" FENCE:

POST SHALL BE A MINIMUM OF 3 FEET LONG AND SHALL BE EITHER WOOD OR STEEL. SOFT WOOD POSTS SHALL BE AT LEAST 2 INCHES IN DIAMETER OR NOMINAL 2"x2". IF HARDWOOD POSTS ARE USED THE SIZE MAY BE REDUCED TO 1"x1" WITH A MINIMUM TOLERANCE OF 1/4". STEEL POSTS SHALL BE U, T OR C SHAPED WITH A MINIMUM WEIGHT OF 0.75 POUNDS PER FOOT AND HAVE PROJECTIONS FOR FASTENING THE FENCE TO THE POSTS. MAXIMUM SPACING SHALL BE 6 FEET.

TYPE "C" FENCE:

POST SHALL BE STEEL AND HAVE A MINIMUM LENGTH OF 5 FEET. POSTS SHALL BE U, T OR C SHAPED AND HAVE A MINIMUM WEIGHT OF 1.15 POUNDS PER FOOT. THE POSTS SHALL HAVE PROJECTIONS FOR FASTENING THE WOVEN WIRE AND FILTER FABRIC. MAXIMUM POST SPACING SHALL BE 4 FEET. THE WOVEN WIRE SUPPORT FENCE SHALL BE AT LEAST 32 INCHES HIGH AND SHALL HAVE AT LEAST 6 HORIZONTAL WIRES. VERTICAL WIRES SHALL HAVE A MAXIMUM SPACING OF 12 INCHES. THE TOP AND BOTTOM WIRES SHALL BE AT LEAST 10 GAUGE AND ALL OTHER WIRES SHALL BE AT LEAST 12-1/2 GUAGE. THE FILTER FABRIC SHALL BE ATTACHED TO THE TOP OF THE WOVEN WIRE FENCE AT THE MIDPOINT BETWEEN POSTS.

TYPE "C" SILT FENCE SHALL ALWAYS BE USED EXCEPT IN LOW FLOW AREAS AROUND SINGLE FAMILY DWELLINGS

TYPE FENCE	Α	В	С
Tensile Strength (Lbs. Min) (1) (ASTM D-4632)	Warp—120 Fill—100	Warp-120 Fill-100	Warp-260 Fill-180
Elongation (% Max.) (ASTM D-4632)	40	40 1	40
AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751)	#30	#30	#30
Flow Rate (Gal./Min/Sq.Ft.) (GDT-87)	25	25	70
Ultraviolet Stablility (2) (ASTM D-4632 after 300 hours weathering in accordance with ASTM D-4355)	80	80	80
Bursting Strength (PSI Min.) (ASTM D-3786 Diaphragm Bursting Strength Tester)	175	175	175
Minimum Fabric Width (Inches)	36	22	36

- (1) MINIMUM ROLL AVERAGE OF FIVE SPECIMENS.
- (2) PERCENT OF REQUIRED INITIAL MINIMUM TENSILE STRENGTH.

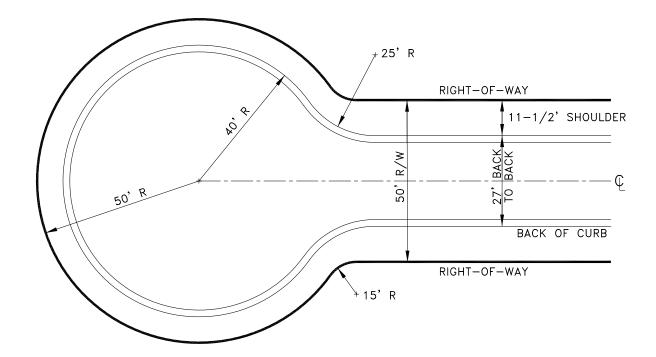


GWINNETT COUNTY

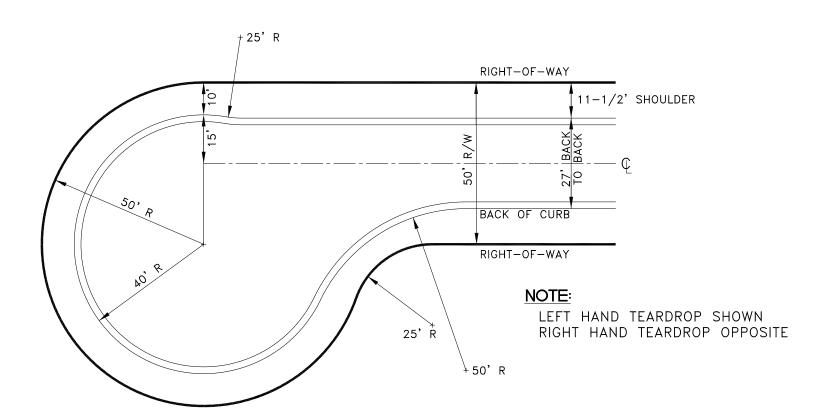
DEPARTMENT OF PLANNING & DEVELOPMENT
S T A N D A R D D R A W I N G

Construction of a Silt Fence

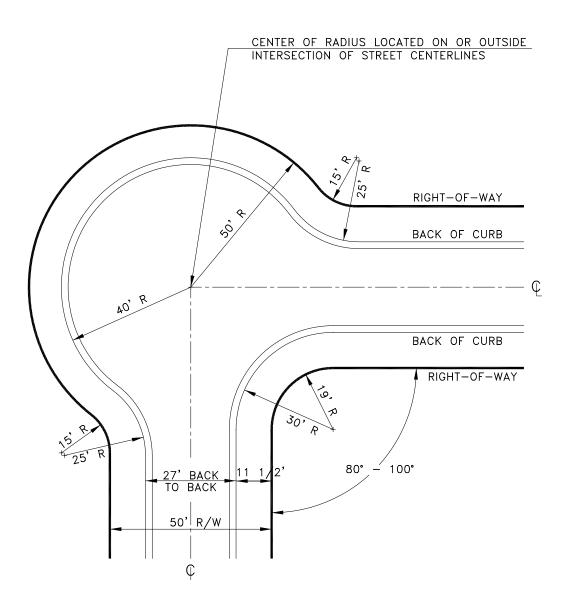
D A T E: JANUARY 1988



"CENTERED" CUL-DE-SAC TURN-AROUND



"TEARDROP" CUL-DE-SAC TURN-AROUND



"EYEBROW" TURN-AROUND

LOCAL RESIDENTIAL STREETS ONLY

BY	REVISION	DATE
EOP	GENERAL REVISION	11/14/03



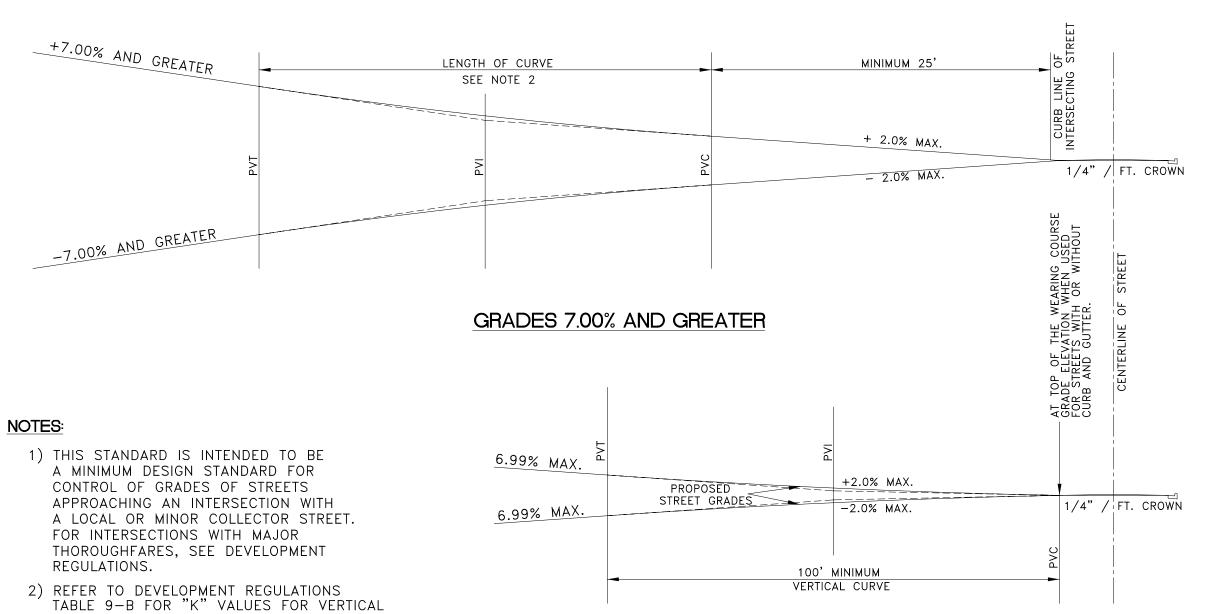
GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT S T A N D A R D D R A W I N G

Standard Residential Turn-Arounds

D A T E: JANUARY 1988

INTERSECTION OF LOCAL OR MINOR COLLECTOR STREETS

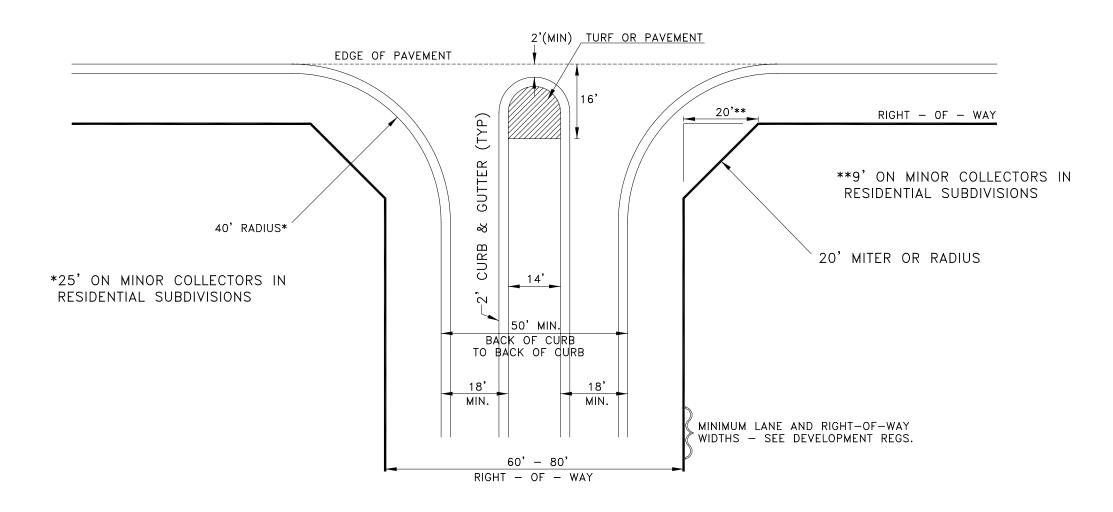






CURVES.

CENTERLINE



NOTES:

- 1. INSIDE OF ISLANDS ARE TO BE BACKFILLED WITH PORTLAND CEMENT CONCRETE, OR GRASSED, OR PLANTED WITH VEGETATION NOT EXCEEDING TWENTY—FOUR INCHES IN HEIGHT.
- 2. DEVELOPER TO MAINTAIN GRASSED OR PLANTED ISLAND.
- 3. LARGER RADII FOR RIGHT-OF-WAY OR ROADWAY CONNECTIONS MAY BE REQUIRED FOR STREETS INTERSECTING AT ANGLES LESS THAN 90 DEGREES.



GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT

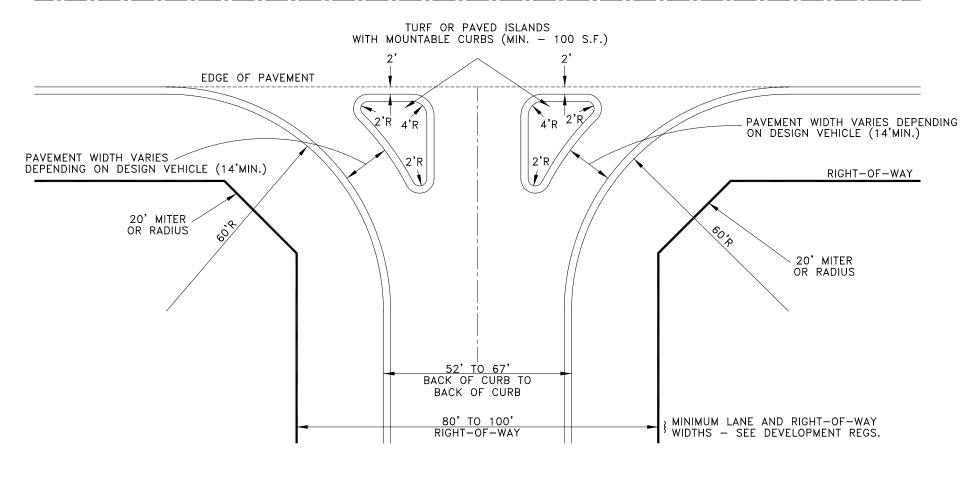
S T A N D A R D D R A W I N G

INTERSECTION DETAIL NO. 1

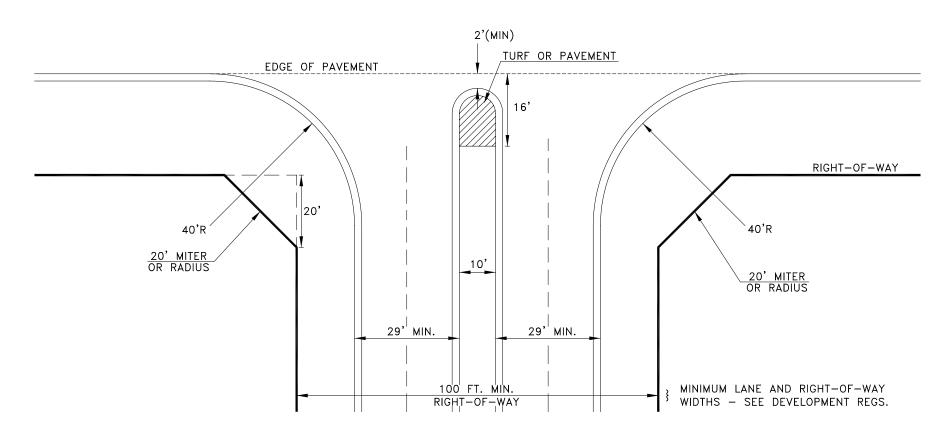
T-Intersection Only - Minor or Major

Collector Street Classification

D A T E: JANUARY 1988 S H E E T: 305



CENTERLINE



INTERSECTION DETAIL NO. 2

NOTES:

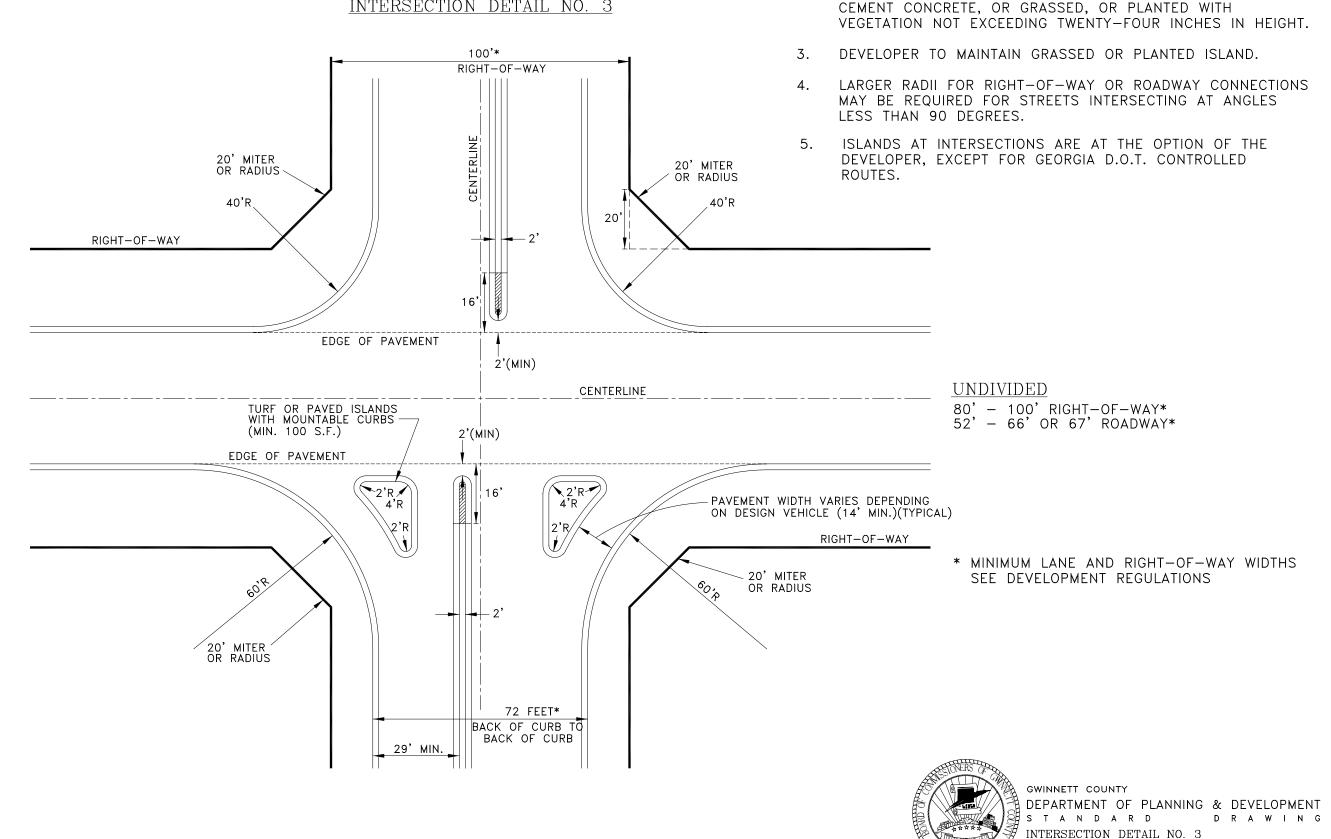
- 1. A COMBINATION OF THESE TWO DESIGNS MAY BE USED.
- 2. INSIDE OF ISLANDS IS TO BE BACKFILLED WITH PORTLAND CEMENT CONCRETE, OR GRASSED, OR PLANTED WITH VEGETATION NOT EXCEEDING TWENTY—FOUR INCHES IN HEIGHT.
- 3. DEVELOPER TO MAINTAIN GRASSED OR PLANTED ISLAND.
- 4. LARGER RADII FOR RIGHT-OF-WAY OR ROADWAY CONNECTIONS MAY BE REQUIRED FOR STREETS INTERSECTING AT ANGLES LESS THAN 90 DEGREES.
- 5. ISLANDS AT INTERSECTIONS ARE AT THE OPTION OF THE DEVELOPER, EXCEPT FOR GEORGIA D.O.T. CONTROLLED ROUTES.



GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT
S T A N D A R D D R A W I N G
INTERSECTION DETAIL NO. 2
T—Intersection Only — Arterial or Major Collector
Street Classification
D A T E: JANUARY 1988 S H E E T: 306

INTERSECTION DETAIL NO. 3



NOTES:

A COMBINATION OF THESE TWO DESIGNS MAY BE USED.

INSIDE OF ISLANDS IS TO BE BACKFILLED WITH PORTLAND

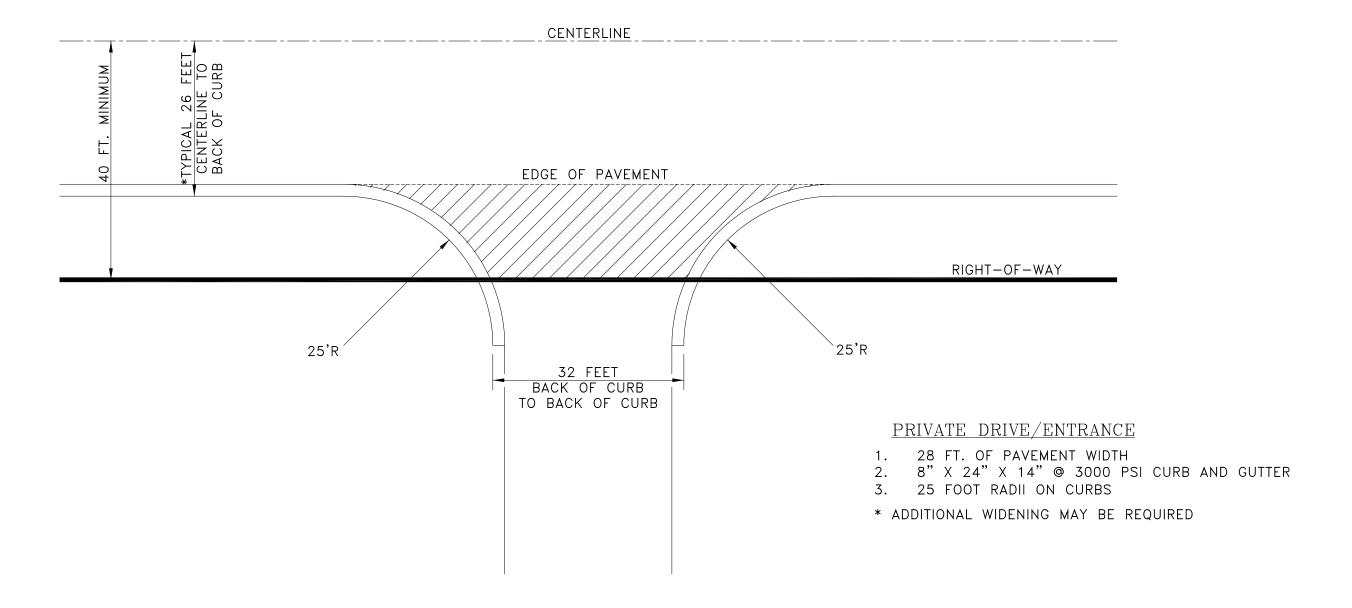
Arterial or Major Collector Street Classification

S H E E T: 307

D A T E: JANUARY 1988

DRIVEWAY DETAIL 1 - 32 FT. WIDTH, 25 FT. RADIUS

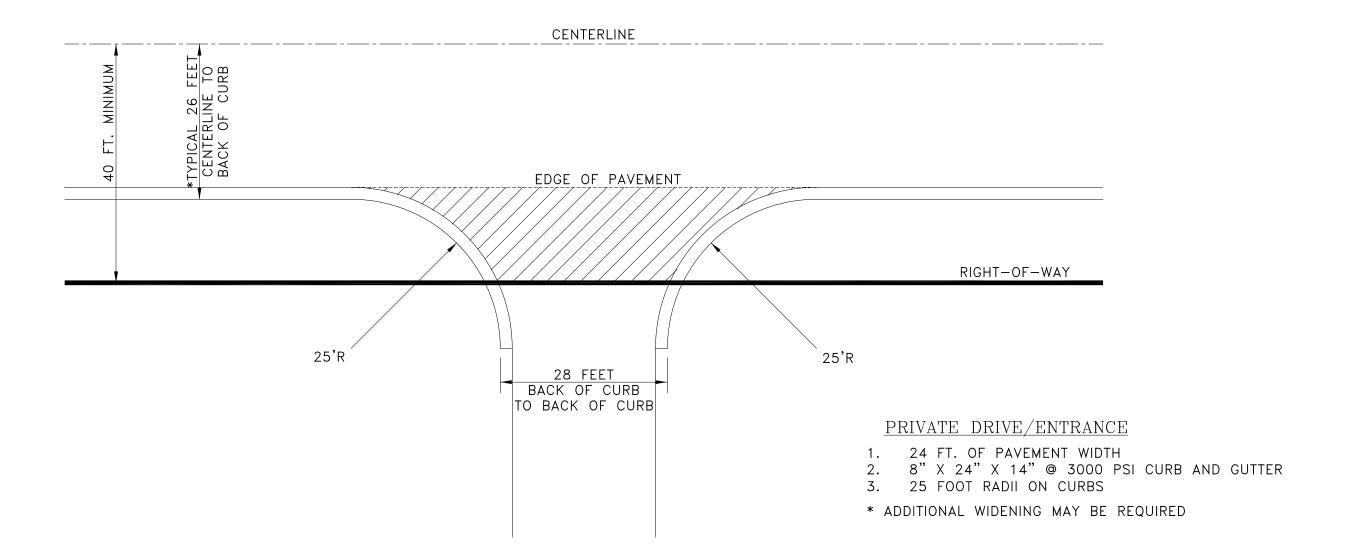
AUTOMOBILE SERVICE STATIONS/GASOLINE CONVENIENCE STORES COMMERCIAL SITES (OVER 80,000 SQ. FT.)
OFFICE INSTITUTIONAL COMPLEXES (OVER 100,000 SQ. FT.)
APARTMENT/CONDO COMPLEXES (OVER 200 UNITS)
MOBILE HOME COMPLEXES (OVER 200 LOTS)



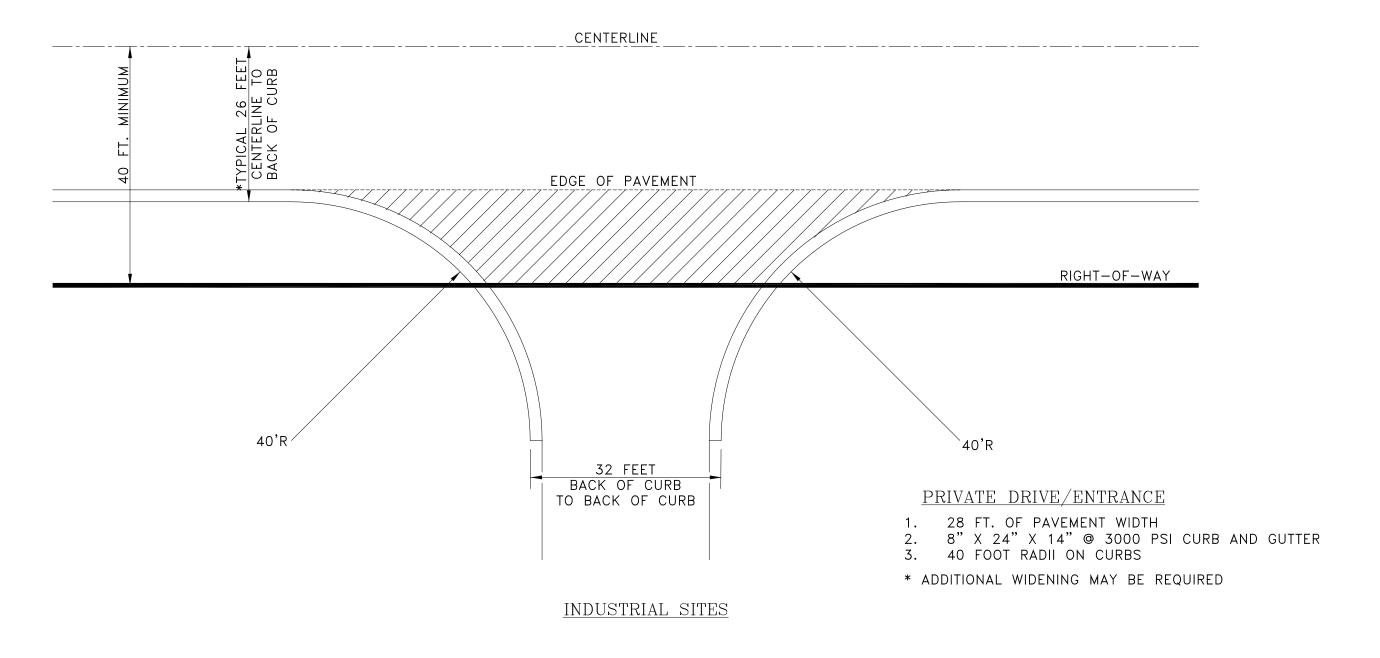


DRIVEWAY DETAIL 2 - 28 FT. WIDTH, 25 FT. RADIUS

COMMERCIAL SITES (80,000 SQ. FT. OR LESS)
OFFICE/INSTITUTIONAL COMPLEXES (100,000 SQ. FT. OF LESS)
APARTMENT/CONDO COMPLEXES (200 UNITS OR LESS)
MOBILE HOME COMPLEXES (200 LOTS OR LESS)



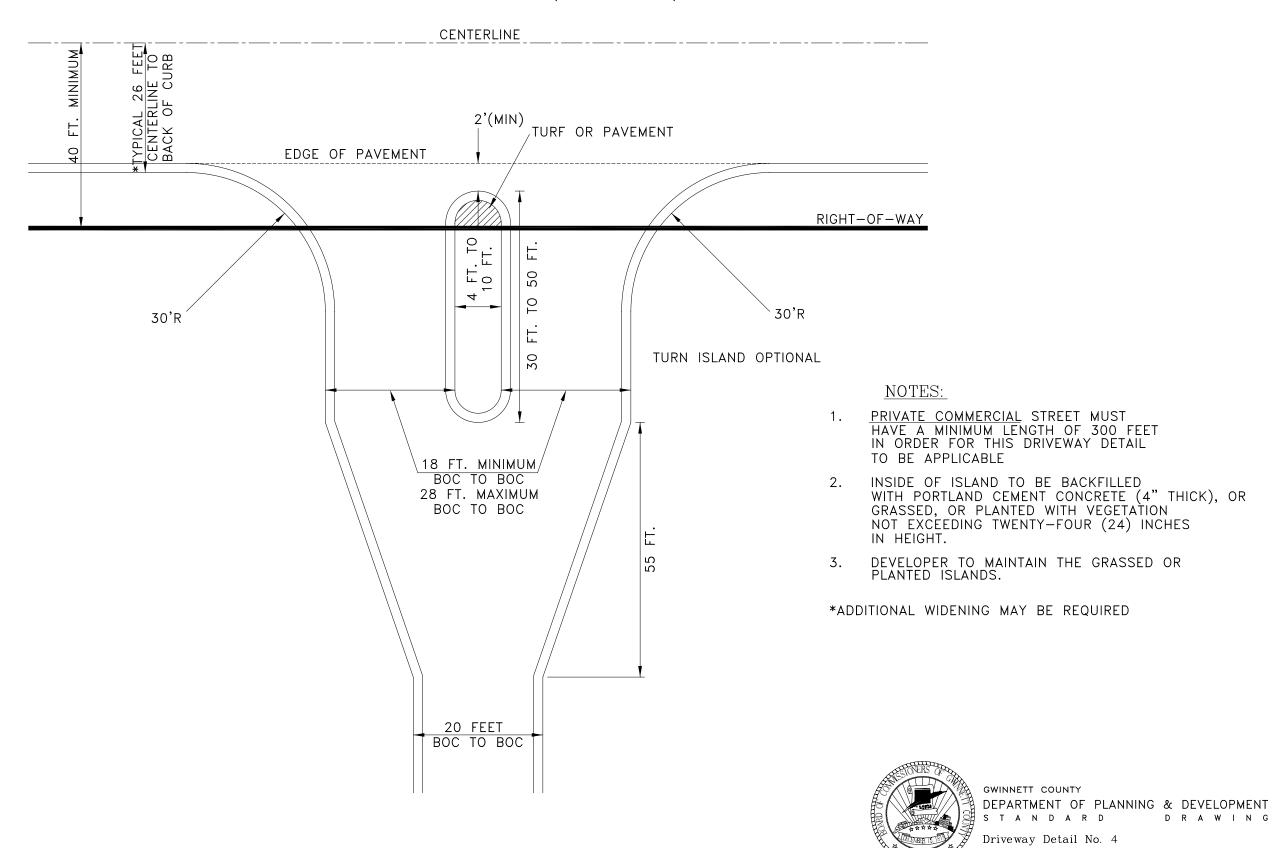






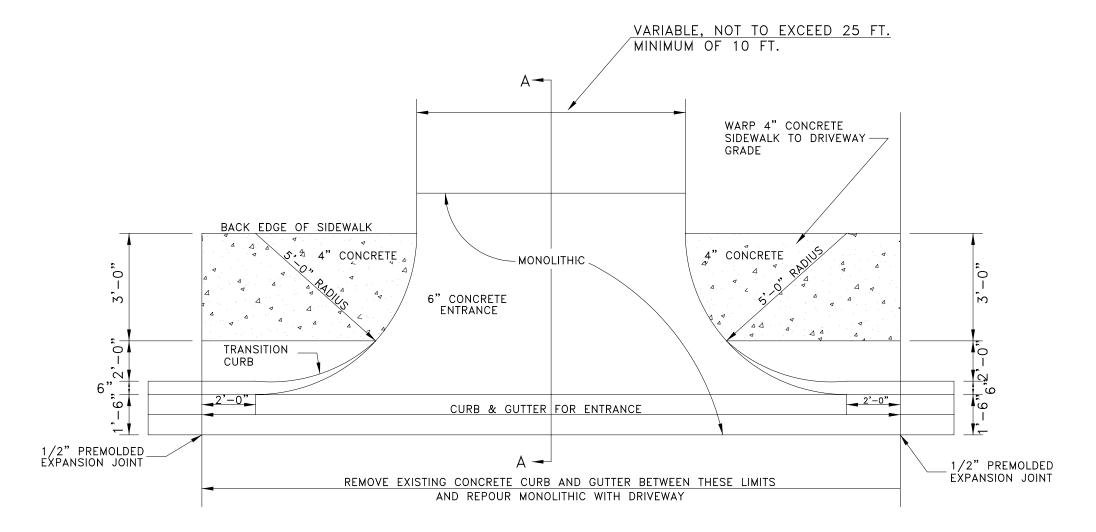
DRIVEWAY DETAIL 4 - (OPTIONAL)

PRIVATE COMMERCIAL OR OFFICE STREET ENTRANCES APARTMENT/CONDO COMPLEXES (OVER 200 UNITS) MOBILE HOME COMPLEXES (OVER 200 LOTS)

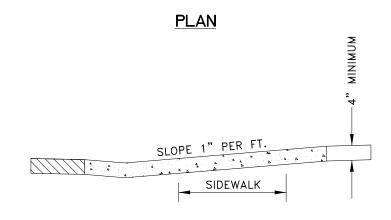


S H E E T: 311

D A T E: JANUARY 1988

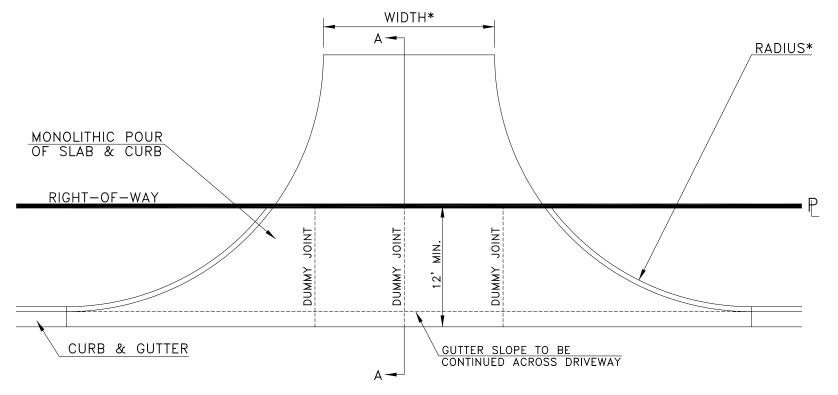


ALL CONCRETE SHALL BE 3000 PSI



SECTION A-A

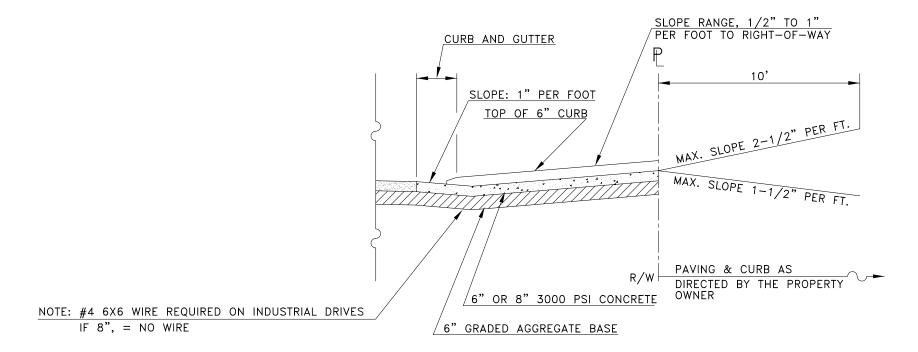




* SEE DRIVEWAY DETAILS FOR WIDTH AND RADIUS

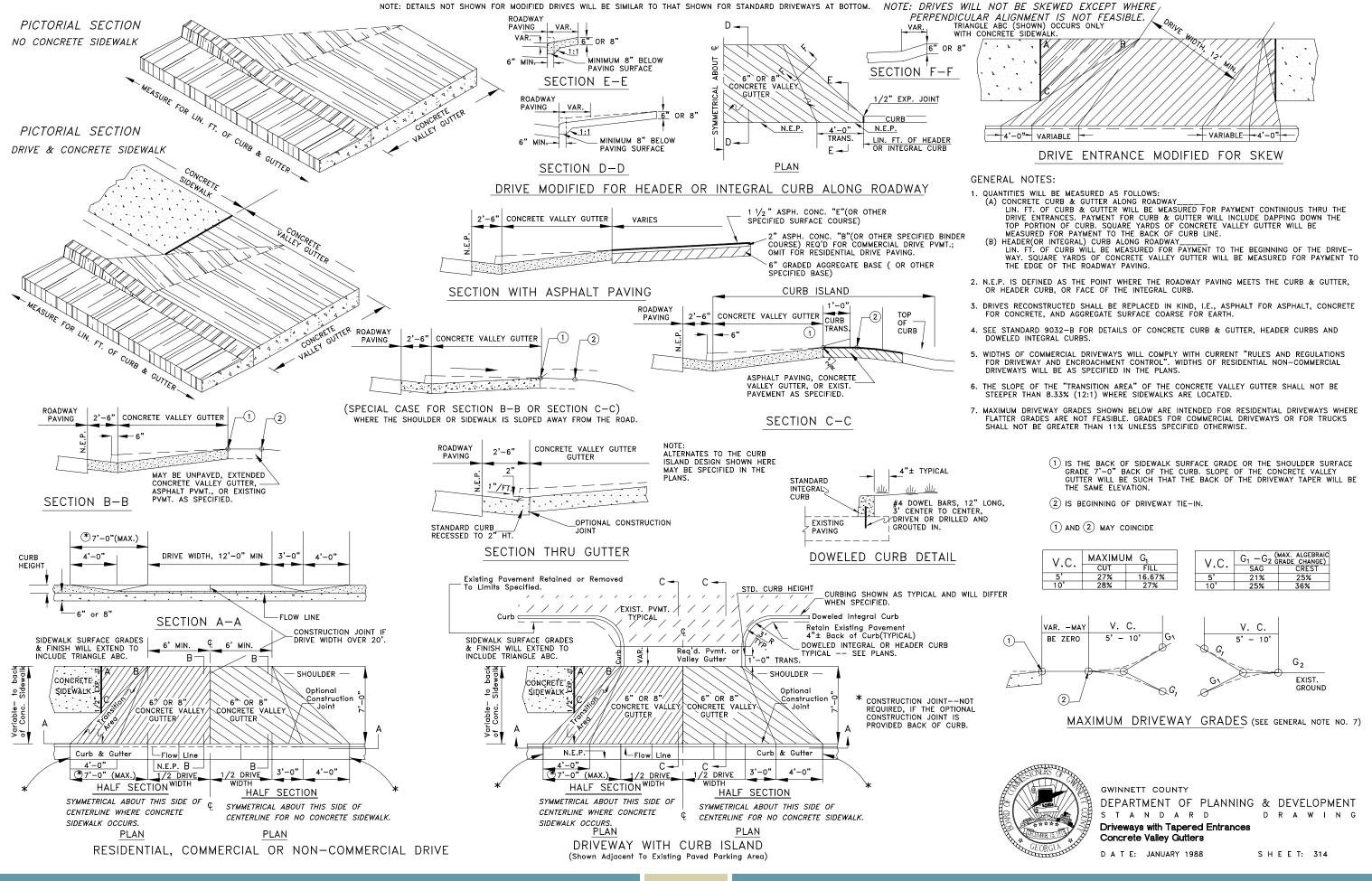
ORIGINAL CURB AND GUTTER TO BE REMOVED. ASPHALT TO BE PATCHED AS REQUIRED.

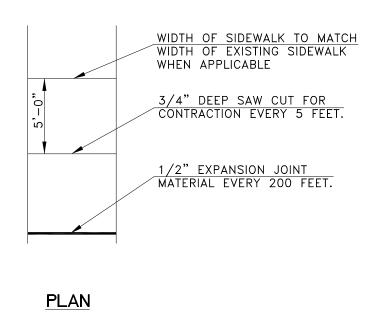
PLAN

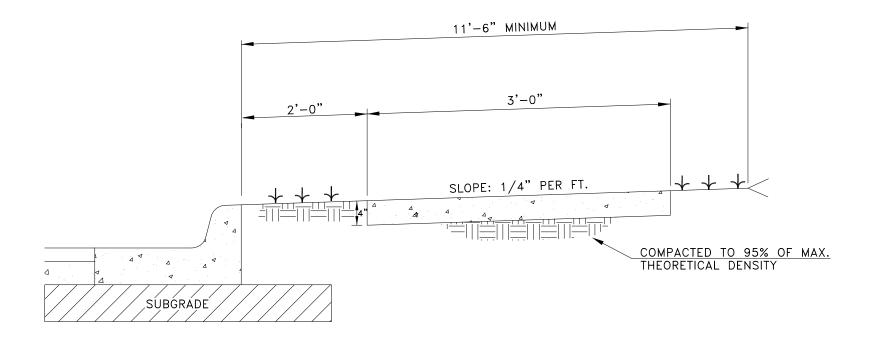


SECTION A-A

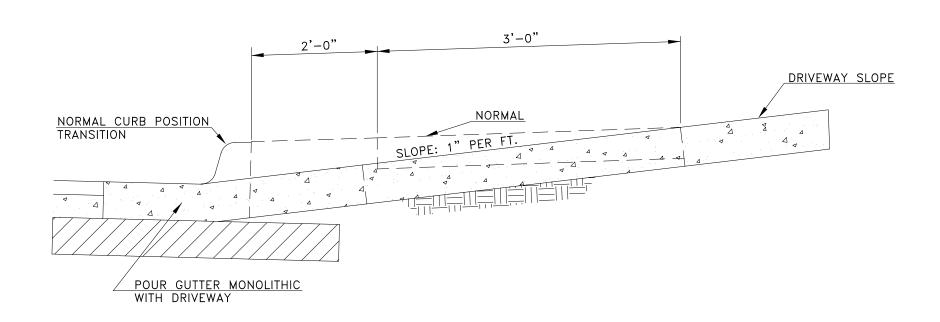








TYPICAL SECTION OF 3' - 0" SIDEWALK

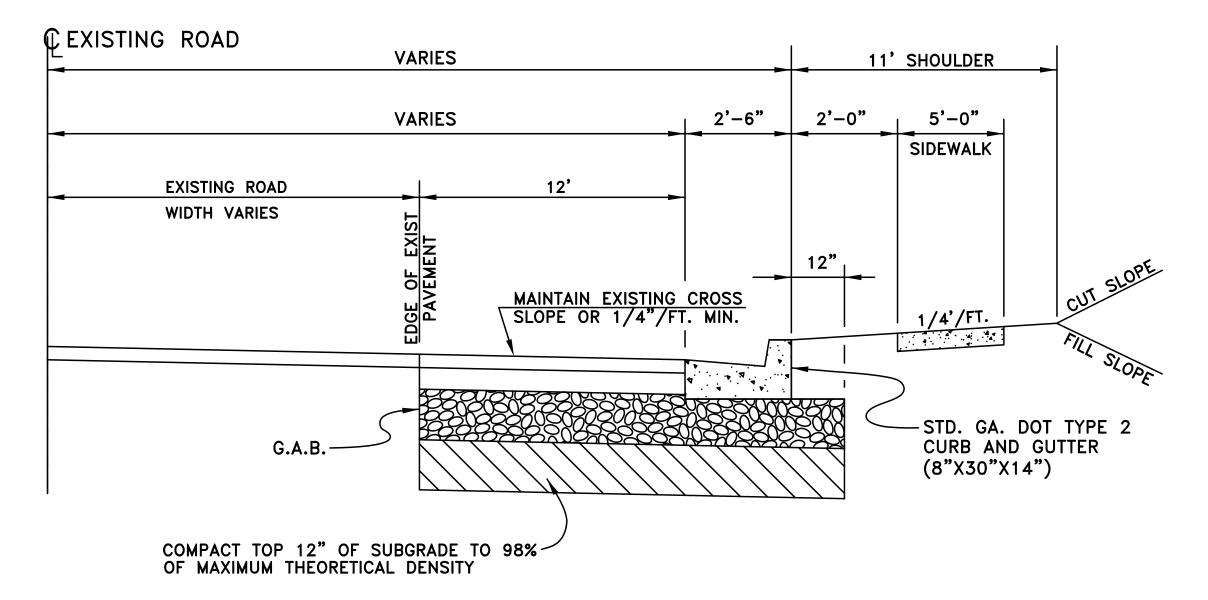


SIDEWALK SECTION AT DRIVEWAY

NOTES:

- 1) SIDEWALK TO BE CONSTRUCTED OF 3000 PSI CONCRETE AT 28 DAYS.
- 2) SIDEWALK TO BE 4 INCHES (4") THICK.
- 3) 1/2" PREMOULDED EXPANSION JOINT REQUIRED AT ALL DRIVEWAYS, CURBS, ETC.





ARTERIALS OVER 10,000 ADT TYPICAL DECELERATION LANE SECTION

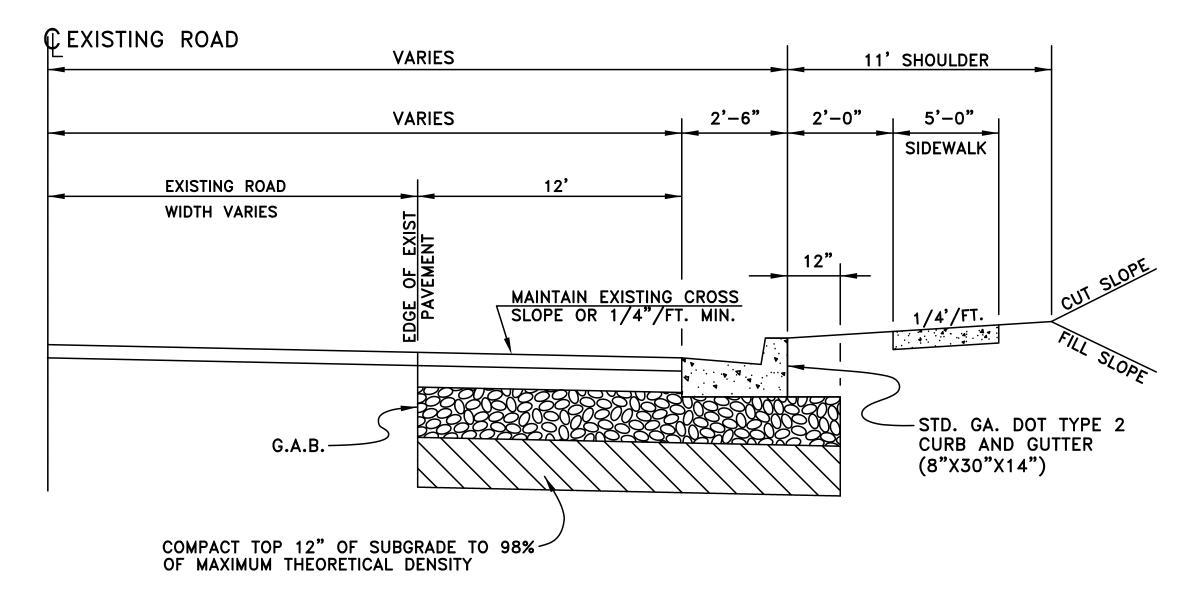
10" OF G.A.B., 4" OF 25mm SUPERPAVE,
2" OF 19mm SUPERPAVE AND 1.5" OF 12.5mm SUPERPAVE

BY	REVISION	DATE

GWINNETT COUNTY
DEPARTMENT OF TRANSPORTATION

401A MAJOR ARTERIAL DECEL LANE TYP. SECTION

D A T E: May, 2014



ARTERIALS UNDER 10,000 ADT TYPICAL DECELERATION LANE SECTION

10" OF G.A.B., 4" OF 25mm SUPERPAVE,

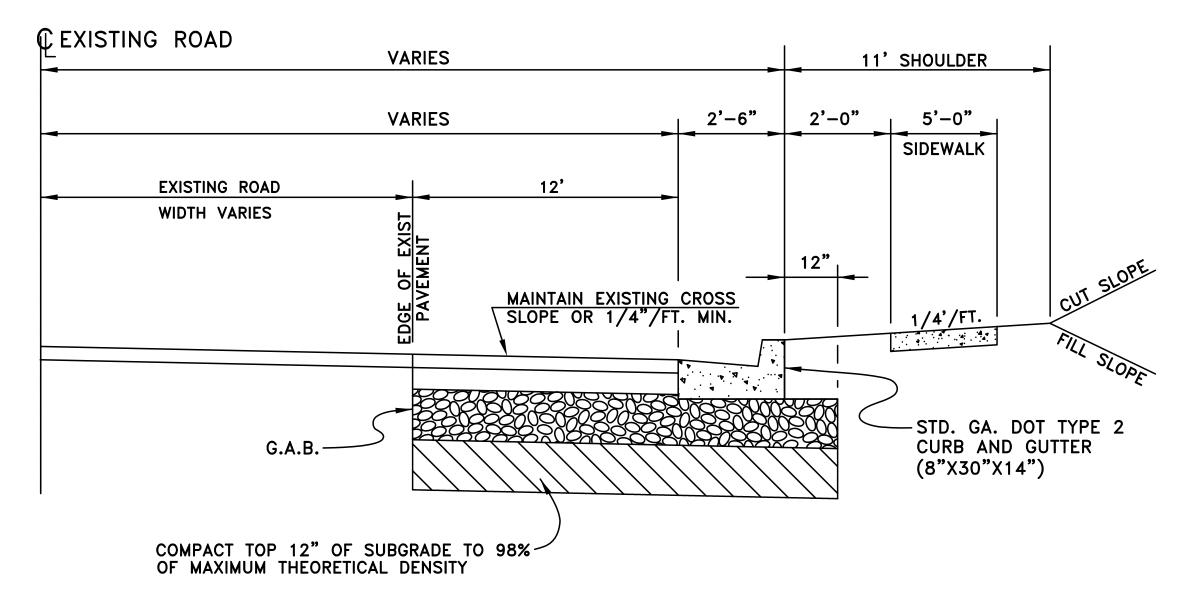
2" OF 19mm SUPERPAVE AND 1.5" OF TYPE II 9.5mm SUPERPAVE

BY	REVISION	DATE

GWINNETT COUNTY
DEPARTMENT OF TRANSPORTATION

401B MAJOR ARTERIAL DECEL LANE TYP. SECTION

D A T E: May, 2014



COLLECTORS OVER 10,000 ADT TYPICAL DECELERATION LANE SECTION

10" OF G.A.B., 4" OF 25mm SUPERPAVE,

AND 1.5" OF 12.5mm SUPERPAVE

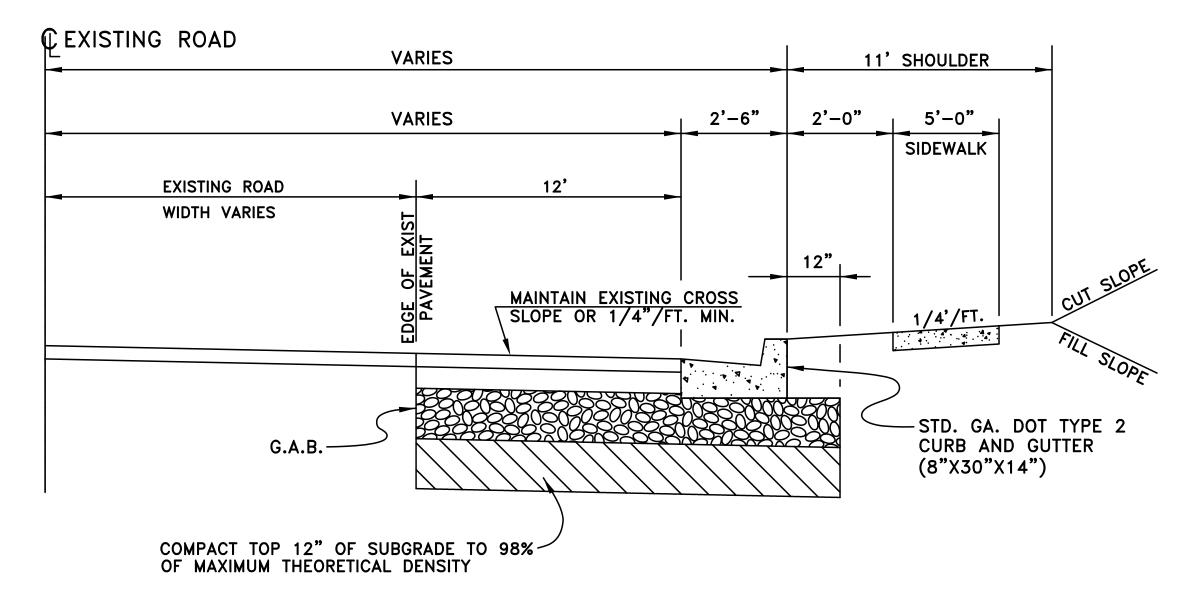
2.27

BY	REVISION	DATE

GWINNETT COUNTY
DEPARTMENT OF TRANSPORTATION

401C MAJOR ARTERIAL DECEL LANE TYP. SECTION

D A T E: May, 2014



COLLECTORS UNDER 10,000 ADT TYPICAL DECELERATION LANE SECTION

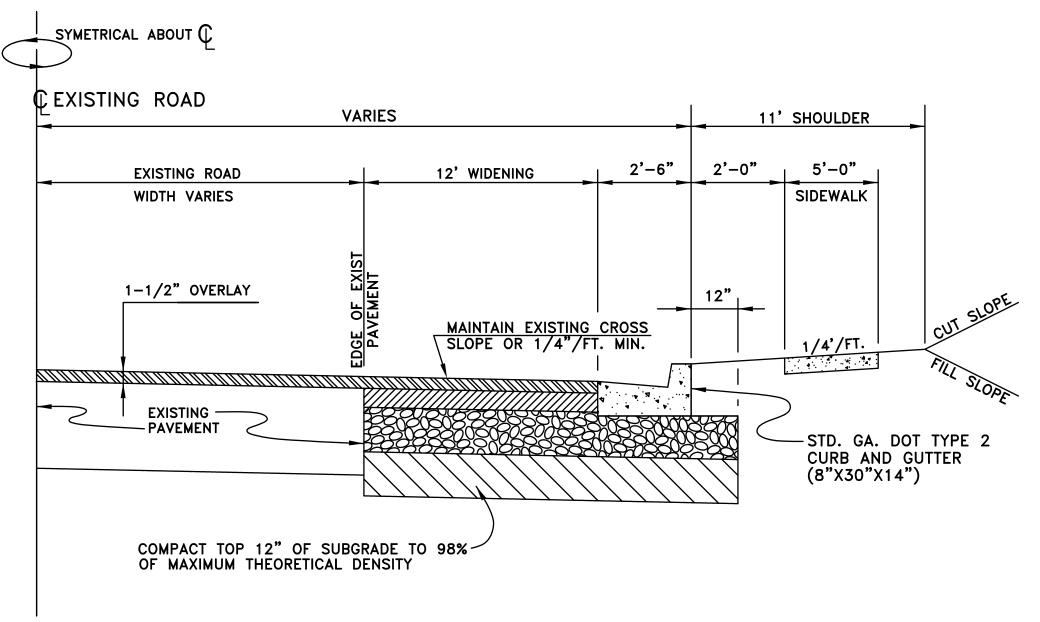
10" OF G.A.B., 4" OF 25mm SUPERPAVE,
AND 1.5" OF TYPE II 9.5mm SUPERPAVE

BY	REVISION	DATE

GWINNETT COUNTY
DEPARTMENT OF TRANSPORTATION

401D MAJOR ARTERIAL DECEL LANE TYP. SECTION

D A T E: May, 2014



ARTERIALS OVER 10,000 ADT

TYPICAL WIDENING WITH OVERLAY 1/2 SECTION

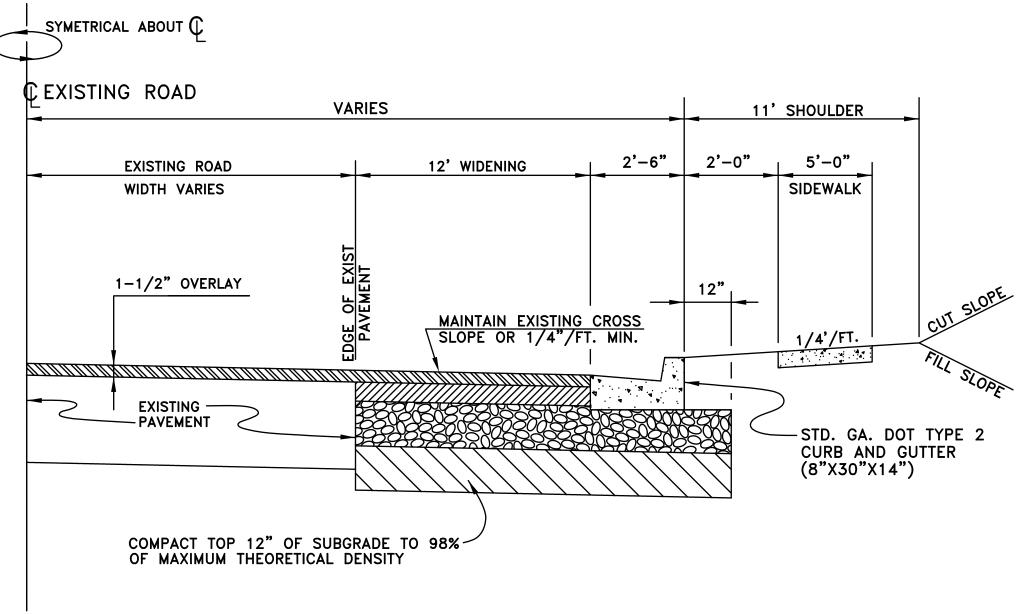
10" OF G.A.B., 4" 25mm SUPERPAVE, 2" 19mm SUPERPAVE, 1.5" 12.5mm SUPERPAVE

BY	REVISION	DATE

GWINNETT COUNTY
DEPARTMENT OF TRANSPORTATION

401E WIDENING WITH OVERLAY FOR MAJOR ARTERIALS

D A T E: May, 2014



ARTERIALS UNDER 10,000 ADT
TYPICAL WIDENING WITH OVERLAY 1/2 SECTION

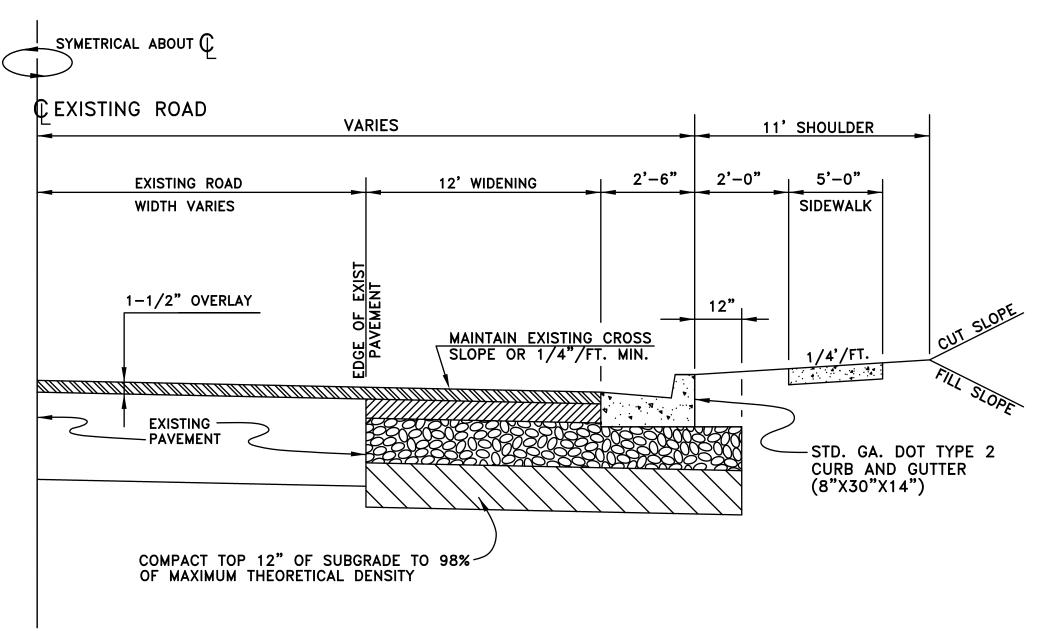
10" OF G.A.B., 4" 25mm SUPERPAVE, 2" 19mm SUPERPAVE, 1.5" 9.5mm TYPE II SUPERPAVE

BY	REVISION	DATE

GWINNETT COUNTY
DEPARTMENT OF TRANSPORTATION

401F WIDENING WITH OVERLAY FOR MAJOR ARTERIALS

D A T E: May, 2014



COLLECTORS OVER 10,000 ADT TYPICAL WIDENING WITH OVERLAY 1/2 SECTION

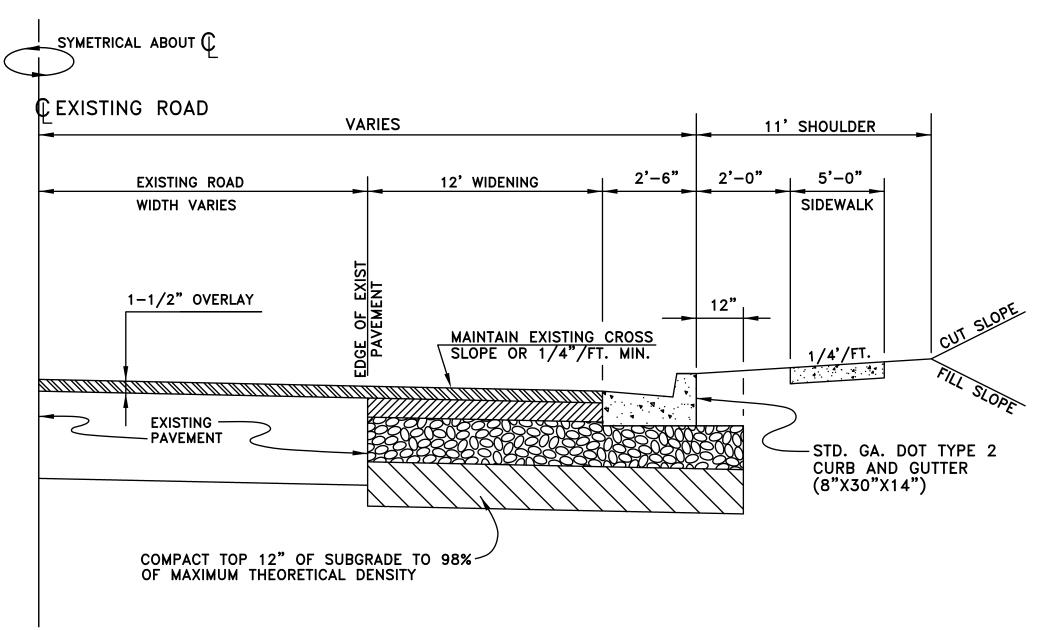
10" OF G.A.B., 4" 19mm SUPERPAVE, 1.5" 12.5mm SUPERPAVE

BY	REVISION	DATE

GWINNETT COUNTY
DEPARTMENT OF TRANSPORTATION

401G WIDENING WITH OVERLAY FOR MAJOR ARTERIALS

D A T E: May, 2014



COLLECTORS UNDER 10,000 ADT TYPICAL WIDENING WITH OVERLAY 1/2 SECTION

10" OF G.A.B., 4" 19mm SUPERPAVE, 1.5" 9.5mm TYPE II SUPERPAVE

BY	REVISION	DATE

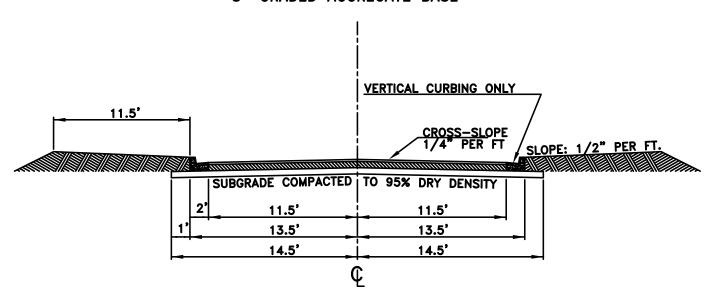
GWINNETT COUNTY
DEPARTMENT OF TRANSPORTATION

401H WIDENING WITH OVERLAY FOR MAJOR ARTERIALS

D A T E: May, 2014

PAVEMENT COMPOSITION

1.25" OF 9.5 MM SUPERPAVE TYPE II 3" OF 19 MM SUPERPAVE 8" GRADED AGGREGATE BASE



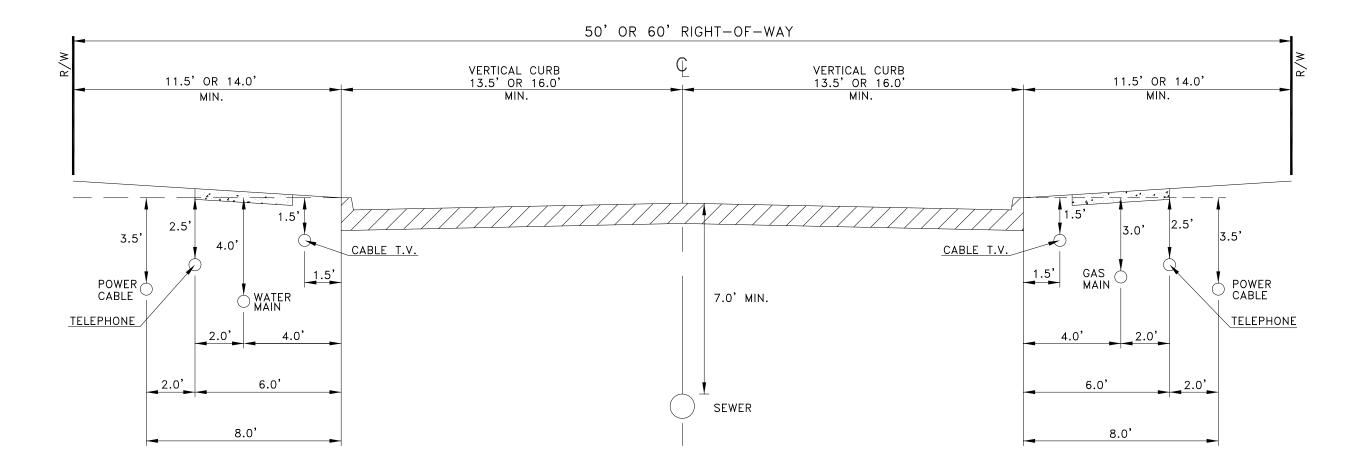
LOCAL OR MINOR COLLECTOR STREETS IN RESIDENTIAL SUBDIVISIONS

(STANDARD RESIDENTIAL SUBDIVISION STREET PER TABLE 900.1)
(SEE UDO FOR WIDTHS WITHIN THE OSC, TND, AND MIXED-USE DISTRICTS)

NOTES:

- 1. ANY AREAS OF INADEQUATELY COMPACTED FILL OR UNSUITABLE MATERIAL OF ANY NATURE SHALL BE REMOVED AND REPLACED WITH SUITABLE FILL IN WELL COMPACTED LAYERS TO AT LEAST 95% OF MAXIMUM DENSITY (AASHTO T-99), BEFORE ANY TYPE OF PAVING IS APPLIED.
- 2. NO CONTRACTOR SHALL BEGIN TO APPLY PAVING WITHOUT A RELEASE FROM THE DEPARTMENT, AND WILL BE HELD RESPONSIBLE FOR REPLACING ANY PAVING, BASE, AND SUBGRADE WHICH MAY FAIL BECAUSE OF INADEQUATE SUBGRADE CONDITIONS, AS WELL AS FOR ORDINARY PAVING DEFICIENCIES.
- VERTICAL CURBING ONLY TO BE 6"X24"X12".



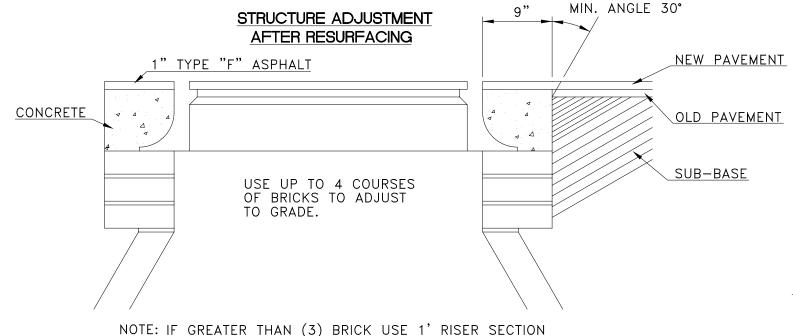


NOTES:

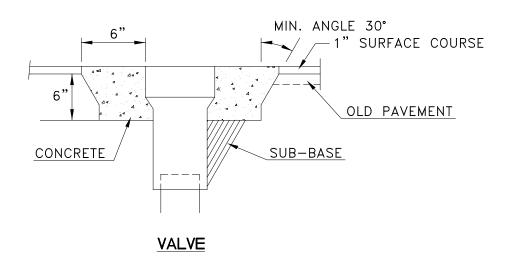
- 1. THIS STANDARD DETAIL IS TO BE USED FOR UTILITY LOCATIONS WITHIN RIGHT-OF-WAY OF SUBDIVISIONS ONLY.
- 2. BEFORE ANY UTILITY IS INSTALLED, THE ENTIRE WIDTH OF THE RIGHT—OF—WAY SHALL BE ROUGH GRADED. SEE DEVELOPMENT REGULATIONS FOR TIMING OF WATER SYSTEM INSTALLATION.
- 3. IN GENERAL, THE DEEPEST UTILITIES SHOULD BE INSTALLED FIRST TO MINIMIZE ANY POSSIBLE INTERFERENCE WITH LATERALS OR SERVICE LINES.
- 4. IN CUL-DE-SAC OR EYEBROW TURNAROUNDS, THE DIMENSIONS FROM THE CURB SHALL VARY. HOWEVER, THE STANDARD UTILITY SPACING SHALL BE MAINTAINED.
- 5. BACKFILL OF ALL UTILITY TRENCHES CONSTRUCTED IN THE ROADWAY SHOULDER SHALL BE RETURNED TO 90% COMPACTION.

- 6. EACH UTILITY SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE THEY CREATE TO OTHER UTILITY LINES, OR TO THE STREET IMPROVEMENTS WITHIN THE RIGHT-OF-WAY. NO UTILITY SHALL BE RESPONSIBLE FOR DAMAGES TO ANOTHER UTILITY WHICH IS LOCATED OUTSIDE THEIR ASSIGNED SPACE.
- 7. ANYONE DIGGING IN THE RIGHT-OF-WAY SHALL CALL THE "ONE CALL CENTER" AT 325-5000 TO HAVE UTILITIES LOCATED.
- 8. ONCE THE ROAD BASE HAS BEEN PLACED, ALL FURTHER INSTALLATION OF UTILITIES UNDER THE ROADWAY SHALL BE BORED OR OTHERWISE COMPLY WITH THE STREET CUT REQUIREMENTS OF SECTION 7.5 OF THE DEVELOPMENT REGULATIONS.





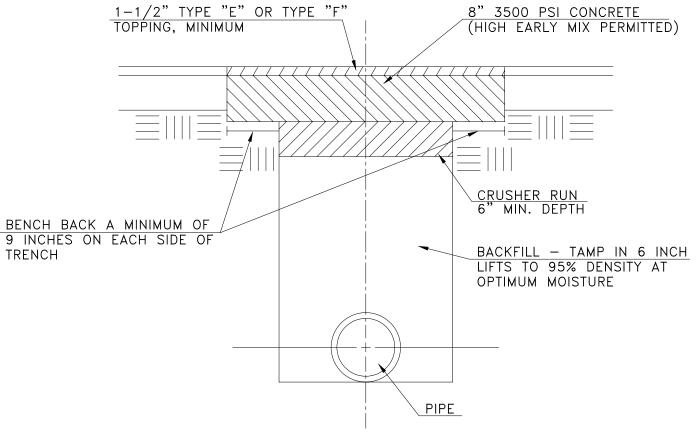
MANHOLE



NOTES:

- 1. STRUCTURES WILL NOT BE ADJUSTED FOR A PERIOD OF AT LEAST 24 HOURS AFTER RESURFACING IS COMPLETED IN THAT AREA.
- 2. ASPHALT WILL BE CUT SO AS TO MAKE A SMOOTH, EVEN EDGE.
- 3. STRUCTURE COVER WILL BE ADJUSTED TO FIT FLUSH WITH STREET SURFACE.
- 4. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. UNLESS NOTED OTHERWISE.
- 5. CONCRETE WILL BE USED TO BACKFILL THE ENTIRE WORKING AREA.
- 6. FINISHING CONCRETE SHALL BE PERFORMED BY USE OF A TROWEL OR FLOAT.
- 7. SANITARY SEWER MANHOLES MUST BE VENTED IMMEDIATELY AFTER BEING PAVED OVER, THEREFORE WHEN MORE THAN ONE LIFT OF ASPHALT IS TO BE PLACED THE CONTRACTOR MAY ADJUST STRUCTURE PRIOR TO PAVING.

BACKFILLING UTILITY CUTS AND REPLACING PAVEMENT



NOTES:

- 1. ALL LATERAL STREET CUTS MUST BE COVERED WITH STEEL PLATES OF SUFFICIENT THICKNESS TO SPAN THE CUT WITHOUT NOTICEABLE DEFLECTION. PLATES TO REMAIN IN PLACE UNTIL THE CONCRETE BASE HAS GAINED SUFFICIENT STRENGTH TO WITHSTAND TRAFFIC LOADS (24 HOUR MINIMUM).
- 2. ON LONGITUDINAL CUTS EXCEEDING 150 FEET IN LENGTH, THE CONCRETE IN THE TRENCH WILL BE BROUGHT FLUSH WITH THE EXISTING PAVEMENT AND THE ENTIRE WIDTH OF THE ROADWAY RESURFACED WITH A MINIMUM OF 1-1/2" OF TYPE "E" OR "F" ASPHALT TOPPING COURSE.



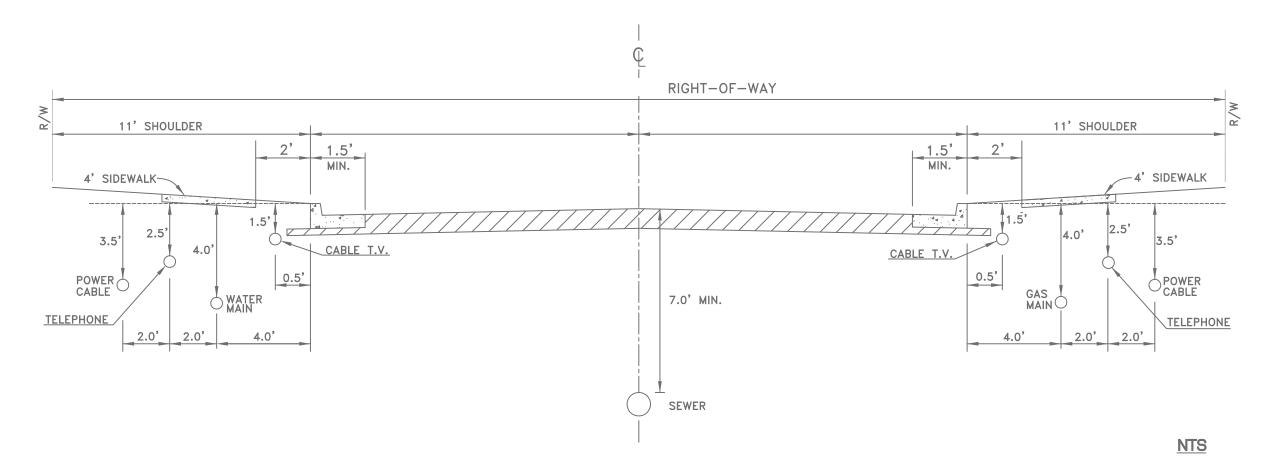
GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT S T A N D A R D D R A W I N G

Utility Street Cuts and Structure Adjustment

D A T E: JANUARY 1988

SOUTH OR EAST

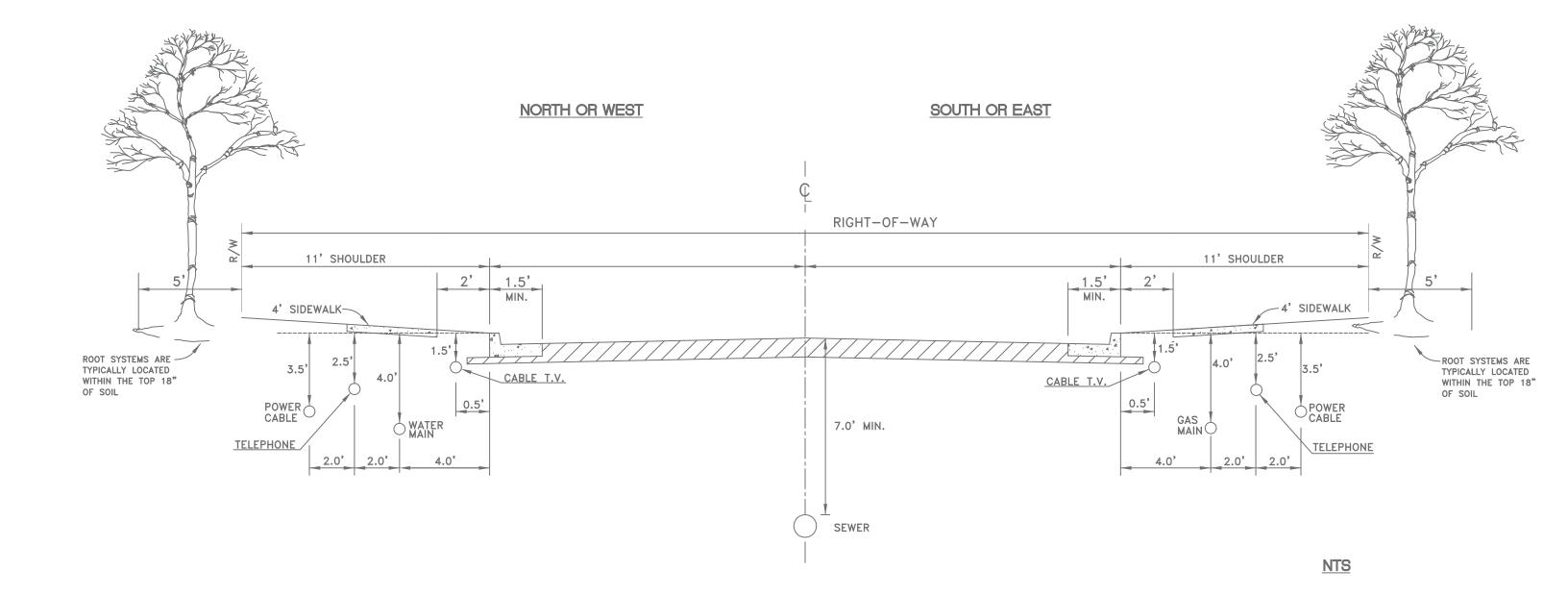


NOTES:

- 1. THIS STANDARD DETAIL IS TO BE USED FOR UTILITY LOCATIONS WITHIN RIGHT-OF-WAY OF RESIDENTIAL SUBDIVISION DISTRICT STREETS.
- 2. BEFORE ANY UTILITY IS INSTALLED, THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE ROUGH GRADED. SEE DEVELOPMENT REGULATIONS FOR TIMING OF WATER SYSTEM INSTALLATION.
- 3. IN GENERAL, THE DEEPEST UTILITIES SHOULD BE INSTALLED FIRST TO MINIMIZE ANY POSSIBLE INTERFERENCE WITH LATERALS OR SERVICE LINES.
- 4. IN CUL-DE-SAC OR EYEBROW TURNAROUNDS, THE DIMENSIONS FROM THE CURB SHALL VARY. HOWEVER, THE STANDARD UTILITY SPACING SHALL BE MAINTAINED.
- 5. BACKFILL OF ALL UTILITY TRENCHES CONSTRUCTED IN THE ROADWAY SHOULDER SHALL BE COMPACTED TO 95% (MIN.) OF MAXIMUM DENSITY.

- 6. EACH UTILITY SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE THEY CREATE TO OTHER UTILITY LINES, OR TO THE STREET IMPROVEMENTS WITHIN THE RIGHT-OF-WAY. NO UTILITY SHALL BE RESPONSIBLE FOR DAMAGES TO ANOTHER UTILITY WHICH IS LOCATED OUTSIDE THEIR ASSIGNED SPACE.
- 7. ANYONE DIGGING IN THE RIGHT-OF-WAY SHALL CALL THE UTILITIES PROTECTION CENTER OF GEORGIA AT 1-800-282-7411 (METRO-ATLANTA AREA: 770-623-7411) TO HAVE EXISTING UTILITIES LOCATED PRIOR TO EXCAVATION.
- 8. ONCE THE ROAD BASE HAS BEEN PLACED, ALL FURTHER INSTALLATION OF UTILITIES UNDER THE ROADWAY SHALL BE BORED OR OTHERWISE COMPLY WITH THE STREET CUT REQUIREMENTS OF SECTION 7.5 OF THE DEVELOPMENT REGULATIONS.

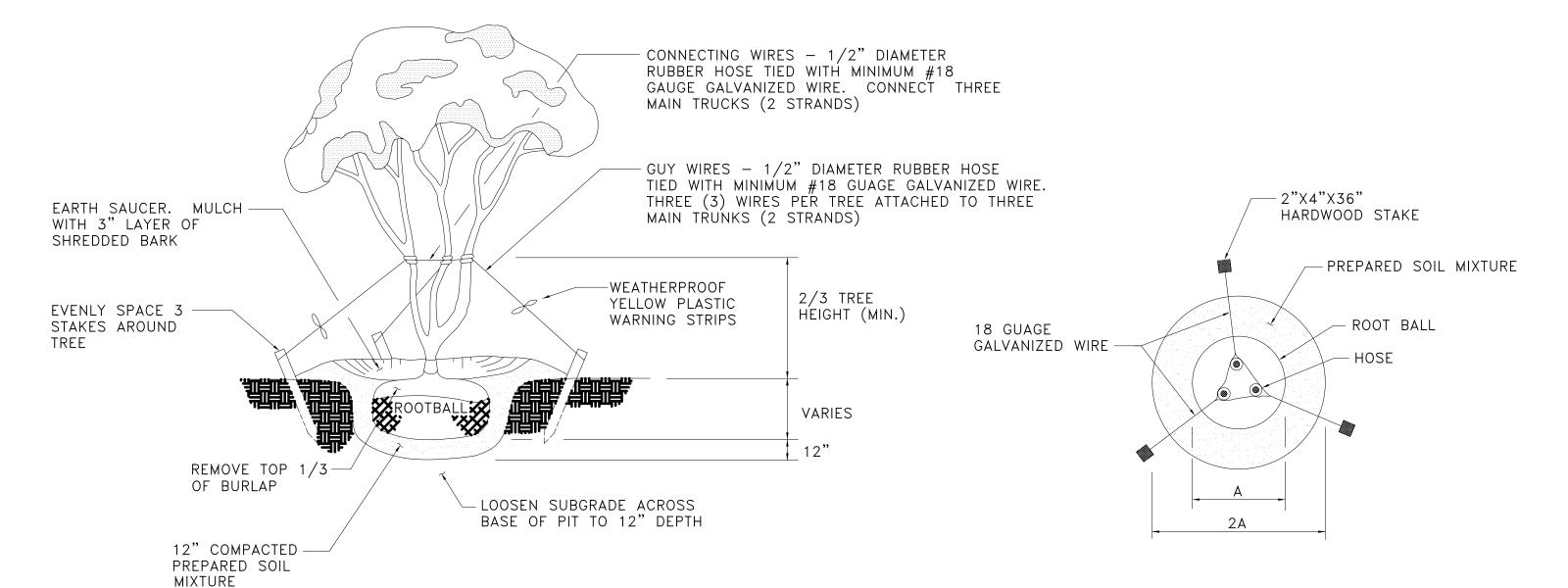






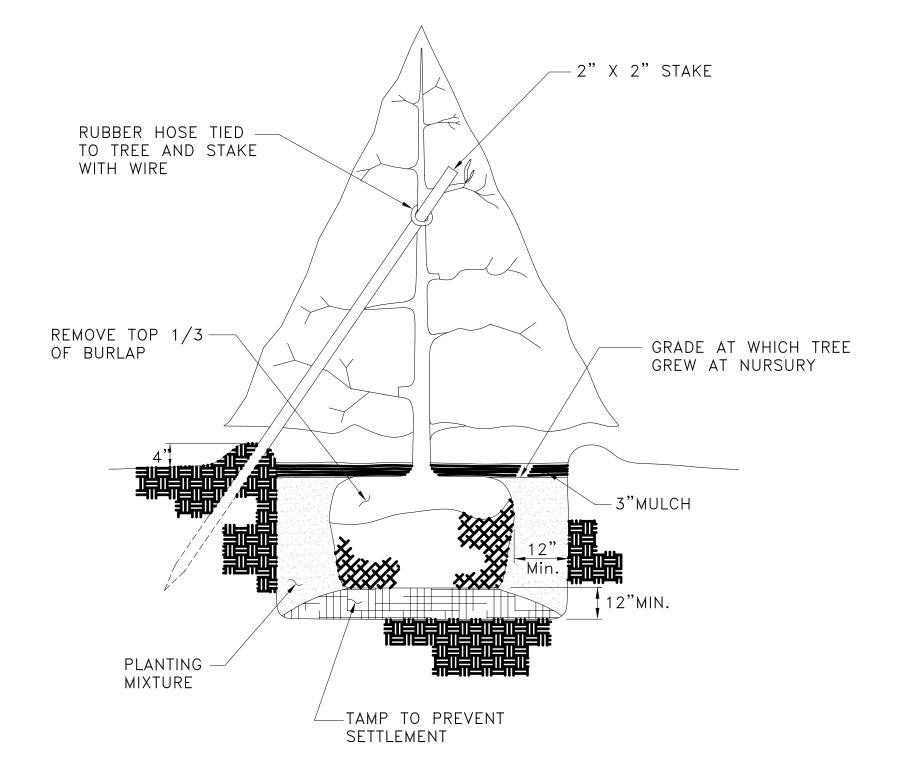
600: Reserved.

700: Reserved.

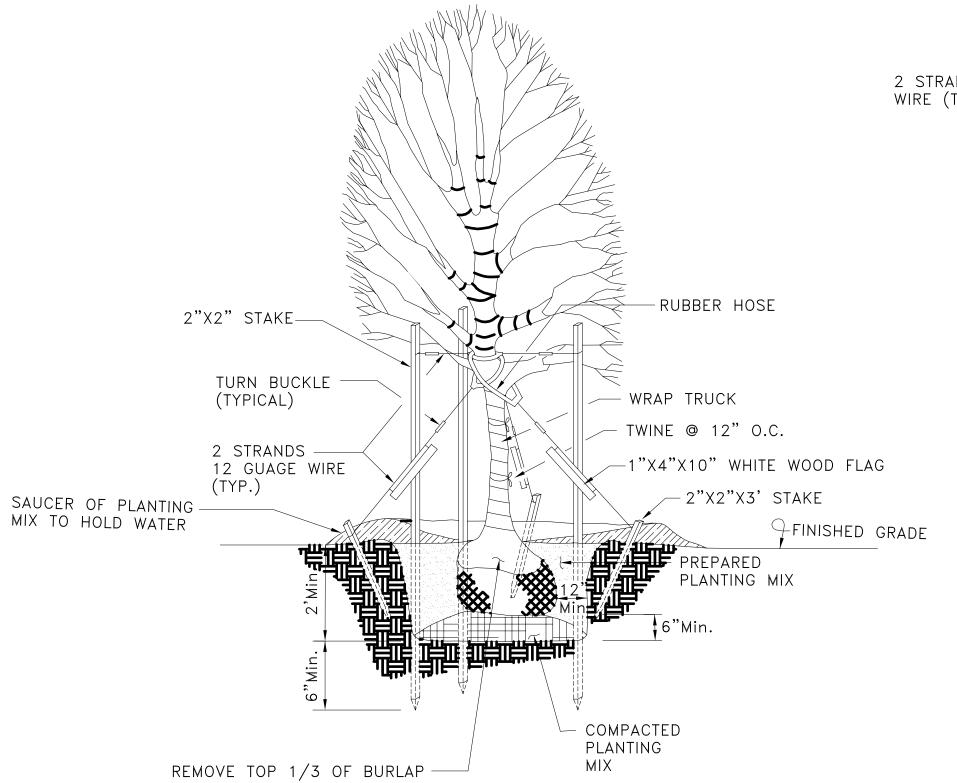


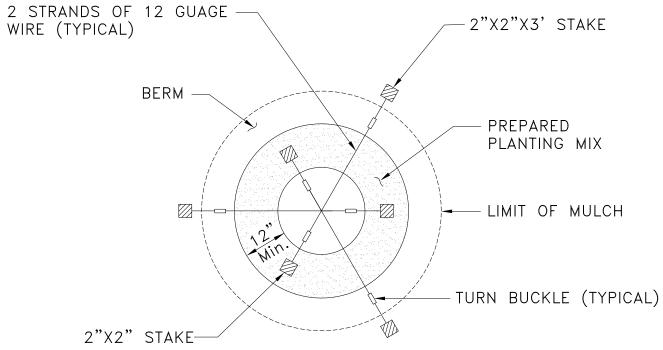
A = DIAMETER OF ROOT BALL 2A = DIAMETER OF PIT







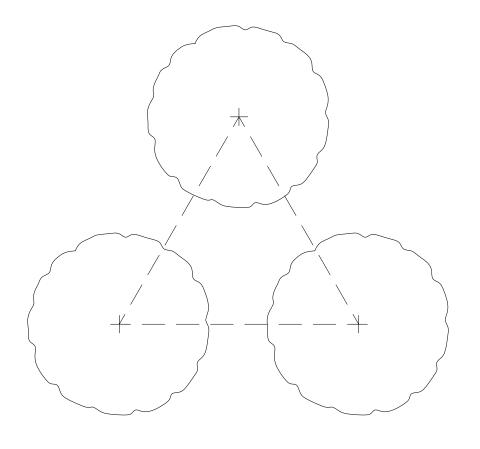




NOTES

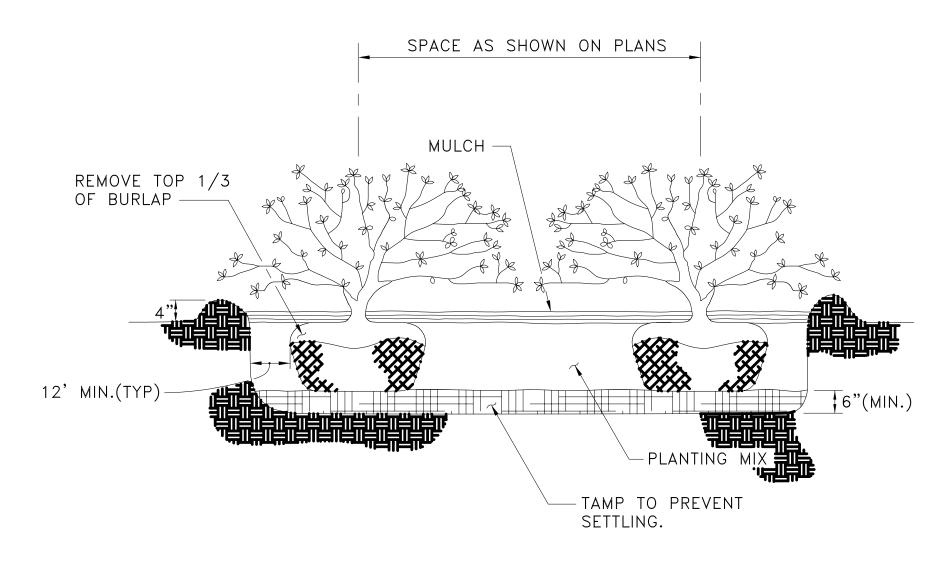
- 1. MULCH WITH 3" OF CLEAN PINE STRAW.
- 2. TREES EIGHT FEET HIGH (8') OR LESS SHALL BE STAKED.
- 3. TREES TALLER THAN EIGHT FEET (8') SHALL BE GUYED.





PLAN

- 1. LAYOUT PERIMETER PLANTING AS PER SPACING SHOWN ON PLANS.
- 2. FILL IN PLANTING BED WITH STAGGERED SPACED PLANTING.



SECTION

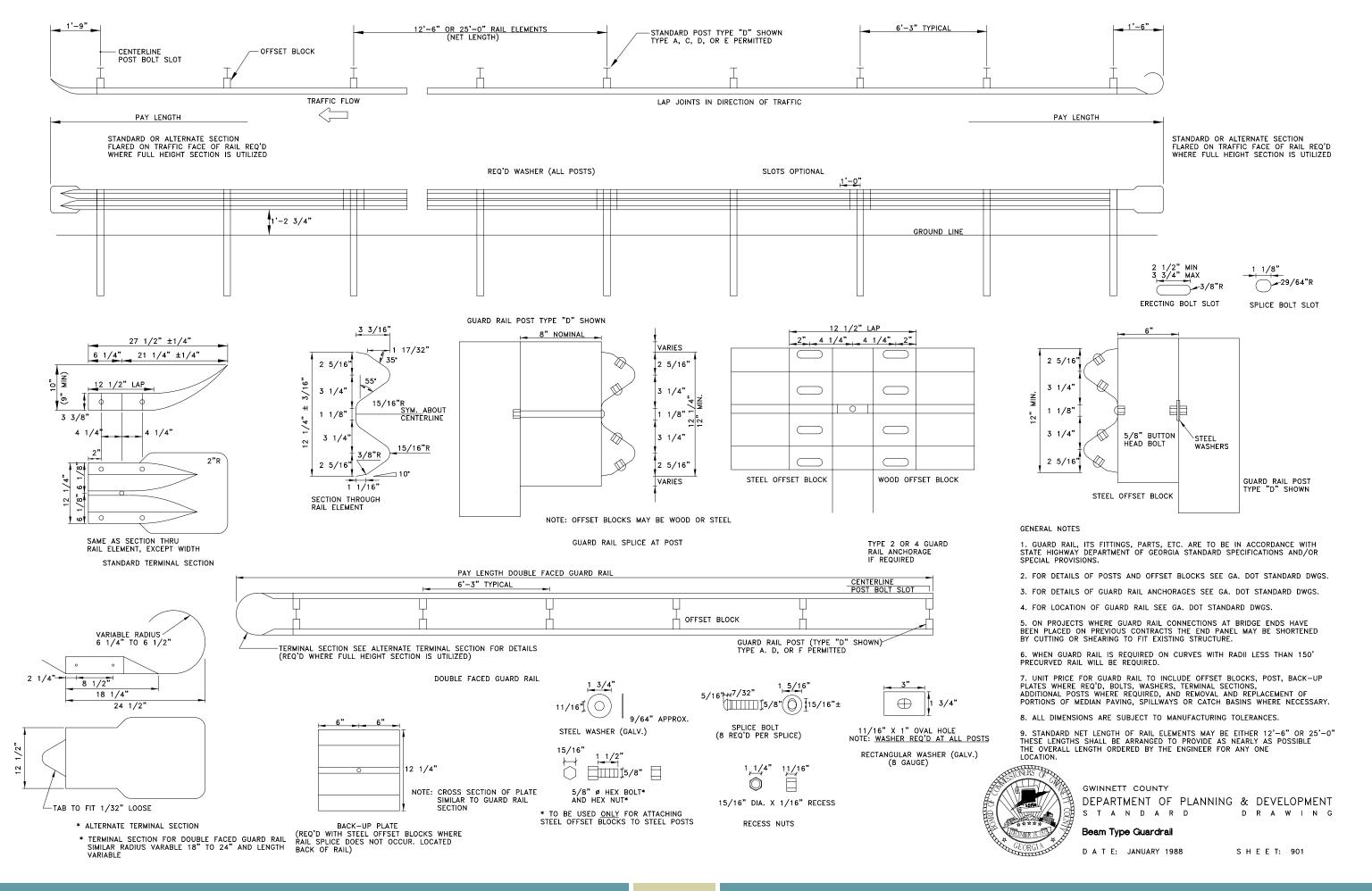


GWINNETT COUNTY

DEPARTMENT OF PLANNING & DEVELOPMENT S T A N D A R D D R A W I N G

Shrub and Groundcover Planting

D A T E: AUGUST 1996



Appendix Section 3.0

Design Guidelines

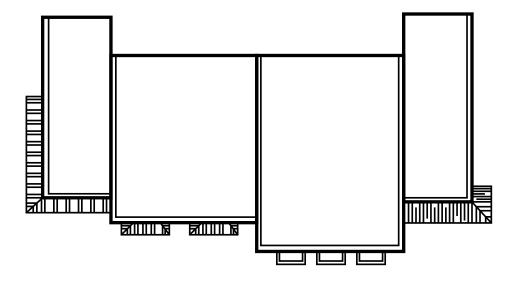
Appendix Section 3.0: Design Guidelines

General Design

Building Facade Materials and Modulation

Plan

 Modulate building façade setbacks with a variety of dimensions and feature elements such as colonnades.



Elevation

- Buildings 3 stories or less shall incorporate cornices that project horizontally a minimum of I foot and extending across the entire façade.
- Changes in building material and color shall be incorporated.
- Street level: Articulate façade with large windows and distinctive entrances.



Architectural Design For Multi-Story Buildings

The following design guidelines should be considered when designing multi-story buildings:

- Create unique iconic features at building corners such as towers and balconies
- Building facades shall be varied via offsets and recesses to avoid creating a heavy monolithic appearance.
- Ground floors shall be distinguished through façade projections, recesses, and change of materials and color that will differentiate building elevations.
- Ground floors shall incorporate large frequent window articulations.
- Changes in building material, texture, and color shall be incorporated.

















Architectural Entry Features

The following architectural entry features should be considered when designing commercial buildings:

- Incorporate projections, roof overhangs, canopy structures, and awnings











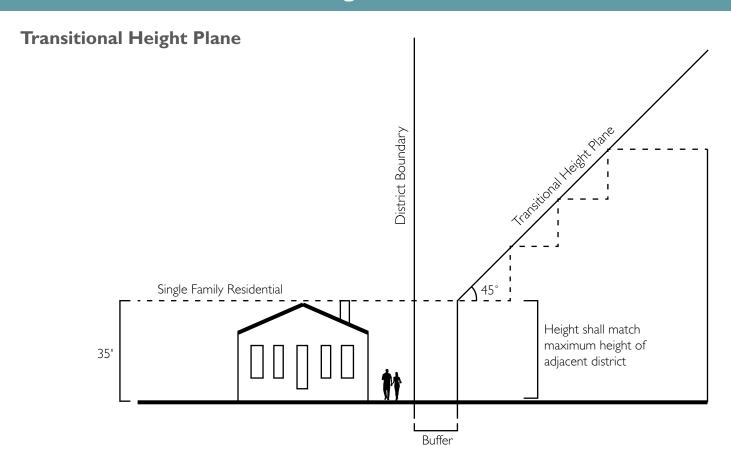








Height Transitions



Internal Height Transitions



Multifamily Residential

The following architectural and site design guidelines are laid out to ensure well-designed and well-constructed multifamily development that enhances the quality of life in the surrounding community and provides a variety of quality housing options to current and future residents.

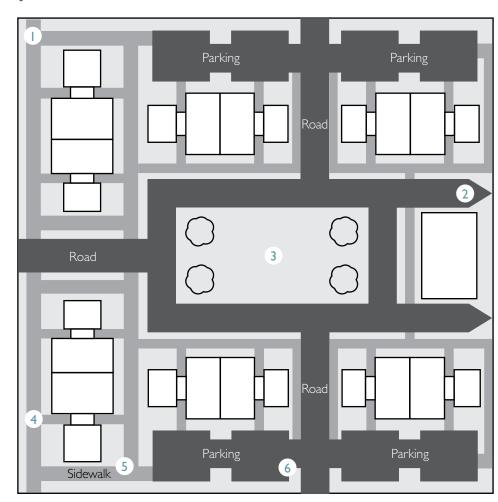
Typical Multifamily Building Elevation



- Multifamily buildings encouraged to be designed with a pitched roof (see 3.8 for roof guidelines.)
- Common entrances and breezeway entrances shall incorporate a distinctive architectural entrance structure such as a tower element, arched portal or arbor/trellis.
- Front, sides, and rear facades shall be finished with a minimum of 50 percent brick or stone finish on each elevation.

Typical Site Layout For Multifamily Residential

- Provide pedestrian connections within and beyond the development.
- 2. Provide potential future connections to adjacent sites or parallel roads.
- 3. Organize buildings around park to create more park views and provide more natural security.
- Buildings should be oriented parallel to both external and internal streets, providing a frontage that helps frame the public realm.
- 5. Buildings should be used to screen the parking areas from view
- 6. Break up parking lots to avoid large areas of asphalt.



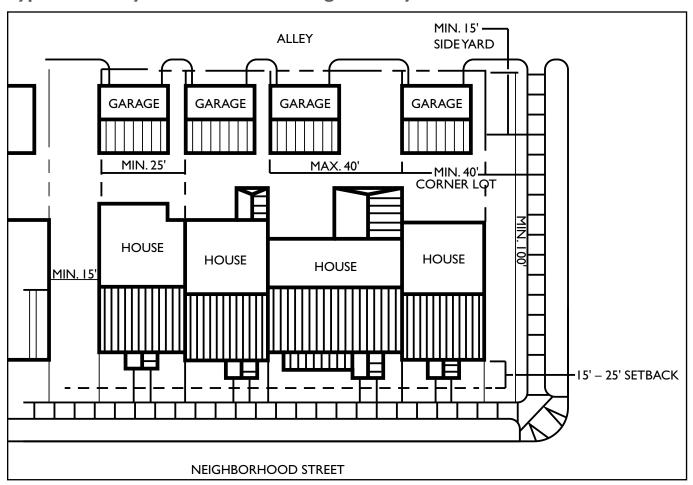
Attached Single-Family Residential

Typical Attached Single-Family Building Elevation



- Buildings shall be designed with a pitched roof (see 3.8 for roof guidelines)
- Front, sides, and rear facades shall be finished with a minimum of 50 percent* brick or stone finish on each elevation
- *Required percentage of brick or stone finish varies by zoning district.

Typical Site Layout For Attached Single-Family Residential



Building front façade changes in setback are encouraged

Industrial Building Facades

The following design guidelines should be considered when designing industrial buildings:

- Articulate facades to provide a consistent visual effect that is consistent with the character and scale of the area.
- Elevations visible to public view shall reflect the overall design, colors and textures used on the front façade.
- Design multi-building projects to include consistent design elements throughout the project.
- Incorporate clearly defined public and employee entrances.
- Incorporate canopies, porticoes, and peaked roof features.
- Varied parapet elevation height changes.
- Entrance framed by outdoor pedestrian features or enhanced landscaping.
- Incorporate architectural details such as façade articulation that includes changes in color and materials.
- Incorporate integral planters in the outdoor pedestrian areas.









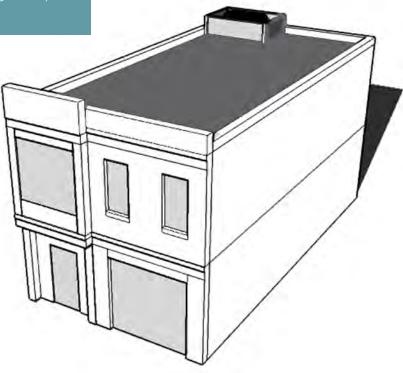




Roof Treatments

Flat Roof

 Flat roof buildings shall incorporate articulated parapets or facade projections every 100 feet. Parapets should be a minimum of I' in height. Vary building and cornice heights along long facades, but avoid drastic changes – generally no more than 20 feet or two stories.



Green Roof

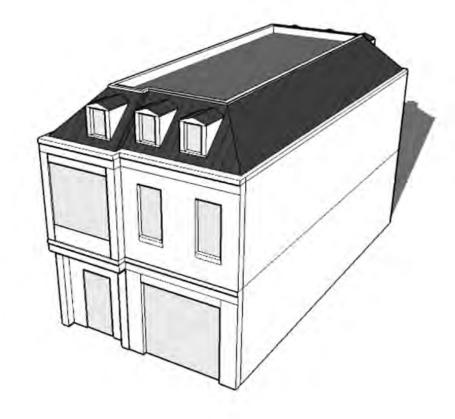
• Flat roofs with live vegetative planting visible from ground views may be substituted for articulated parapets or pitched roofs.



Roof Treatments

Mansard Roof

• Pitched roofs may have a flat roof well located in the central area of the roof, not to exceed 50 percent of the total roof area. The height of the partial (mansard) roof profile should be equal in ridge height to the design height of a fully pitched roof.



Pitched Roof

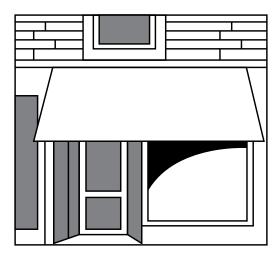
• Fully pitched roofs require a minimum slope of 4 feet in every 12 feet. Roof eaves must overhang I foot at minimum. Roofing material is limited to seam metal, slate, tile, or architectural shingles. Roof must be articulated every 100 feet. Incorporate features such as roof eave height changes, towers, spires, cupolas, dormers, and/or gables.



Awning/Canopy Design

Awnings

- The scale of the awning, i.e., height, length, depth, and overall bulk shall be compatible with the building storefront or entry.
- Awnings shall not be made of shiny, high gloss, or translucent materials.
- Awnings shall not cover distinctive architectural features of the building façade.



Discouraged: higher awnings that cover signage or architectural features



Encouraged: awnings that highlight signage and enhance building

Canopies

- Canopies shall be compatible in material, color, and construction to the style of the building.
- Canopy roof and column material and design shall compliment the main building design.







Parking Decks: Architectural Features and Screening

The following design guidelines should be considered when designing parking deck facades:

- Front, sides and rear facades shall opacified glass, brick, stone, stucco/EIFS, and/or architectural pre-cast concrete that relates to the finishes of the adjacent primary building.
- The parking deck entrance shall incorporate a brick and/or stone entrance feature.
- The first level of parking that is adjacent to public or private streets shall incorporate a fullheight screen utilizing opacified glass, brick, stone, false windows, decorative grills, and/or dense vegetative screening.
- Facades facing public streets or driveways shall incorporate landscape areas immediately in the front of the parking structure.







Landscape and Plaza Design

Multifamily Residential

- Vary heights, sizes and types of plant materials around the building foundation area.
- Create focal cluster groups of plants adjacent to the building entry points
- Incorporate perennials and annuals to add color.



Commercial/Office

- Screen service areas with large evergreens.
- Vary heights, sizes and types of plant materials around the building foundation area.
- Create focal cluster groups of plants adjacent to the building entry points.
- Incorporate perennials and annuals to add color.



Ground-Level Utility Equipment and Dumpster Screening

Utility equipment screening

- Utility equipment such as HVAC and other mechanical equipment should be designed and located in a manner to be hidden from public view.
- Screens for exterior equipment should exceed the height of the equipment.
- Screen structures shall utilize building materials that match the exterior materials of the adjacent building.



- Utility meters shall screened to best extent possible with evergreen and other plantings.
- Utility meters and associated fixtures shall be painted to match the color of the building.
- Heating and air cooling units, exhaust hoods, fans, vent piping, satellite dishes, antennae, solar panels, and other appurtenances that are ground or roof mounted shall be screened from public view.

Dumpster enclosures

 Dumpster enclosures shall be constructed of materials that match the material and color finishes of the adjacent primary building.



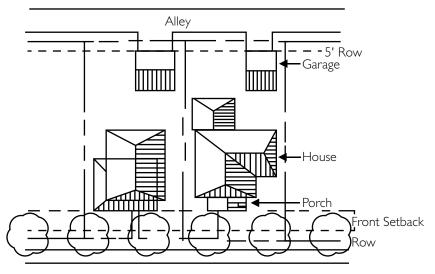




Appendix Section 3.0: Design Guidelines

Traditional Neighborhood Design

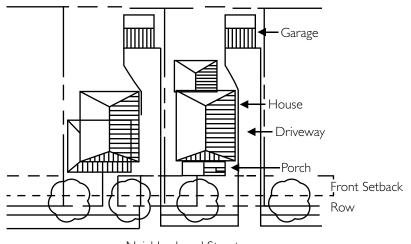
Detached Single-Family Residential



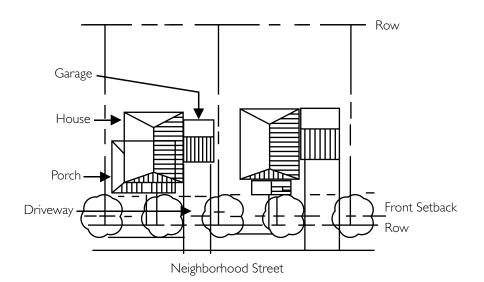
Detached Garage With Rear Access

Neighborhood Street

Detached GarageWith Front Access

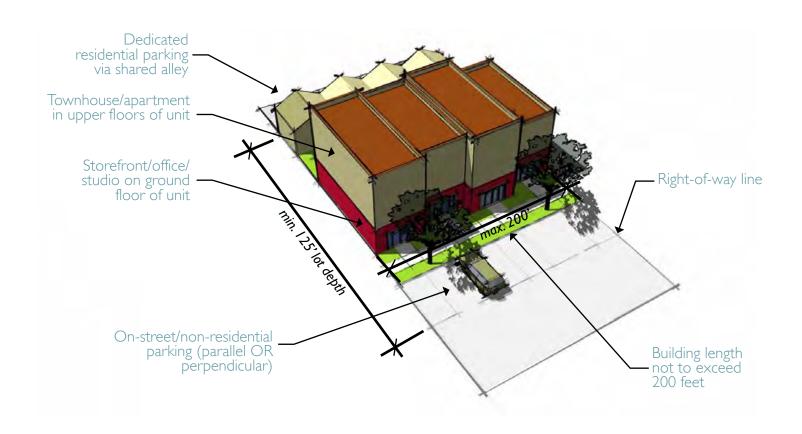


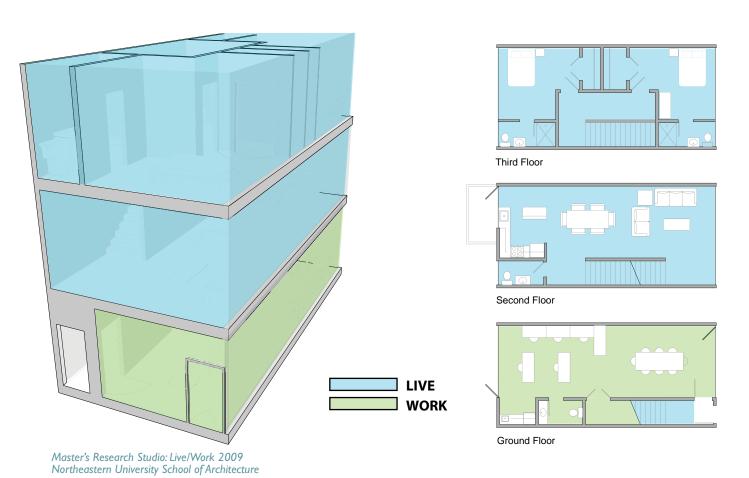
Neighborhood Street



Attached Garage With Front Access

Live-Work Units



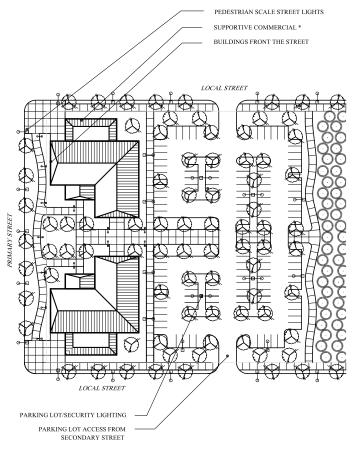


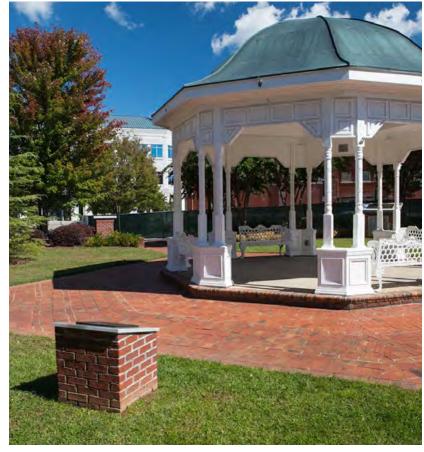
Civic Uses

The following design guidelines should be considered when designing civic buildings:

- Complement the architectural style of the Traditional Neighborhood
- Façade design should incorporate covered porches, towers, pilasters, colonnade, cornice, and/or roof eave brackets.
- Incorporate changes in building material, texture, and color.
- Provide roof design elements such as dormers and cupolas, eave brackets.
- Incorporate civic site features such as water features, plazas, arbors, and gazebos.





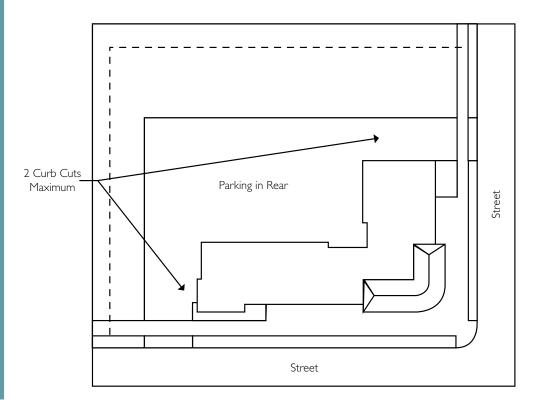


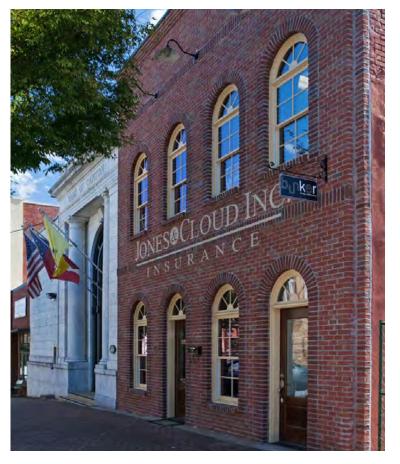
Commercial Uses

The following design guidelines should be considered when designing commerical neighborhood buldings:

 Commercial Uses are small commercial retail and services within residentially-scaled buildings that are located on designated corners within walking distance of adjacent neighborhoods for the convenience of local neighborhood residents.

Commercial Corner - Typical Site Plan







Elements In Residential Design

The following design guidelines should be considered when designing detached residential buildings:

- Articulate facades with porch elements and bay windows.
- Provide unique architectural entrance door surround.
- Incorporate changes in building material, texture, and color.
- Provide design elements such as shutters and roof eave brackets.
- Incorporate roof elements such as dormers and gables.



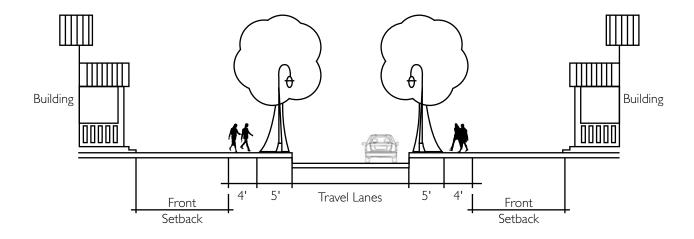




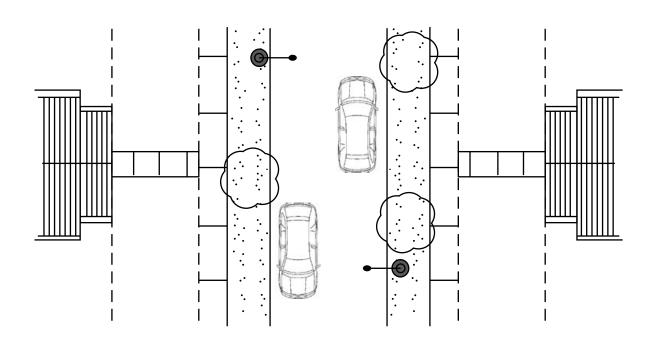


Local Street

Section



Plan View



Street Section:

Permitted Uses Single Family (Detached)

Single Family (Attached)

Live/Work Units

Neighborhood Commercial

Civic Uses

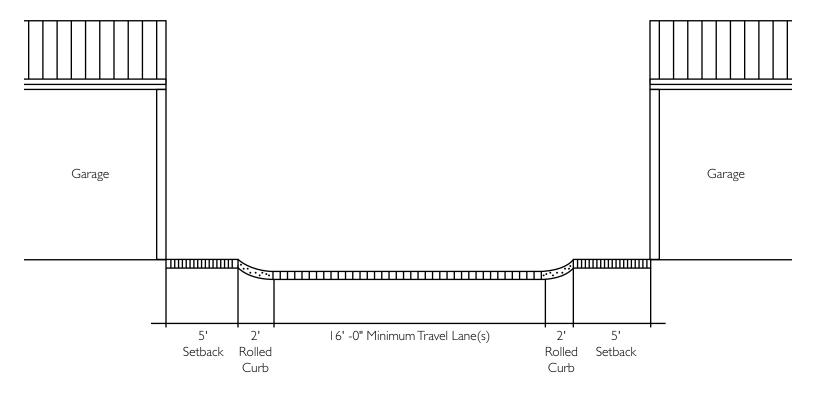
Block length 600 feet

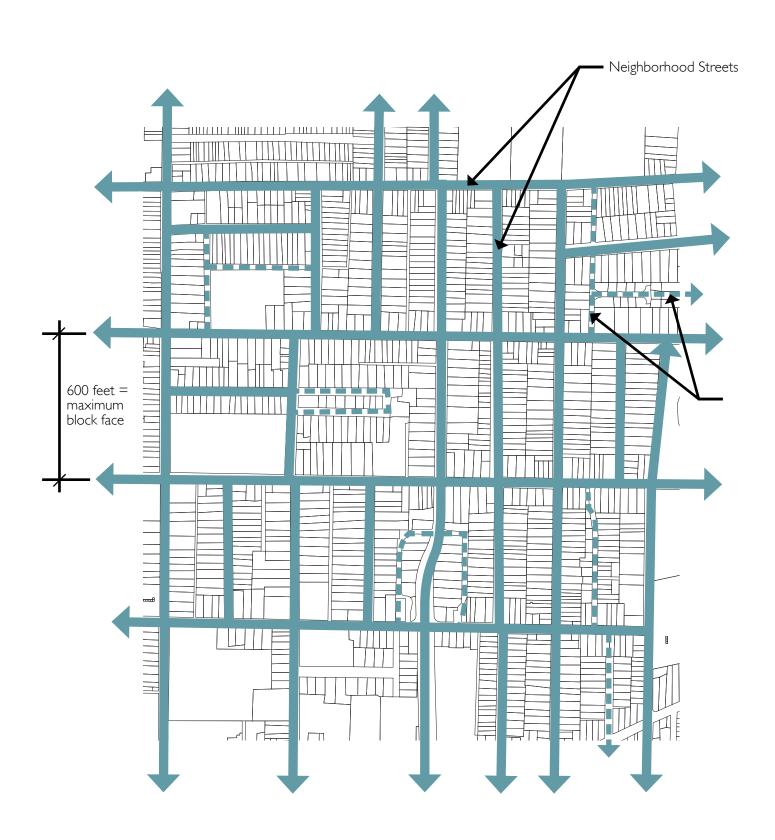
- A. Spacing of street trees and street lights may be adjusted to account for driveways, utility poles, fire hydrants and other obstructions and to provide adequate visual clearance for intersections, driveways and traffic control devices.
- B. Underground utility lines are required. Sewer lots only. Septic lots are not permitted

Streetscape:

Landscape strip 5 feet Sidewalk 4 feet

Alley

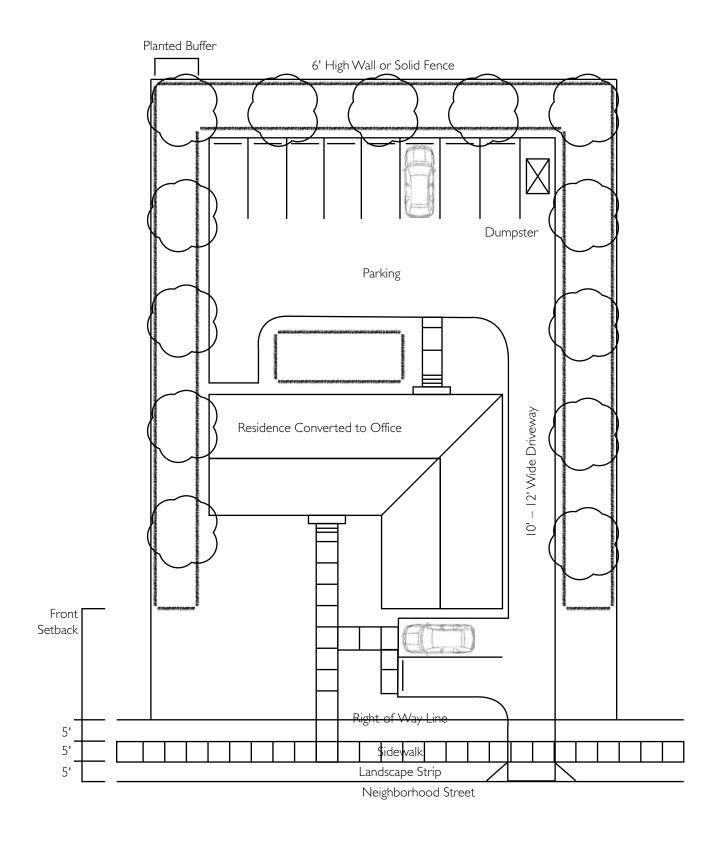




Appendix Section 3.0: Design Guidelines

Office Residential District

Office-Residential Uses



Appendix Section 3.0: Design Guidelines

Public Spaces

Pocket Parks and Green Spaces

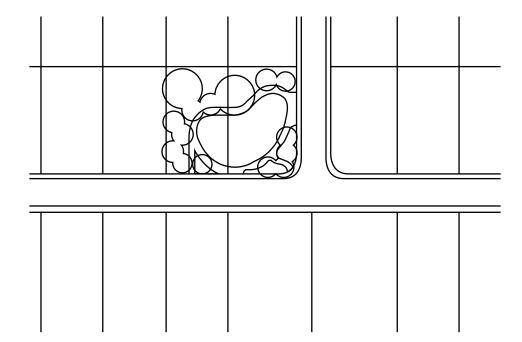
A. Pocket Park

Minimum size: 3,000 square feet

Landscaping: mix of undisturbed natural plantings and/or formal plantings

Outdoor furnishings: benches, tables, seat walls, planters, play structure, picnic areas/shelter

Maximum impervious cover: 25 percent.



B. Green

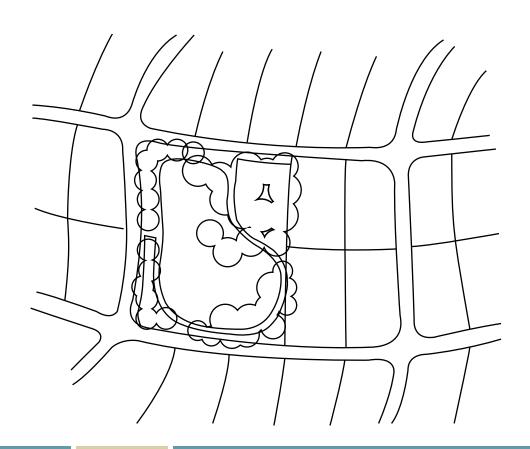
Minimum size: 25,000 square feet

Maximum Length to width ratio: 3 to |

Maximum impervious surface: 20 percent

Landscaping: mix of undisturbed natural plantings and/or formal plantings

Outdoor furnishings: benches, picnic shelter, gazebo, water feature, play structure, trellis, way-finding or interpretive signage



Squares and Plazas

C. Square

Minimum size: | acre

Maximum Length to width ratio: 2 to |

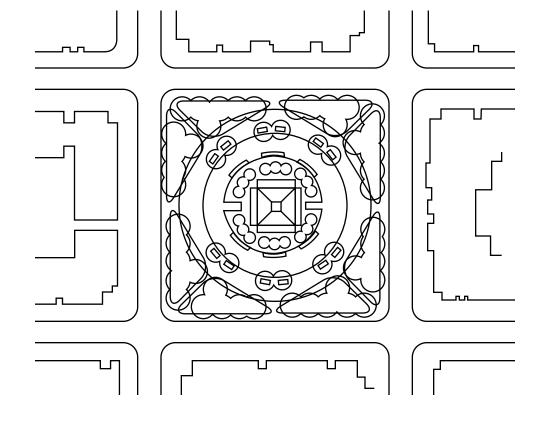
Maximum impervious surface: 60 percent

Bounded by streets on two or more sides

Formal areas of landscaping

Outdoor furnishings: benches, gazebo, water feature, play structure

Outdoor lighting



D. Plaza

Minimum size: 10,000 square feet

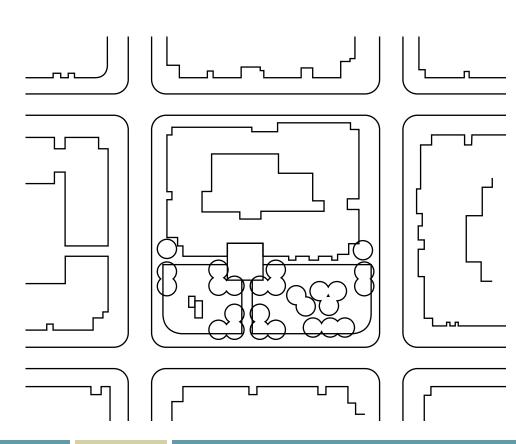
Facing a public street or connected to public street ROW by pedestrian corridor

Maximum impervious surface: 75 percent

Formal areas of landscaping

Outdoor furnishings: benches, gazebo, water feature, play structure

Outdoor lighting



Courtyards

E. Courtyard

Landscaped outdoor public space partially enclosed on two or three sides by buildings or other structures

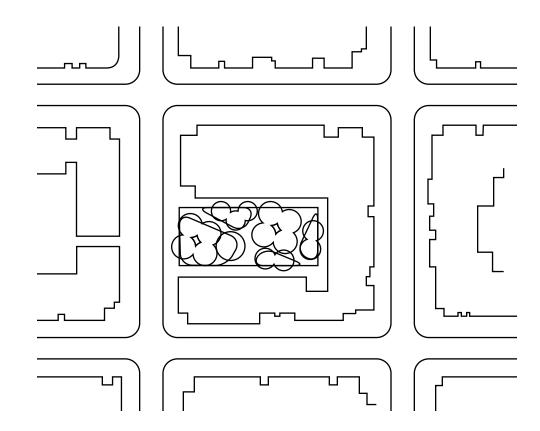
Minimum area: 1,000

Maximum impervious surface: 75 percent

Formal planted areas

Outdoor furnishings: benches, gazebo, water feature, seating

Outdoor lighting



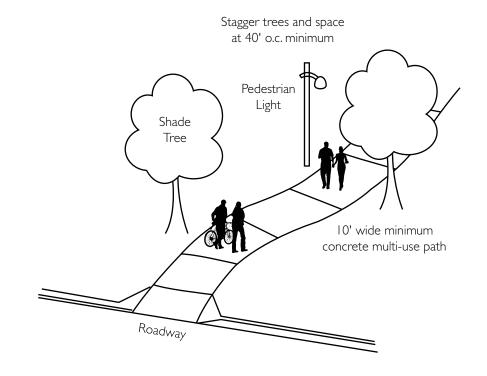
Paths and Trails

F. Multi-Use Path

Connects two common areas or connects a common area to a sidewalk or trail along a public right of way

Trees planted so that trunk is 3 feet maximum from edge of trail/sidewalk and a maximum of 60 feet on center

Outdoor lighting optional

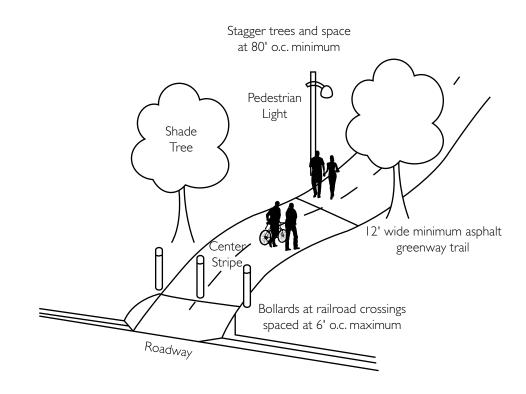


G. Greenway Trail

Linear public space following a stream, lake, utility easement, or street with paved or unpaved improvements designed for walking, jogging, or cycling in a natural environment

Trees planted so that trunk is 3 feet maximum from edge of trail/sidewalk and a maximum of 60 feet on center

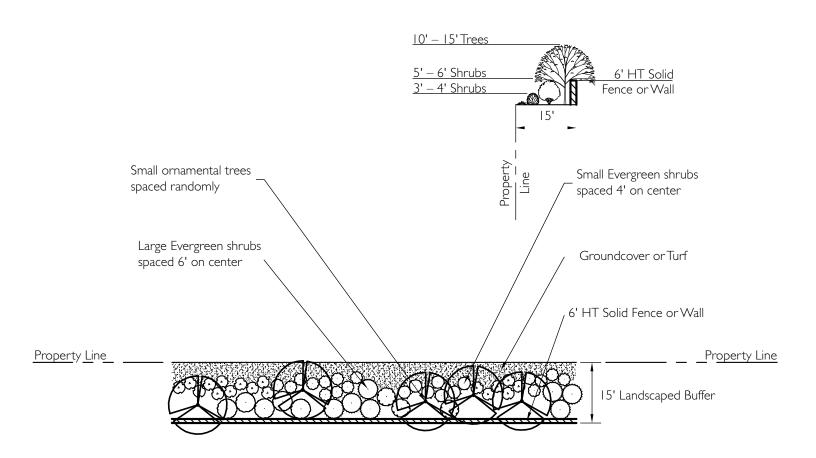
Outdoor lighting optional



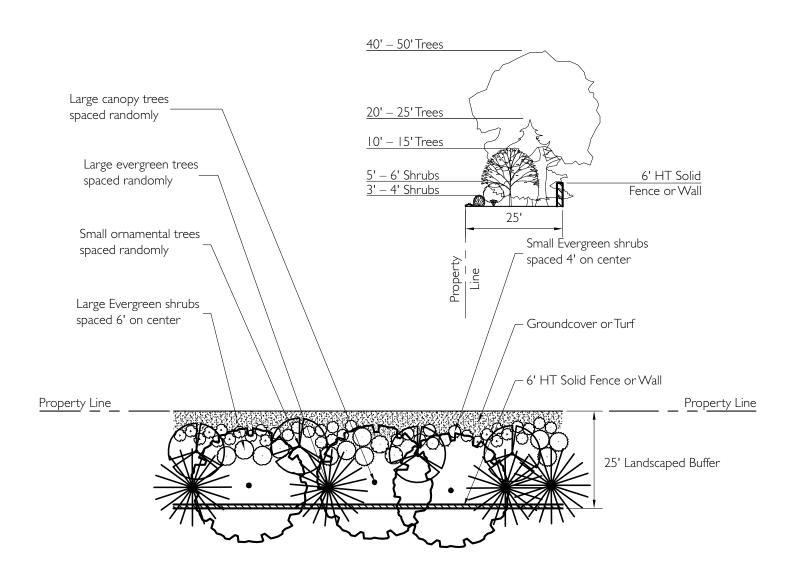
Appendix Section 4.0

Buffers, Landscaping, and Tree Protection

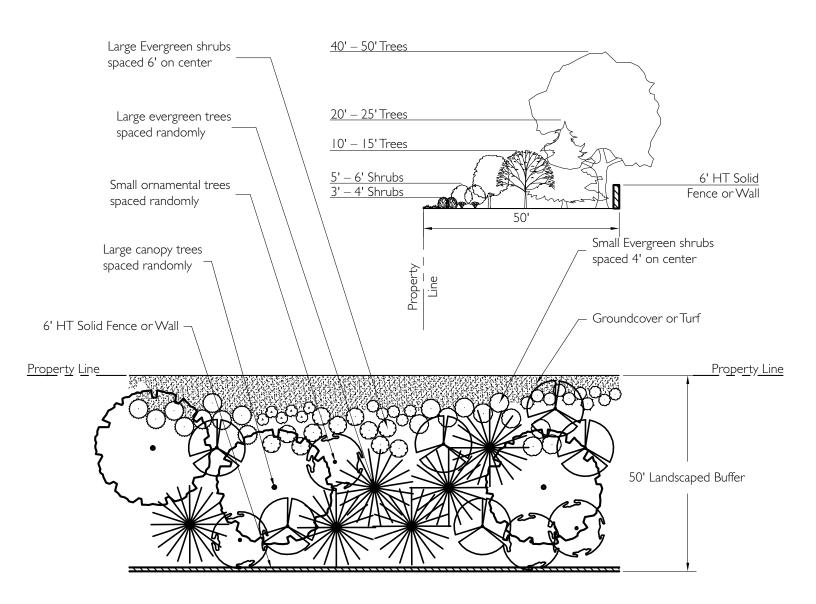
15' Landscaped Buffer with 6' High Fence or Wall



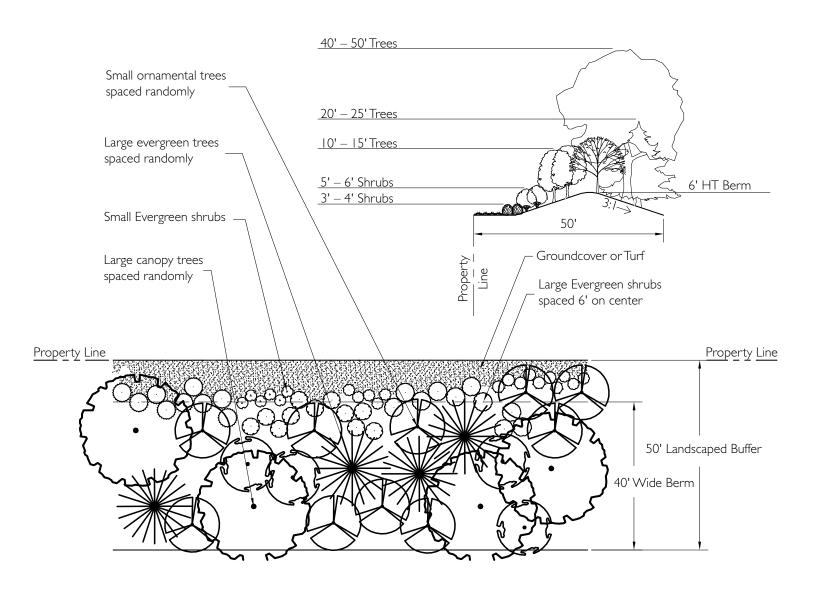
25' Landscaped Buffer with 6' High Fence or Wall



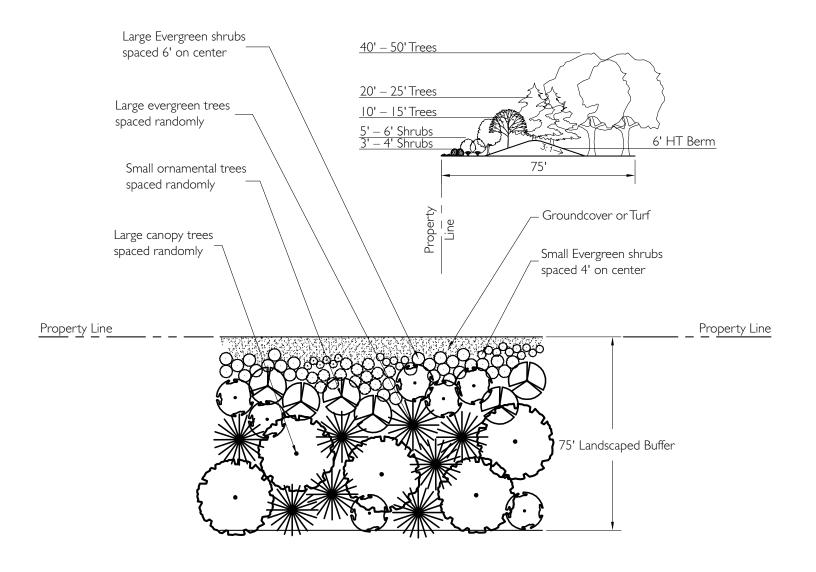
50' Landscaped Buffer with 6' High Fence or Wall



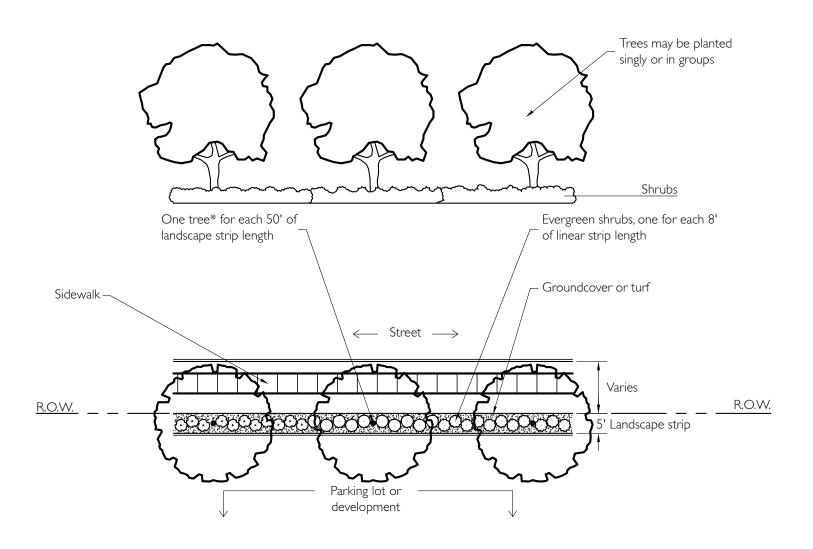
50' Landscaped Buffer with 6' High Berm



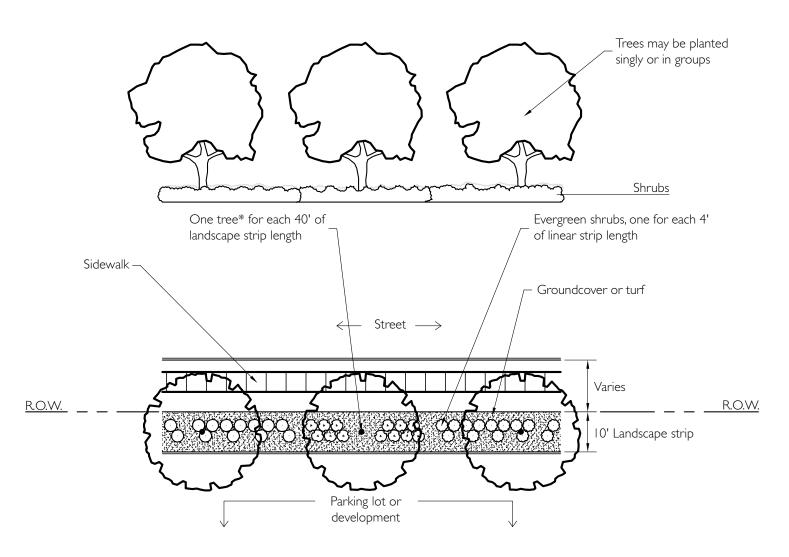
75' Landscaped Buffer with 6' High Berm



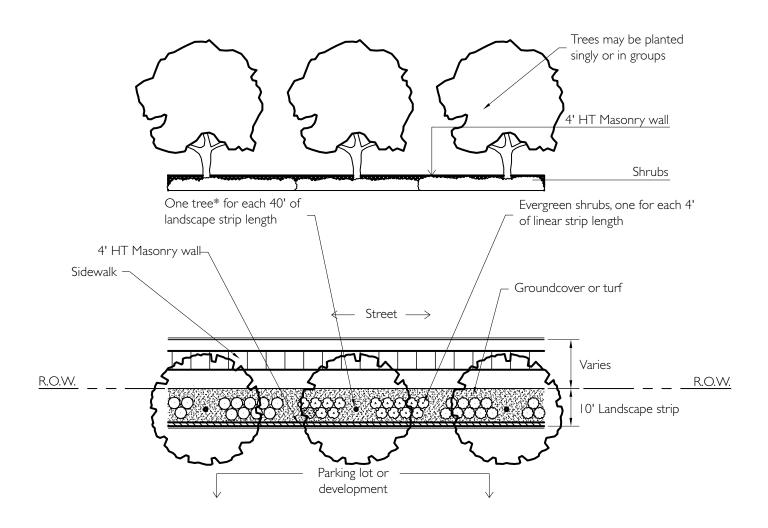
Type I:5' Landscape Strip



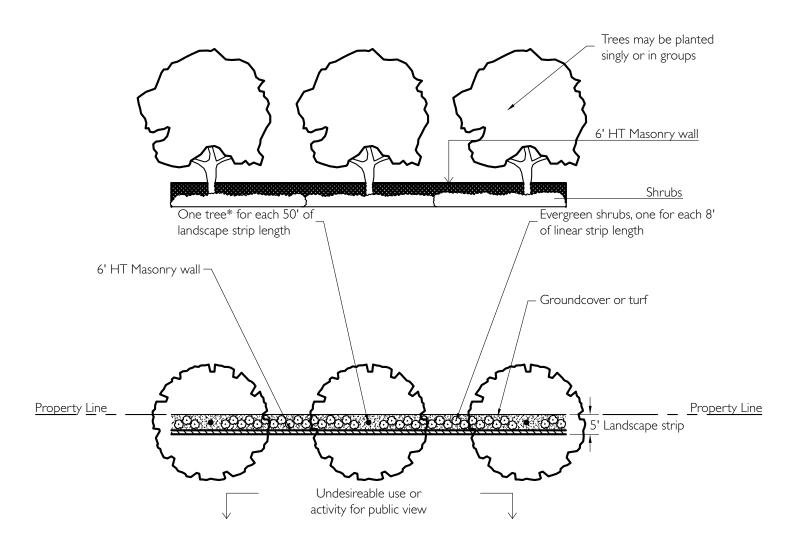
*Refer to the tree species lists in 4.11 - 4.13 for recommended tree species



*Refer to the tree species lists in 4.11 - 4.13 for recommended tree species

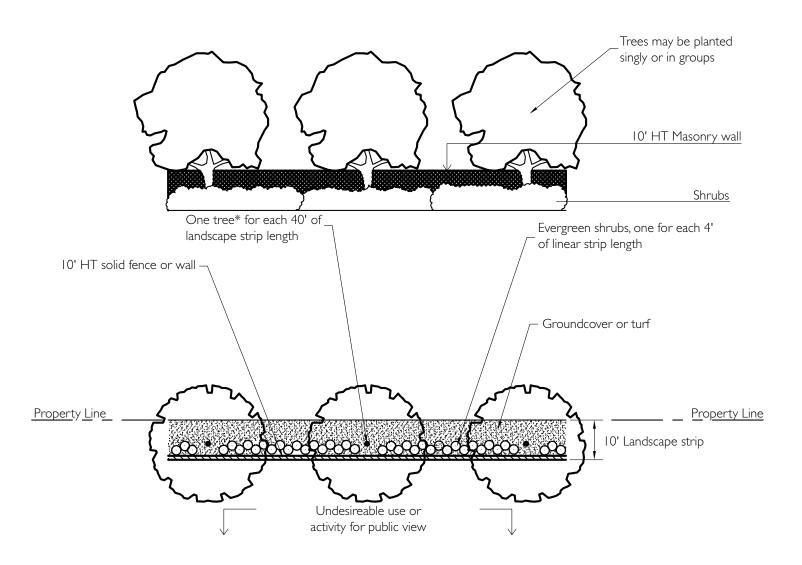


*Refer to the tree species lists in 4.11 - 4.13 for recommended tree species



^{*}Refer to the tree species lists in 4.11 - 4.13 for recommended tree species

Type 5: 10' Masonry Screening Wall



*Refer to the tree species lists in 4.11 - 4.13 for recommended tree species

Small Tree Species List

Scientific name	Common Name	Native	Evergreen	Street Tree	Parking Lot Tree	Max Ht (ft)	Spread (ft)	Canopy (SF)
Acer buergerianum	Trident Maple			S		25	20	314
Acer griseum	Paperbak Maple					25	20	314
Acer palmatum var. atropurpure- um 'Bloodgood'	Japanese Maple 'Bloodgood'			S		20	20	314
Amelanchier arborea	Downy Serviceberry	Ν		S		25	20	314
Carpinus caroliniana	Ironwood/American Hornbeam	N				25	25	491
Cercis canadensis 'Pauline Lily'	Pauline Lily Redbud	N		S		25	25	491
Cercis canadensis 'Texensis'	Texas Redbud	Ν		S		25	25	491
Cercis canadensis 'The Rising Sun'	The Rising Sun Redbud	N		S		25	25	491
Cercis chinensis	Chinese Redbud			S		25	25	491
Cercis mexicana	Mexicana Redbud					20	25	491
Cercis reniformis 'Oklahoma'	Oklahoma Redbud			S		25	25	491
Cercis reniformis 'Texas White'	Texas White Redbud					25	25	491
Chionanthus retusus	Chinese Fringetree			S		25	10	79
Chionanthus virginicus	Fringe Tree	Ν		S		25	25	491
Cornus alternifolia	Alternate Leaf Dogwood	Ν		S		20	20	314
Cornus florida	Flowering Dogwood	Ν		S		20	20	314
Cornus kousa	Chinese/ Kousa Dogwood			S		20	20	314
Cotinus obovatus	American Smoketree	Ν				20	15	177
Crataegus crus-galli var inermis	Thornless Cockspur Hawthorn					20	20	314
Crataegus spathulata	Littlehip Hawthorn					20	20	314
Crataegus viridis 'Winter King'	Green Hawthorne			S		25	25	491
Hamamelis virginiana	Witch-hazel	N				20	15	177
llex x attenuata 'Fosteri'	Foster Holly		Е			25	10	79
llex x attenuata 'Savannah'	Savannah Holly		Е			25	10	79

Small Tree Species List (cont'd)

Scientific name	Common Name	Native	Evergreen	Street Tree	Parking Lot Tree	Max Ht (ft)	Spread (ft)	Canopy (SF)
llex decidua	Deciduous Holly/Possum Haw	N				15	10	79
llex latifolia	Lusterleaf Holly		Е			25	20	314
llex x 'Nellie R. Stevens'	Nellie R. Stevens Holly		Е			30	10	79
llex verticillata	Winterberry	N				15	10	79
llex vomitoria	Yaupon Holly	N	Е			20	10	79
Magnolia stellata	Star Magnolia					20	15	177
Malus angustifolia	Narrow-Leaf Crabapple	N				25	20	314
Malus ssp.	Flowering Crabapple			S		25	20	314
Myrica cerifera	Wax Myrtle	N	Е			25	20	314
Parrotia persica	Persian Parrotia					30	20	314
Prunus 'Accolade'	Accolade Flowering Cherry					20	15	177
Ptelea trifoliata	Hoptree					20	10	79
Quercus georgiana	Georgia Oak	N		S		20	15	177
Rhamnus alaternus	Italian Buckthorn		Е			20	10	79
Rhamnus caroliniana	Carolina Buckthorn					25	20	314
Rhus glabra or typhina	Smooth or Staghorn Sumac	N				15	10	79
Tilia cordata 'Halka'	Summer Sprite Littleleaf Linden				Р	20	10	79
Zelkova serrata 'JFS-KW1'	City Sprite Japanese Zelkova			S	Р	25	20	314
Zelkova serrata 'Schmidtlow'	Wireless Japanese Zelkova			S	Р	25	35	962

Medium Tree Species List

Scientific name	Common Name	Native	Evergreen	Street Tree	Parking Lot Tree	Max Ht (ft)	Spread (ft)	Canopy (SF)
Acer barbatum	Southern Sugar Maple	N			Р	40	30	707
Acer campestre	Hedge Maple					35	30	707
Acer ginnala	Amur Maple					25	20	314
Acer leucoderme	Chalk Maple	N				40	20	314
Acer rubrum, small cultivars	Red Maple, dwarf varieties	N			Р	50	35	962
Acer truncatum	Shantung or Painted Maple					35	25	491
Betula nigra 'Dura Heat'	Dura Heat' River Birch	N				40	25	491
Carpinus betulus	European Hornbeam				Р	60	35	962
Carpinus caroliniana	American Hornbeam	N				40	20	314
Carpinus japonica	Japanese Hornbeam					30	20	314
Celtis tenuifolia	Georgia Hackberry					35	20	314
Chamaecyparis thyodies	Atlantic Whitecedar	N	Е			30	20	314
Cladrastis lutea	American Yellowwood	N		S		50	40	1,256
Crataegus phaenopyrum	Washington Hawthorn					30	25	491
Cupressus arizonica	Arizona Cypress		Е			40	15	177
Fagus sylvatica	Purple Beech					50	40	1,256
Frangula caroliniana	Carolina Buckthorn	N				40	20	314
Gordonia lasianthus	Loblolly Bay	N	Е			35	25	875
Halesia carolina/tetraptera	Carolina Silverbell	N				40	30	707
llex latifolia	Lusterleaf Holly		Е			40	20	314
llex opaca	American Holly	N	Е			30	15	177
Juniperus virginiana	Eastern Red Cedar	N	Е		Р	50	10	79
Magnolia grandiflora 'Little Gem'	Little Gem Magnolia		Е			35	12	113
Magnolia grandiflora 'Samuel Sommer'	Samuel Sommer Magnolia		Е		Р	40	20	314

Medium Tree Species List (cont'd)

Scientific name	Common Name	Native	Evergreen	Street Tree	Parking Lot Tree	Max Ht (ft)	Spread (ft)	Canopy (SF)
Magnolia x soulangiana (Tree Form)	Saucer Magnolia			S		30	25	491
Nyssa sylvatica 'Red Rage'	Red Rage Black Gum	N			Р	50	25	491
Ostrya virginiana	Eastern Hophornbeam	N		S		40	25	491
Oxydendron arboreum	Sourwood	N		S		30	20	314
Pinus nigra	Austrian Pine		Е			30	20	314
Platanus x acerifolia	London Planetree			S	Р	40	40	1256
Prunus serrulata	Japanese Flowering Cherry			S		30	20	314
Prunus subhirtella 'Atumnalis'	Autumn Cherry			S		30	30	707
Prunus x yedoensis	Yoshino Flowering Cherry			S		50	30	707
Quercus lyrata	Overcup Oak	N			Р	45	30	707
Quercus stellata	Post Oak					50	40	1256
Sassafras albidum	Sassafras	N				30	15	177
Styrax japonica	Japanese Snowbell					30	15	177
Thuja occidentalis	Eastern Arborvitae		Е			50	10	79
Ulmus parvifolia 'Athena'	Athena Chinese Elm			S	Р	30	35	962

Large Tree Species List

Scientific name	Common Name	Native	Evergreen	Street Tree	Parking Lot Tree	Max Ht (ft)	Spread (ft)	Canopy (SF)
Acer barbatum cultivars	Florida Maple	Ν			Р	60	35	962
Acer saccharum cultivars	Sugar Maple 'Legacy'	Ν			Р	50	35	962
Betula nigra cultivars	River Birch 'Dura Heat' or 'Heritage'	Ν				50	40	1,256
Carya cordiformis	Bitternut Hickory	Ν			Р	100	60	2,826
Carya glabra	Pignut Hickory	Ν		S	Р	100	60	2,826
Carya ovata	Shagbark Hickory	Ν			Р	80	40	1,256
Carya pallida	Sand Hickory	Ν			Р	90	30	707
Carya tormentosa	Mockernut Hickory	Ν		S	Р	100	60	2,826
Cedrus deodara	Deodar Cedar		Е			70	30	707
Celtis laevigata	Sugarberry				Р	70	50	1,963
Celtis occidentalis	Hackberry			S		50	40	1,256
Celtis sinensis	Chinese Hackberry			S		60	40	1,256
Cercidiphyllum japonicum	Katsura Tree				Р	70	45	1,590
Cryptomeria japonica	Japanese Cryptomeria		Е			60	20	314
Fagus grandifolia	American Beech	Ν				70	40	1,256
Fraxinus americana	White Ash			S		80	60	2,826
Fraxinus pennsylvanica	Green Ash	Ν		S		60	25	491
Ginkgo biloba (male)	Gingko, Maidenhair Tree			S	Р	50	30	707
Gleditsia triacanthos inermis	Thornless Honeylocust	Ν		S	Р	70	50	1963
Liquidambar styraciflua 'Rotundi- loba'	Seedless Sweetgum	N			Р	70	45	1,590
Liriodendron tulipifera	Tulip Poplar	Ν		S	Р	90	40	1,256
Magnolia acuminata	Cucumber Magnolia	Ν				80	40	1,256
Magnolia grandiflora	Southern Magnolia	Ν	Е			80	40	1,256

Large Tree Species List (cont'd)

Scientific name	Common Name	Native	Evergreen	Street Tree	Parking Lot Tree	Max Ht (ft)	Spread (ft)	Canopy (SF)
Magnolia virginiana	Sweetbay Magnolia	N			Р	60	30	707
Metasequoia glyptostroboides	Dawn Redwood					80	25	491
Nyssa aquatica	Swamp Tupelo	N				70	40	1,256
Nyssa sylvatica	Black Gum	N			Р	80	45	1,590
Pinus echinata	Shortleaf Pine	N	Е		Р	100	25	491
Pinus taeda	Loblolly Pine	N	Е		Р	100	25	491
Pinus virginiana	Virginia Pine		Е		Р	70	20	314
Platanus occidentalis	American Sycamore	N		S		100	45	1,590
Platanus x acerifolia	London Planetree			S	Р	100	80	5,024
Populus deltoides x Populus nigra	Hybrid Poplar				Р	50	30	707
Quercus acutissima	Sawtooth Oak				Р	60	50	1,963
Quercus alba	White Oak	N				80	60	2,826
Quercus bicolor	Swamp White Oak			S		60	50	1,963
Quercus coccinea	Scarlet Oak	N			Р	70	45	1,590
Quercus falcata	Southern Red Oak	N		S	Р	80	45	1,590
Quercus hemisphaerica 'Darling- ton'	Darlington Oak	N			Р	90	50	1,963
Quercus laurifolia	Laurel Oak	N			Р	80	50	1,963
Quercus macrocarpa	Bur Oak					80	80	5,024
Quercus muehlenbergii 'Engelm'	Chinkapin Oak			S	Р	100	50	1,963
Quercus nigra	Water Oak			S	Р	80	40	1,256
Quercus nutallii	Nuttal Oak	N		S	Р	80	40	1,256
Quercus palustris	Pin Oak	N		S	Р	70	40	1,256
Quercus phellos	Willow Oak	N		S	Р	60	35	962
Quercus prinus	Chestnut Oak			S		70	50	1,963

Large Tree Species List (cont'd)

Scientific name	Common Name	Native	Evergreen	Street Tree	Parking Lot Tree	Max Ht (ft)	Spread (ft)	Canopy (SF)
Quercus robur	English Oak			S	Р	60	50	1,963
Quercus rubra	Northern Red Oak			S	Р	75	45	1,590
Quercus shumardii	Shumard Oak	Ν		S	Р	80	60	2,826
Quercus stellata	Post Oak				Р	50	40	1,256
Quercus velutina	Black Oak				Р	70	45	1,590
Taxodium distichum	Bald Cypress	Ν		S	Р	70	25	491
Thuja plicata	Western Arborvitea		Е		Р	70	25	491
Tilia americana	Basswood			S	Р	80	45	1,590
Tilia cordata	Littleleaf Linden				Р	70	40	1,256
Tsuga canadensis	Eastern Hemlock	N	Е			60	35	962
Ulmus alata	Winged Elm	N			Р	80	40	1,256
Ulmus americana 'Princeton'	Princeton American Elm			S	Р	60	30	707
Ulmus crassifolia	Cedar Elm				Р	70	50	1,963
Ulmus parvifolia 'Emer II' P.P. #7552	Allée ® Chinese Elm			S	Р	60	45	1590
Ulmus rubra	Slippery Elm	N			Р	80	40	1,256
Ulmus x 'Morton' (Accolade)	Accolade Hybrid Elm			S	Р	60	30	707
Ulmus x 'Pioneer'	"Pioneer' Elm			S	Р	60	50	1,963
Zelkova serrata	Japanese Zelkova			S	Р	70	50	1,963

Appendix Section 5.0

Inactive Zoning Districts

Section 5-10. Purpose

This appendix is provided as a reference for projects developed under requirements of the 1985 Zoning Resolution, and which are in zoning districts that have been retired with adoption of the Unified Development Ordinance. No new zoning applications will be accepted for the following zoning districts; however, properties or parcel assemblages governed by these pre-existing zoning classifications may continue to be developed:

- 5-10.1 A. MOD Modified Single-Family Development
 - B. CSO Conservation Subdivision Overlay District.
 - C. R-140 Single Family Residence District.
 - D. RL Lakeside Residence District.
 - E. R-ZT Single Family Residence Zero Lot Line/Townhouse District. (Prior to January 2005)
 - F. R-ZT Single Family Residence District. (After January 2005)
 - G. R-TH Single Family Residence Townhouse District. (Prior to January 2005)
 - H. MHS Manufactured Housing Subdivision District.
 - I. RM Multi-Family Residence District.
 - J. RMD Multi-Family Residence District (Duplexes).
 - K. RM-6 Multi-Family Residence District.
 - L. RM-8 Multi-Family Residence District.
 - M. RM-10 Multi-Family Residence District.
 - N. HS Hospital Service District.
 - O. NS Neighborhood Shopping District.
 - P. OBP Office-Business Park District.
 - Q. MUO Mixed-Use Overlay District.
 - R. MUD Mixed-Use Development District.
 - S. Big Haynes Creek Conservation Subdivision Option.
 - T. Chattahoochee River Tributary Protection: Stream Buffer Zones Required.

Section 5-20. Modified Single-Family Development

5-20.1 **Purpose.**

The purpose of Modified single-family development is to permit a procedure for development which will result in improved living and working environments; which will promote more economic subdivision layout; which will encourage ingenuity and originality in total subdivision and individual site design; and which can preserve open space to serve recreational, scenic, and public service purposes, and other purposes related thereto. To achieve these goals:

- A. Permitting variations in lot areas.
- B. Establishing procedures to assure adequate maintenance and restricted use of open space areas for the benefit of the inhabitants of the subdivisions.
- C. Establishing procedures to assure adequate protection of existing and potential developments adjoining the proposed Modified development.

5-20.2 **Special Use Permit Required.**

A Modified single-family development may be permitted in an R-100 or R-75 district provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and the Planning Commission and after a public hearing. The Board of Commissioners may reduce the individual lot size that would otherwise be required, up to 30 percent in an R-100 district and up to 25 percent in an R-75 district. Maximum density shall not exceed 2.3 units per acre for the R-100 Modified zoning designation and 3.0 units per acre for the R-75 Modified zoning designation.

5-20.3 Minimum Size of a Modified Development.

Modified developments shall consist of at least 16 dwelling units, except that Modified developments that are found by the Board of Commissioners to be a logical extension of an existing or approved Modified development may contain fewer dwelling units.

5-20.4 Subdivision Approval Required.

No Modified development may be constructed except in accordance with the provisions of Section 5-20.

5-20.5 Modification of Yard and Lot Requirements.

Modification and variation of yard and lot requirements may be permitted subject to the following minimum standards listed below in Section 5-20.6.

5-20.6 The following table indicates the minimum setbacks, lot width and height requirements for Modified developments:

Minimum Yard and Height Requirements for Modified Develor

Zoning District	Lot Width	Front Yard	Side Yard	Rear Yard	Height				
R-100M	80 Feet	25 Feet From Right-of-Way	1 Yard – 5 Feet 2 Yards – 15 Feet	30 Feet	35 Feet				
R-75M	65 Feet	25 Feet From Right-of-Way	l Yard – 5 Feet 2 Yards – 15 Feet	25 Feet	35 Feet				
In all districts, stormwater facility lots shall maintain a minimum lot width of 30 feet at the minimum building setback line.									

5-20.7 **Open Space Requirements; Ownership.**

- A. In each district allowing Modified development, the lot size may be reduced from the general lot size for that district to a specified minimum lot size for Modified development, in accordance with the percentage reduction limits and Section 5-20.6 Minimum Yard and Height Requirements For Modified Development. All such lot reductions shall be compensated for by an equivalent amount of land in open space to be preserved and maintained for its scenic values, recreation or conservation purposes. Up to one-half of such open space may be located in a 100-year floodplain or an existing lake, and up to 100 percent may be located within a permanent proposed lake which does not function solely as a detention facility or within delineated wetlands.
- B. Open space shall not include areas devoted to public or private vehicular streets or any land which has been, or is to be, conveyed to a public agency, via a purchase agreement for such uses as parks, schools, or other public facilities, or which lies within any required recreation area, overhead power easement, or stormwater detention facility.

C. If open space is not dedicated to public use, it shall be protected by legal arrangements, satisfactory to the Board of Commissioners, sufficient to assure its maintenance and preservation for whatever purpose it is intended. Covenants or other legal arrangements shall specify ownership of the open space; method of maintenance; responsibility for maintenance; maintenance taxes and insurance; compulsory membership and compulsory assessment provisions; guarantees that any association formed to own and maintain open space will not be dissolved without the consent of the Board of Commissioners; and any other specifications deemed necessary by the Board of Commissioners.

5-20.8 Criteria for Modified Development Concept Plan Review.

A proposal for a Modified development shall provide for a total environment better than that which could be achieved under standard regulations. If, in the opinion of the Board of Commissioners, the proposed plan could be improved with respect to the criteria listed below by the reasonable modification of the location of open space or buildings or configurations of lots, streets and parking areas, the proposed plan shall be so modified or denied. In acting on a proposed plan, the Board of Commissioners shall give particular consideration to the following criteria:

A. Required Exhibits.

The following exhibits shall be prepared by design professionals, such as planners, engineers, architects or landscape architects and submitted to the Department of Planning and Development. No application for a Modified single family development shall be accepted for processing without these required exhibits.

- 1. A location map indicating existing zoning on the site and the adjacent areas.
- 2. A concept plan drawn no smaller than one inch equals 100 feet, including the following information:
 - a. Lot lines and setbacks;
 - b. Location, shape, size and height of the existing and proposed decorative walls and elements and entrance features;
 - c. Topography with contour intervals no greater than 2 feet;
 - d. Lakes, ponds and floodplains and the source of floodplain data;
 - e. Stormwater detention areas;
 - f. Existing and proposed landscaping;
 - g. Recreation facilities (if applicable);
 - h. Stages of development, if any;
 - i. Location of offstreet parking.
- 3. Floor plans and elevations of all typical units and any other structures such as recreation buildings.
- 4. Information indicating the following:
 - a. Gross and net acreage (see definition of net density);
 - b. Lot sizes (dimensions and square footage);
 - c. Building heights and stories;
 - d. Building coverage for each lot;
 - e. Amount of common open space in square feet (if applicable);
 - f. All tree areas to be retained or added;
 - g. Parking facilities and
 - h. Such other architectural and engineering data as may be required to evaluate the project.

5-20.9 All Modified Amendments to be Conditional Zoning Amendments.

All Modified Single Family zoning amendments to the Official Zoning Map shall be conditional amendments. In addition to any other conditions that may be imposed by the Board of Commissioners pursuant to the provisions for conditional zoning in this Unified Development Ordinance, a concept plan showing the approximate location of all buildings, walls, fences, property lines, front and rear building lines, landscaping, parking areas and uses and any other features deemed appropriate by the Board of Commissioners as a result of the concept plan review and public hearing shall be included as part of the amendment, and the use of the property for its zoned purposes shall be conditioned on said concept plan.

Section 5-30. CSO Conservation Subdivision Overlay District.

5-30.1 **Purposes.**

The purposes of this overlay district are as follows:

- A. To encourage the development of residential communities, that are density neutral based upon the Comprehensive Plan, designed to preserve and protect environmental resources, scenic vistas, and natural and cultivated landscapes.
- B. To enhance land, water, air and tree resources by minimizing the area of land disturbance, reducing impervious surface, optimizing stream buffers, preserving tree cover and encouraging retention and protection of Conservation Space.

- C. To reduce infrastructure maintenance costs as a result of efficient community design.
- D. To provide Conservation Space and pedestrian linkages and wildlife corridors among residential communities and to encourage recreation opportunities.
- E. To preserve significant historical and archaeological features.
- F. To preserve and protect contiguous undeveloped areas within the development.

5-30.2 **Applicability.**

This overlay district may be overlaid only upon the R-100 and R-75 districts utilizing the public sanitary sewer system. The overlay district shall require approval of a Special Use Permit at a public hearing as of the effective date of the adoption of this overlay district. Any conditions of zoning or special use approval of the underlying district shall also be observed (exception: lot area, width or quantity). For properties which are submitted for rezoning to R-100 or R-75, the applicant shall declare the intent to utilize this overlay district at the time of application and the application shall be accompanied by an Existing Features Site Analysis Plan, and Environmental Site Assessment (Phase One) report, and a Concept Plan meeting the requirements of this section. The overlay district shall not be used on property that has been timber harvested within 24 months prior to adoption of a zoning change or approval of a concept plan.

5-30.3 **Permitted Uses.**

Those uses permitted in the underlying district are permitted.

5-30.4 Existing Features Site Analysis Plan.

At time of development, or if a zoning action is proposed, and prior to preparing the Concept Plan, an Existing Features Site Analysis Plan, sealed by a registered engineer or landscape architect, and an Environmental Site Assessment (Phase One) report, shall be prepared and submitted by the applicant or developer.

- 5-30.5 The purposes of the Site Analysis Plan are to:
 - A. Delineate areas that have been identified as worthy of permanent protection in Conservation Space because of their environmental values. This delineation shall include, but shall not be limited to, the information and steps listed in Section 5-30.6.
 - B. Set forth the particulars of the site, including boundary, topographic data (minimum 4-foot contour intervals), existing structures and utility easements.
 - C. Together with the Environmental Site Assessment (Phase One) report, provide the starting point for design of the conservation subdivision with built areas being designed as separate from the areas delineated as worthy of permanent protection.
- 5-30.6 The Existing Features Site Analysis Plan shall include at least the following information:
 - A. Perennial and intermittent streams, FEMA designed 100-Year Flood Hazard Zones and Wetlands. The source of this information shall also be indicated.
 - B. Identification of tree lines, native woodlands, open fields or meadows, peaks or rock outcroppings, and prime agricultural land.
 - C. Delineation of tree resource areas by type such as hardwoods, pines or mixed; and old or new growth.
 - D. Delineation of steep slope areas (25 percent or greater). The designer shall endeavor to preserve slopes greater than 40 percent.
 - E. Identification of historical, archeological or other significant features identified in the Environmental Site Assessment (Phase One) report.
 - F. Identification of scenic vistas as listed in the Comprehensive Plan.
 - G. Identification of Conservation Space, Open Space or common areas adjacent to the project.

- H. Identification of protected plant species as listed by the Georgia Department of Natural Resources, to be certified by a registered landscape architect, forester, arborist, biologist, botanist or horticulturist.
- I. The plan shall also include certification that timber harvesting activity has not occurred on the property in the previous 24 months prior to the approval of a rezoning application or the approval of a Concept Plan.

5-30.7 **Concept Plan.**

At time of development, a Concept Plan shall be submitted by the developer for review and approval in accordance with the requirements and procedures of Section 320-10. If a zoning action or Special Use Permits is required, the rezoning site plan shall include the following information:

- A. Delineation and specifications of Conservation Space including calculations and exclusions (see Section 5-30.9); and any "Pocket Parks," "Neighborhood Greens," play areas, or trail system to be constructed.
- B. A typical detail on the plan indicating dwelling size, lot width, building setback lines, off-street parking, street trees, sidewalks, and street pavement and right-of-way width.
- C. Lot width average, area and percent of floodplain specifications in tabular form; and density calculations (gross and net).

5-30.8 **Conservation Space Requirements.**

In order to qualify for this overlay district, Conservation Space shall meet the following requirements:

A. Delineation.

1. Priority shall be given in delineating Conservation Space areas as those areas of significance identified in the Existing Features Site Analysis Plan, around which the built areas are designed.

B. Undeveloped and Natural.

- I. Conservation Space shall remain undeveloped and natural except for the provision of non-motorized passive recreation opportunities such as running, walking, biking, and similar outdoor activities. Wetland and stream bank mitigation projects are also permitted.
- 2. Primary Conservation Areas are required to be included in the Conservation Space. These areas shall be covered by a provision for permanent protection and shall include 100-Year floodplains, stream buffer zones, slopes greater than 40 percent consisting of a contiguous area of at least 5,000 square feet, wetlands, endangered or threatened species or their habitat, archeological sites, cemeteries or burial grounds.
- 3. Secondary Conservation Areas are features and areas recommended and desirable for Conservation Space designation and may be covered by the provisions for permanent protection. These include important historic sites, existing healthy, native forests of at least one contiguous acre, scenic viewsheds, peaks and rock outcroppings, prime agriculture lands consisting of at least 5 contiguous acres, and existing trails that connect the tract to neighboring areas. Also considered Secondary Conservation Areas are "Pocket Parks," "Neighborhood Greens" and stormwater management facilities and practices and may be constructed and maintained in Conservation space. However, "Pocket Parks" and "Neighborhood Greens" shall not exceed 20 percent of the total required Conservation Space.

5-30.9 **Exclusions.**

- A. Excluded from meeting the minimum amount of Conservation Space are the following (also, see the definition of Primary Conservation Areas):
 - 1. Residential yards.
 - 2. Proposed Permanent Lakes that may be used for wet detention. No more than 50 percent of land area located within a proposed permanent lake may be credited.
 - 3. Recreation Area Improvements. Impervious surfaces in recreation areas shall not be credited.
 - 4. Easements. Land area within power, gas pipeline easements, sewer line easements or pump stations shall not be credited.
 - 5. Other. Land area devoted to public or private streets or any land that has been, or is to be, conveyed to a public agency via a purchase agreement for such uses as parks, schools, or other public facilities shall not be credited.

5-30.10 **Ownership.**

Conservation Space shall be owned in fee-simple by a mandatory property owner's association; or other entity approved in advance by the Board of Commissioners during their normal course of business. The developer shall record the deed to the Conservation Space prior to, or concurrent with, the recording of the first final subdivision plat. An access easement following the alignment of future public streets is acceptable. However, "Pocket Parks" or "Neighborhood Greens" may be deeded concurrent with the unit or phase of the final subdivision plat of which it is a part

5-30.11 **Property Owner's Association.**

- A. The property owner's association bylaws or covenants, at a minimum, shall contain the following provisions:
 - 1. Governance of the association by the Georgia *Property Owner's Association Act* (OCGA Section 44-3-220 et seq.) or a successor to that Act that grants lien rights to the association for maintenance expenses and tax obligations.
 - 2. Responsibility for maintenance of the open space.
 - 3. Responsibility for insurance and taxes.
 - 4. Automatic compulsory membership of all lot purchasers and their successors; and compulsory assessments.
 - 5. Conditions and timing of transferring control of the association from the developer to the lot owners.
 - 6. Guarantee that the association will not be dissolved without the advance approval of the Board of Commissioners.

5-30.12 **Maintenance.**

The property owner's association, or other entity approved in advance by the Board of Commissioners, shall be responsible for the continuous maintenance of buffers, Conservation Space and recreation areas.

5-30.13 **Conservation Surety.**

- A. Conservation Space delineated on the Final Plat and required to be in a Primary Conservation Area shall be permanently protected by either one or both of the following options:
 - 1. Option I. Conveyance to the Public and Subdivision Lot Owners.
 - a. A deed conveying ownership of the Conservation Space to the mandatory property owner's association shall be recorded and delivered prior to, or concurrent with, the approval of the Final Plat for the first phase of the subdivision. Both the deed and the Final Plat shall contain, at a minimum, the following covenant:

"The Conservation Space conveyed by deed and shown on the Final Plat shall remain permanently protected and shall not be disturbed, cleared or developed except in accordance with Section 5-30.8 of this Unified Development Ordinance and with Georgia Law OCGA 36-22-1 et seq., having the following Greenspace goals: protection of streams, floodplains and wetlands; steep slopes; woodlands, open fields and meadows; historical and archeological features; significant wildlife habitats; scenic vistas; passive recreation and connectivity with nearby open spaces. The following uses may be allowed: passive recreational amenities, such as pervious-surface paths and minimal parking spaces; picnic and restroom facilities (constructed facilities shall not exceed 15 percent of the Conservation Space). This covenant is intended to benefit said area to the public and the use of same to the subdivision lot owners and residents, and it shall run in perpetuity as provided by Georgia Law OCGA 44-5-60(c)."

- 2. Option 2. Conveyance to Other Qualified Organizations or Entities.
 - a. Except for "Pocket Parks" or "Neighborhood Greens," developed recreation areas or Secondary Conservation Areas not desired for permanent protection, Conservation Space shall be permanently protected by the:
 - i. recording of a covenant or conveyance of an easement which runs in perpetuity under Georgia Law OCGA 44-5-60 in favor of any corporation, trust, or other organization holding land for the use of the public or certain governmental entities; or,
 - ii. (conveyance of a conservation easement running in perpetuity to a third party "qualified organization" recognized by Federal Treasury Regulation Section 1.170A-14(c)(1). Qualified organizations recognized by this Treasury Regulation include, but may not be limited to, governmental entities, certain publicly supported charities, local and national land trusts, or other conservation groups that are organized or operated primarily or substantially for one of the conversation purposes specified in the Internal Revenue Code. Governmental entities that qualify to be named in covenants under Georgia Law OCGA 44-5-60 or to receive conservation easements under the Treasury Regulation referred to above for purposes of this section shall include the Federal government, the State of Georgia, Gwinnett County, or authorities of the State of Georgia or Gwinnett County. If a covenant is recorded or an easement conveyed in favor of a governmental entity, formal acceptance by the governmental entity or qualified conservation organization shall be obtained prior to the recording of the covenant or conveyance of the easement. The developer shall record the necessary legal instrument to accomplish protection of the Conversation Space prior to, or concurrent with, the recording of the Final Plat. The legal instrument shall contain, at a minimum, the same language required to be placed on a deed as stated in Option 1 of this Section.
- B. Secondary Conservation Areas may also be covered by the same permanent protection options.

5-30.14 **Density.**

The Comprehensive Plan establishes recommended residential density not to exceed 3 units per acre in many areas of the county. Consequently, subdivisions in the overlay district shall not exceed a maximum net density in the underlying district, and shall provide at least the percent of Conservation Space, as stated below:

A. R-100: 2.3 units per acre with 40 percent Conservation Space.

3.0 units per acre with 50 percent Conservation Space.

B. R-75: 3.0 units per acre with 40 percent Conservation Space.

5-30.15 **Development Requirements.**

Subdivisions in this overlay district shall meet the following requirements unless a Special Use Permit is submitted and approved by the Board of Commissioners:

A. Minimum Subdivision Size: 10 contiguous acres.

B. Lot Area: No minimum.

C. Average Lot Width:

The average width of all building lots shall be at least 60 feet. Exception: Any lot located less than 50 feet from adjacent property lines zoned RA-200, R-140, R-100 and R-75 (except modified and cluster subdivisions) shall meet the lot width (for the entire depth of the lot) and the rear setback of the underlying zoning district.

D. Minimum Road Frontage per Lot:

Forty feet. Exception: Road frontage may be reduced to 20 feet for lots with frontage upon cul-de-sac or "eyebrow cul-de-sac" turnarounds.

E. Minimum Yard Areas (Setbacks):

Front: 20 feet.

Exception: The front yard setback may be reduced to 5 feet if dwellings are provided side or rear entry garages. To qualify for the reduced setback on a corner lot, side entry garages must be located to the side adjacent to an abutting lot.

Rear: 20 feet. Side: 5 feet.

F. Street Frontage Buffer:

Fifty feet in width (not part of any building lot). The street frontage buffer shall remain undisturbed and natural, except for entrance features, necessary street construction activities, right-of-way crossings and corner right-of-way miters or radii. If the required street frontage buffer is void of vegetation, it shall be replanted to provide an effective visual screen, which may include landscaped berms and decorative fences. The street frontage buffer may be counted towards Conservation Space calculations.

G. Maximum Height: 35 feet.

H. Minimum Floor Area:

Each dwelling unit shall have a minimum heated finished living area, excluding a basement, attic, carport or garage, as follows:

- I. One Story: 1,600 square feet.
- 2. Two Story: 1,800 square feet.
- I. Homes shall be constructed of brick, stacked stone, cedar shake, stucco, or fiber cement siding on four sides. Soffits may be constructed of vinyl.
- J. Sodded Yards: All grassed areas on dwelling lots shall be sodded.
- K. Garages: Dwellings shall have two-car garages.
- L. Street Trees:

Street trees, in accordance with the requirements of Section 620-60 of this UDO shall be provided.

M. Underground Utilities: Utilities shall be located underground.

Section 5-40. R-140 Single Family Residence District.

This zoning district is intended primarily for single-family residences on large lots in areas where topography does not lend the land for small-lot development.

- 5-40.1 Within the R-140 Single Family Residence District, the following uses are permitted:
 - A. All uses permitted in the R-100 Single Family Residence District, including Special Uses.
- 5-40.2 Minimum specifications for development of the R-140 Single Family Residence District:
 - A. A maximum of 25 percent of the net acreage exclusive of roads may be used for lots of 1.0 to 1.5 acres.
 - B. A maximum of 25 percent of the net acreage exclusive of roads may be used for lots of 1.5 to 2.0 acres.
 - C. The remainder of the property shall consist of lots exceeding 2.0 acres.
 - D. Upon approval of the Final Plat, a note shall be placed on the plat stating "No lot shall be subdivided, nor shall more than one house be erected on any one lot".
 - E. Subdivision development shall be considered only on tracts of 15 acres or more.
- 5-40.3 Within the R-140 Single Family Residence District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and Planning Commission and after a public hearing.
 - A. The subdivision of land with frontage on private roads with a common easement.
 - B. Group Homes.
 - C. Family Personal Care Home (minimum one-acre lot size).

Section 5-50. RL Lakeside Residence District.

The purpose of the RL. Lakeside Residence District, which borders on Lake Lanier or Norris Lake, is to permit single-family dwellings and recreation cottages on medium-sized lots, and, as a special use, water related recreation areas and facilities.

- 5-50.1 Within the RL Lakeside Residence District the following uses are permitted:
 - A. Single family dwellings and recreation cottages, but not including manufactured homes.
 - B. Customary accessory buildings and uses.
 - C. Customary home occupations.
 - D. Public parks.
 - E. Public utilities.
- 5-50.2 Within the RL. Lakeside Residence District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and Planning Commission and after a public hearing:
 - A. Churches.
 - B. Public and private schools offering general education courses.
 - C. Water-related recreation areas and facilities including commercial and non-commercial boat docks and piers, picnic facilities, convenience goods stores, restaurants and the like.
 - D. Multi-family rental vacation dwellings.

Section 5-60. R-ZT Single Family Residence Zero Lot Line/Townhouse District.

(Prior to January 2005).

This district is intended to provide areas for the development of moderate density residential uses and structures in moderately spacious surroundings. It is intended that these districts be located in the urban and suburban portions of Gwinnett County where a protected environment suitable for moderate-density residential use can be provided, as well as in established moderate-density residential areas as a means to ensure their continuance. The use of this district is also appropriate on a smaller scale in the suburban portions of the County as a transitional zone between low-density residential districts and commercial districts, industrial districts, or major transportation arteries, or other uses that are not compatible with a low-density residential environment. In fulfilling the intent of this district, the townhouse concept may be used which permits the construction of single-family dwellings immediately adjacent to one another without side yards between the individual units and which units may or may not be structurally connected. The intent of this district may also be fulfilled by the use of the Zero Lot Line concept, which permits the construction of detached single-family dwellings on lots without a side yard requirement on one side of the lot. This concept permits better use of the entire lot by compacting the usual front, rear and side yards into one or more internal gardens which may be completely walled in or screened.

- 5-60.1 Within the R-ZT Single Family Residence Zero Lot Line/Townhouse District, the following uses are permitted:
 - A. Zero Lot Line Single Family Detached Dwellings.
 - B. Townhouses.
 - C. Single Family Detached Dwellings.
 - D. Customary Home Occupations (provided the building lot is a minimum of 60 feet in width and 7,200 square feet in area).
- 5-60.2 Within the R-ZT Single Family Residence Zero Lot Lot/Townhouse District, the following requirements shall be met:
 - A. Maximum density shall not exceed 8 units per acre for attached dwelling units and 6 units per acre for detached dwelling units.
 - B. Minimum lot width for Zero Lot Line or single family detached units 40 feet. Minimum lot width for townhouse attached units 22 feet. Zero Lot Line or single family detached lots shall maintain a minimum road frontage of 20 feet. Townhouse lots shall maintain a minimum road frontage of 15 feet.
 - C. Minimum front yard depth shall be 20 feet.
 - D. Minimum side yard depth None for townhouses except that on corner lots the minimum side yard of the corner side shall be 20 feet. Zero lot line lots shall have a 0 foot side yard on one side and a minimum of 10 feet on the opposite side. Single family detached units shall have a minimum 5 foot side yard on each side.
 - E. Minimum rear yard depth When abutting an R-75 or R-100 district, the rear yard shall be equal to the required buffer plus an additional 5 feet. However, the rear yard setback shall not be less than 25 feet.
 - F. Maximum height 35 feet or two and one-half stories.
 - G. Provide two or more off-street parking spaces per dwelling unit.
 - H. Provide sidewalks adjacent to interior streets, excluding cul-de-sac turnarounds.
 - I. Maximum allowable paved parking in the front yard (excluding walkways and required sidewalk) is 45 percent.
 - J. Provide a minimum 40-foot building setback adjacent to exterior streets. The setback may be reduced to 30 feet if a berm, landscaping, fence or wall is provided adjacent to the exterior street(s).
 - K. A maximum of eight dwelling units shall be allowed in each row of townhouses. When an end unit of a townhouse row does not side on a street, an open space or court of at least 20 feet in width shall be provided between it and the adjacent row of townhouses, and this open space shall be divided between the two immediately adjacent townhouse lots as to property or lot lines.

- L. Where townhouse lots and dwelling units are designed to face upon an open or common access court rather than upon a street, this open court shall be a minimum of 40 feet in width and said court shall not include vehicular drives or parking areas.
- M. Townhouses shall be constructed up to side lot lines without side yards, and no windows, doors, or other opening shall face a side lot line except that that the outside wall of end units may contain such openings.
- N. Zero Lot Line dwellings shall be constructed against the lot line on one side of a lot, and no windows, doors, or other openings shall be permitted on this side. The access for exterior maintenance shall be assured through a perpetual wall maintenance easement of 5 feet in width as necessary
- O. A minimum of a two-hour rated firewall shall be required between each attached dwelling unit. A four-hour rated firewall shall be required between every fourth attached dwelling unit. Firewalls shall be constructed in accordance with applicable building codes of Gwinnett County

5-60.3 All R-ZT Amendments to be Conditional Zoning Amendments.

All R-ZT Single Family Residence Zero Lot Line/Townhouse amendments to the Official Zoning Map shall be conditional amendments. In addition to any other conditions that may be imposed by the Board of Commissioners pursuant to the provisions for conditional zoning in this Unified Development Ordinance, a concept plan showing the approximate location of all buildings, walls, fences, property lines, landscaping, parking areas and uses and any other features deemed appropriate by the Board of Commissioners as a result of the above concept plan review and public hearing, shall be included as part of the amendment, and the use of the property for its zoned purposes shall be conditioned on said concept plan.

5-60.4 **Concept Plan Review.**

The purpose of the concept plan review is to encourage logic, imagination, innovation and variety in the design process and ensure the soundness of the proposed development and its compatibility with the surrounding area. The Director of Planning and Development shall review plans for compliance with concept plan review criteria. The recommendations of both the Director of Planning and Development and the Planning Commission shall be transmitted to the Board of Commissioners.

5-60.5 **Required Exhibits.**

The following exhibits shall be prepared by design professionals, such as planners, engineers, architects or landscape architects and submitted to the Department of Planning and Development. No application for an R-ZT district shall be accepted for processing without these required exhibits.

- A. A location map indicating existing zoning on the site and the adjacent areas.
- B. A concept plan drawn no smaller than one inch equals 100 feet, including the following information:
 - 1. Lot lines and setbacks;
 - 2. Location, shape, size and height of existing and proposed buildings, decorative walls and elements and entrance features;
 - 3. Topography with contour intervals no greater than 20 feet;
 - 4. Lakes, ponds and floodplains and the sources of floodplain data;
 - 5. Stormwater detention areas;
 - 6. Existing and proposed landscaping;
 - 7. Recreation facilities (if applicable);
 - 8. Stages of development, if any;
 - 9. Location of off-street parking.
- C. Floor plans and elevations of all typical units and any other structures such as recreation buildings.
- D. Information indicating the following:
 - 1. Gross and net acreage (see definition of net density);
 - 2. Lot sizes (dimensions and square footage);
 - 3. Building heights and stories;
 - 4. Building coverage for each lot;
 - 5. Amount of common open space in square feet (if applicable);
 - 6. All tree areas to be retained or added;
 - 7. Parking facilities;
 - 8. Such other architectural and engineering data as may be required to evaluate the project.

Section 5-70. R-ZT Single Family Residence District.

(After January 2005) This district is intended for single-family detached residences and accessory uses of a medium density on land served by a sanitary sewerage system.

- 5-70.1 Within the R-ZT Single Family Residence District, the following uses are permitted:
 - A. Single-family detached dwellings.
 - B. Customary Home Occupations (provided the building lot is a minimum of 60 feet in width and 7,200 square feet in area).
- 5-70.2 Within the R-ZT Single Family Residence District, the following requirements shall be met:
 - A. Maximum density shall not exceed 6 units per acre.
 - B. Minimum lot area shall be 4,000 square feet.
 - C. Minimum lot width 40-feet.
 - D. Minimum front yard depth shall be 20 feet.
 - E. Minimum side yard 5 foot side yard on each side.
 - F. Minimum rear yard depth When abutting an R-75 or less intense district, the rear yard shall be equal to the required buffer plus an additional 5 feet. However, the rear yard setback shall not be less than 25 feet.
 - G. Provide a minimum 40-foot landscaped building setback adjacent to exterior streets. The landscaped setback may incorporate natural vegetation and may be reduced to 30 feet if a berm and landscaping, fence or wall is provided adjacent to the exterior street(s).
 - H. Maximum allowable paved parking in the front yard (excluding walkways and required sidewalk) is 45 percent.

5-70.3 **Concept Plan Review.**

The purpose of the concept plan review is to encourage logic, imagination, innovation, and variety in the design process and ensure the soundness of the proposed development and its compatibility with the surrounding area. The Director of Planning and Development shall review plans for compliance with concept plan review criteria. The recommendations of both the Director of Planning and Development and the Planning Commission shall be transmitted to the Board of Commissioners. Through the rezoning process, the Board of Commissioners may condition approval of an R-ZT request to a specific concept plan, or require a future site plan review by the Planning Commission.

5-70.4 **Required Exhibits.**

The following exhibits shall be prepared by design professionals, such as planners, engineers, architects or landscape architects, and submitted to the Department of Planning and Development. No application for an R-ZT district shall be accepted for processing without these required exhibits.

- A. A location map indicating existing zoning on the site and the adjacent areas.
- B. A concept plan drawn no smaller than one inch equals 100 feet, including the following information:
 - 1. Lot lines and setbacks;
 - 2. Topography with contour intervals no greater than 20 feet;
 - 3. Lakes, ponds and floodplains and the sources of floodplain data;
 - 4. Stormwater detention areas;
 - 5. Recreation facilities (if applicable);
 - 6. Location of typical off-street parking.
- C. Elevations of all typical units and any other structures such as recreation buildings.
- D. Information indicating the following:
 - 1. Gross and net acreage (see definition of net density);
 - 2. Lot sizes (typical dimensions and square footage);
 - 3. Amount of common open space in square feet (if applicable);
 - 4. Such other architectural and engineering data as may be required to evaluate the project.

Section 5-80. R-TH Single Family Residence Townhouse District.

(Prior to January 2005).

This zoning district is intended primarily for rowhouse or townhouse attached or detached single-family dwelling units. Such dwelling units may be held in the condominium form of ownership, or in fee simple. It is not the intention of Gwinnett County or of this ordinance to determine or dictate which form of ownership is most desirable.

5-80. A. All dedicated street rights-of-way shall be a minimum of 50 feet.

- B. Front and rear yard setbacks shall total a minimum of 75 feet with a minimum of 20 feet for a yard which faces on an interior street. If the subject property abuts property zoned R-60, R-75, R-100, or property developed as same, the rear yard setback shall be 40 feet at the point of abutment.
- C. Side yards shall be a minimum of 20 feet to any exterior property line. Side yards between individual units, groups of units or rows of units shall be determined based upon individual site plan review.
- D. Densities shall not exceed 8 units per gross acre.
- E. A minimum of two off-street parking spaces per unit shall be provided.
- F. A minimum of a two-hour rated firewall shall be required between each attached dwelling unit. A four-hour rated firewall shall be required between every fourth attached dwelling unit. Firewalls shall be constructed in accordance with applicable building codes of Gwinnett County.
- G. The specific requirements set forth above are not necessarily exhaustive of all requirements or conditions which the Board of Commissioners may require prior to approval of any rezoning application under this district. This enactment specifically reserves, in the favor of the Board of Commissioners, the discretion to deny any individual rezoning application submitted hereunder, if after review of the site plan and other materials submitted therewith and a careful consideration of all of the facts and circumstances relating to the proposed development, the Board of Commissioners deems the proposed development not to be in the best interest of the health, safety and welfare of the present and future citizens of Gwinnett County.
- H. All roads, both interior and exterior, including roads dedicated and not dedicated to the County, must meet the minimum County standards as established by the County Engineer.

Section 5-90. MHS Manufactured Housing Subdivision District.

This zoning district is intended primarily for the placement of manufactured homes on residential lots for one-family residences and related uses.

5-90.1 Within the MHS Manufactured Subdivision District, the following uses are permitted:

- A. One family dwellings including mobile homes provided the following conditions are met:
 - I. Subdivision. The subdivision shall be designed to only allow lot frontage on minor interior streets and shall meet the requirements of a single family subdivision as specified in the Unified Development Ordinance. All other County regulations regarding the construction of a subdivision shall be followed.
 - 2. Size. The subdivision development shall have a minimum area of at least 20 contiguous acres.
 - 3. Minimum area, yard and height requirements. Each lot shall meet the minimum requirements of the R-I 00 Single Family Residence District.
 - 4. Enclosure of space beneath the home. The space underneath each manufactured home shall be fully enclosed to protect this space from the elements and to create an aesthetic appearance for each unit. Materials used for this purpose shall be rigidly mounted and shall be acceptable for exterior use.
 - 5. Tiedowns. Acceptable provisions for tiedowns for each home shall be made in accordance with State Guidelines.

- 6. Foundations. All piers shall be placed on footings of solid concrete not less than the following:
 - a. Single-wide 20 inches by 20 inches by 8 inches.
 - b. Double-wide 24 inches by 24 inches by 8 inches.
 - c. (Industrialized homes or site-built homes shall meet foundation requirements of the Standard Building Code adopted by Gwinnett County.
 - d. All other placement or construction criteria shall meet the building codes adopted by Gwinnett County.
- 7. Protective Covenants. All manufactured home subdivisions shall have protective covenants as provided for and approved within the Unified Development Ordinance and the requirements of this section.
- 8. Completion of site preparation. The developer shall be responsible for final site preparation with the exception of those items included in the approved covenants of the subdivision as the homeowners' responsibility.
 - a. Items which shall be required of the developer include, but are not limited to, the following:
 - i. Paving of driveways and parking from the curb line of streets to the actual home location site behind the setback line.
 - ii. Lawns shall be landscaped and seeded by the developer within a reasonable period of time (not to exceed 60 days) after the installation of the manufactured home taking into consideration weather changes and conditions.
 - iii. All trees shall remain on lots except as their removal is required for installation of driveways and the location of the home on each lot with a reasonable yard area.
 - iv. Only multi-sectional (double-wide) manufactured homes, industrialized homes or on site-built homes shall be allowed on any exterior lot of the subdivision, except where adjoining the MHS or MH zoning district.
 - Items which shall be required of the developer or lot owner include, but are not limited to, the following:
 - . A home location plan shall be submitted for approval by the Department of Planning and Development for each lot showing the exact location of the home, driveways, etc. in relation to the lot lines prior to the issuance of a permit for the installation of a home.
 - ii. Installation of the manufactured home, including tiedowns, skirting or similar enclosure, connection of utilities and other requirements concerning the installation of a home set-forth in this section and specified in the manufacturer's installation instructions.
 - iii. Entrances and service walkways.
 - iv. Exterior steps and porches.
 - c. The above listed items shall be set-forth within the Protective Covenants approved and recorded with the Final Plat of the subdivision which has been developed.
- 9. Certificate of Occupancy. A Certificate of Occupancy shall be issued prior to the occupancy of any home allowed within this section. No Certificate of Occupancy shall be issued for any home until the required improvements of Section 5-90.1.A.8 above, have been completed.
- 10. Eligibility. Only the following types of housing may be placed within an approved manufactured home subdivision:
 - a. New manufactured homes (mobile homes) certified to comply with the Federal Manufactured Home Construction and Safety Standards.
 - b. Industrialized homes and new site-built homes provided the home meets the minimum floor area requirements of the R-100 District.
- II. Buffers. A minimum of a 25 foot buffer shall be required adjacent to exterior property lines of the development to protect the subdivision from adverse visual, noise or other impact caused by surrounding land usages and to provide a buffer to any residential property immediately adjoining the site.
- B. Customary accessory buildings and uses.
- C. Customary home occupations.
- D. Existing cemeteries.
- E. Public buildings and land uses.
- F. Electric substations or gas regulator stations, if essential for service to this zoning district, provided:
 - 1. The structures are placed not less than 50 feet from any property line.
 - 2. The structures are enclosed by a woven wire fence at least 8 feet high.
 - 3. The lot is suitably landscaped, including a buffer strip at least 10 feet wide along the side and rear property lines, but not extending into the required front yard, planted with evergreen trees and shrubs that grow at least 8 feet tall and provide an effective visual screen.
 - 4. No vehicles or equipment are stored on the premises.

- 5-90.2
- Within the MHS Manufactured Home Subdivision District, the following uses may be permitted as a Special Use provided the applicant for such use is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and Planning Commission and after a public hearing.
- A. A beauty parlor or barber shop in a one-family residence.
- B. Group day care homes.

Duplex and Multi-Family Residence Districts.

The following districts (Sections 5-95, 5-100, 5-110, 5-120 and 5-130) are intended for duplex and multi-family dwellings. These zoning districts are to be located where public water supply and sewerage facilities are available or can be obtained and where there is convenient access to collector streets, major thoroughfares or state or interstate highways. The purpose of the following zoning districts is to promote better utilization of land and freedom of architectural and engineering design without maximizing density. On any tract of land zoned for RMD, RM-6, RM-8, RM-10, or RM the entire tract must be developed as the same type of use. No combinations of allowed uses are permitted on any one tract of land. Townhomes are not permitted in these districts.

Section 5-95. RM Multi-Family Residence District.

This zoning district is intended primarily for two-family and multi-family dwellings.

- 5-95.1 Within the RM Multi-Family Residence District (maximum density 13 units per acre), the following uses are permitted:
 - A. All uses permitted within the RM-10 Multi-Family Residence District, including special uses.
 - B. Boarding and rooming houses.
 - C. Fraternal organizations and clubs not operated for profit.
 - D. Retirement communities, which may include a nursing home, cafeteria and care facilities and accessory uses.
 - E. Residential and community shelters subject to the provisions of Rules for Shelters in Gwinnett County. If previously developed as a single-family residence detached development, a Special Use Permit shall be required.
- 5-95.2 Within the RM Multi-Family Residence District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and the Planning Commission after a public hearing:
 - A. Day Care Facilities

Section 5-100. RMD Multi-Family Residence District (Duplexes).

This zoning district is intended primarily for duplexes provided only one duplex is constructed on each lot of record.

- 5-100.1 Within the RMD Multi-Family Residence District (Duplexes), the following uses are permitted:
 - A. All uses permitted in the R-75 Single Family Residence District, including special uses, except single family dwellings, group day care homes, personal care homes, group homes, and the raising and keeping of livestock, and pot-bellied pigs.
 - B. Duplexes.

Section 5-110. RM-6 Multi-Family Residence District (Maximum Density 6 Units Per Acre).

This zoning district is intended primarily for multi-family dwellings with a maximum density of 6 units per acre.

- 5-110.1 Within the RM-6 Multi-Family Residence District (maximum density 6 units per acre) the following uses are permitted:
 - A. All uses permitted in the RMD Multi-Family Residence District (Duplexes).
 - B. Multi-family dwellings.
 - C. A quadraplex apartment development on individual subdivision lots (4 units per lot) provided the following conditions are met:
 - 1. Served by a waste water treatment facility.
 - 2. The minimum side yard setback shall be 15 feet on each side; all other setbacks shall apply as required in the Minimum Yard and Height Requirements Table.
- 5-110.2 Within the RM-6 Multi-Family Residence District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and Planning Commission and after a public hearing:
 - A. Residential or Community Shelters, subject to the provisions of Rules for Shelters in Gwinnett County.

Section 5-120. RM-8 Multi-Family Residence District (Maximum Density 8 Units Per Acre).

This zoning district is intended primarily for two-family and multi-family dwellings.

5-120.1 A. All uses permitted in the RM-6 Multi-Family Residence District, including special uses.

Section 5-130. RM-10 Multi-Family Residence District (Maximum Density 10 Units Per Acre).

This zoning district is intended primarily for two-family and multi-family dwellings.

- 5-130.1 Within the RM-10 Multi-Family Residence District (maximum density 10 units per acre), the following uses are permitted:
 - A. All uses permitted within the RM-8 Multi-Family Residence District, including special uses.
 - B. Residential and community shelters subject to the provisions of Rules for Shelters in Gwinnett County. If previously developed as a single-family residence detached development, a Special Use Permit shall be required.

Section 5-140. HS Hospital Service District.

The purpose of the HS Hospital Service District is to provide a location for a hospital and related facilities that serve the hospital or benefit from a location in close proximity to it.

- 5-140.1 Within the HS Hospital Service District the following uses are permitted.
 - A. All uses permitted in an R-100 Single Family Residence District, including Special Uses, except Single-Family Dwellings.
 - B. Hospitals, medical clinics, and doctor's offices.
 - C. Nursing homes.
 - D. Dormitories for staff.
 - E. Beauty parlors and barber shops.
 - F. Drug stores.
 - G. Florist shops.
 - H. Hotels and Motels provided the minimum standards are met as specified in the C-2 zoning district.

- Restaurants.
- J. Other similar hospital-related uses.
- K. Family personal care homes.
- 5-140.2 Within the HS Hospital Service District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and Planning Commission after a public hearing:
 - A. Group Homes.
 - B. Group or congregate personal care homes.
 - C. Residential and community shelters.

Section 5-150. NS Neighborhood Shopping District.

The NS Neighborhood Shopping District provides a location for convenience goods and services with limited hours of operation for people in nearby residential neighborhoods. Hours of commercial operation in this district shall be limited to between 7:00 a.m. and 9:00 p.m. All sales shall be indoors.

- 5-150.1 Within the NS Neighborhood Shopping District, the following uses are permitted provided that they do not exceed 3,000 square feet of retail selling space per individual store or 30,000 square feet in a planned center:
 - A. Professional offices.
 - B. Drug stores and pharmacies.
 - C. Flower and gift shops.
 - D. Food stores.
 - E. Beauty parlors and barber shops.
 - F. Other similar retail businesses selling convenience goods and services which serve the local neighborhood, but not including drive-in or drive-through service windows; fuel pumps; or coin or token-operated services.
- 5-150.2 Within the NS Neighborhood Shopping District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and Planning Commission and after a public hearing:
 - A. Restaurants.

Section 5-160. OBP Office-Business Park District.

This district is established to provide a location or offices, institutions, limited related business and service activities and limited industrial operations and processes in buildings of high character in attractive surroundings.

- 5-160.1 Within the OBP Office-Business Park Zoning District, a building or land may be used for the following purposes:
 - A. Professional and Business Offices.
 - B. Public Offices.
 - C. Cultural Facilities.
 - D. Clinics, Cafeterias and Employee credit unions for Employees Only.
 - E. Education and Training Facilities.

- F. Electronic Equipment Manufacturing and Assembly Plants that are not objectionable by reason of the emission of noise, vibration, smoke, dust, gas, fumes, odors or radiation and that do not create fire or explosion hazards and that do not require any outdoor storage.
- G. Printing, Publishing and Reproducing establishments that do not require any outdoor storage.
- H. Research, Testing and Laboratory Facilities including the Production of Prototype Products provided they are not objectionable by reason of emission of noise, vibration, smoke, dust, gas, fumes, odors or radiation and that do not create fire or explosion hazards and that do not require any outdoor storage.
- Wholesaling and Warehousing with Offices, provided that they do not require any outdoor storage, and provided that at least 40 percent of the use be office space.
- Similar Industries and Uses that meet the standards of Title 2 of this Unified Development Ordinance.
- K. Accessory Uses Such as Retail Business and Service Establishments. In addition to the limitations on "accessory use" imposed under Title I, Definitions, such permitted accessory uses specifically exclude retail business and service establishments that could be construed as principal uses and include only those uses that are primarily intended for and used by patrons or occupants of the principal use to which said establishment is accessory.
- L. Accessory Parking Garages and Parking Lots.
- Within the OBP Office-Business Park District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and the Planning Commission and after a public hearing.
- A. Day Care Facilities.

5-160.2

- B. Wholesaling and Warehousing with less than 40 percent of the floor area in offices, provided that no outdoor storage is required.
- C. Hotels and Motels provided the minimum standards are met as specified in the C-2 zoning district.
- D. Financial Services/Institutions.
- E. Restaurants, provided the following minimum standards are met:
 - The proposed site shall be located within a recorded concept plan or subdivision plat for a business or office park which:
 - a. Has an overall area of not less than 50 acres.
 - b. Has existing principal use structures already developed within the office/business park.
 - c. Has controls in place through protective covenants which will ensure building appearance and landscaping compatible with the remainder of the business or office park and which will ensure compliance with the requirements of this section.
 - 2. No more than 10 percent of the acreage within the recorded concept plan or subdivision plat for the business or office park may be occupied by uses requiring a Special Use Permit.
 - The proposed restaurant:
 - a. Shall have a minimum of 2,000 square feet of seating area excluding kitchen facilities.
 - b. Shall have sit-down waiter or waitress service.
 - c. Shall not have drive-thru or pick-up windows.
 - d. Shall not be adjacent to or across a public street from residentially zoned property.
 - 4. Restaurant appearance shall blend with campus-type office/warehouse development. Application must include landscape plan, building elevations, and signage plans.
- 5-160.3 All OBP Amendments to be Conditional Zoning Amendments.

All OBP Office-Business Park District Amendments to the Official Zoning Map shall be conditional amendments. In addition to any other conditions that may be imposed by the Board of Commissioners pursuant to the provision for conditional zoning in this Unified Development Ordinance, a concept plan showing the approximate location of all buildings, walls, fences, property lines, landscaping, parking areas, land uses and any other features deemed appropriate by the Board of Commissioners as a result of the above concept plan review and public hearing shall be included as part of the amendment, and the use of the property for its zoned purposes shall be conditioned to said concept plan.

5-160.4 Concept Plan Review.

The purpose of the site plan review is to encourage logic, imagination, innovation, and variety in the design process and ensure the soundness of the proposed development and its compatibility with the surrounding area. The Director of Planning and Development shall review plans for compliance with the zoning regulations and for compliance with concept plan review criteria. The recommendations of both the Director of Planning and Development and the Planning Commission shall be transmitted to the Board of Commissioners.

5-160.5 **Concept Plan.**

- A. The concept plan shall be prepared by design professionals such as planners, engineers, architects or landscape architects and shall be drawn in accordance with the following basic criteria:
 - I. Scale: Generally, I)inch equals 100 feet;
 - 2. Sheet Size: Generally 24 inches by 36 inches with appropriate match lines provided if more than one sheet is necessary;
 - 3. Vicinity Map: Drawn at a scale of not less than 1 inch equals 2,000 feet and showing adjoining roads, subdivisions and other landmarks;
 - 4. Existing Topography: Shown with a maximum contour interval of 20 feet;
 - 5. Boundary Survey: Shown and described by metes and bounds;
 - 6. Adjacent Properties: Names of adjacent property owners to be indicated on plan;
 - 7. Title Block: Indicating the name of the development, the owner, the developer, and the person or firm preparing the plan.

B. The Concept Plan shall include the following information:

- 1. A proposed land use plan for the site and including the acreage to be devoted to each land use category;
- 2. The proposed location of streets, bikeways, pedestrian ways, parking area, drainage and stormwater detention facilities, utilities, public facilities, parks, recreation areas, tree areas to be retained or added and other open spaces, and including notations as to existing or proposed dimensions, capacities and/or volumes;
- 3. Representative architectural sketches or renderings of typical proposed structures, signs, landscaping, screening and/or fencing;
- 4. Statistical or technical data as necessary to accurately describe the proposed development including, but not limited to, the following:
 - a. Total land area;
 - b. Amount of land to be used for public or semi-public uses;
 - c. Amount of land to be used for recreational or open space purposes;
 - d. Amount of land to be occupied by streets and parking areas;
 - e. Amount of any submerged land within the project boundary;
 - f. The total ground coverage and floor area of all buildings;
 - g. A breakdown of the number and kinds of proposed buildings, including square footage, and the number and range of lot sizes and proposed setback and yard dimensions for typical lots and/or building types.
- 5. As an attachment, a report setting forth the proposed development schedule, indicating the sequence of development of the various sections thereof, and the approximate time period required for completion of each phase;
- 6. As an attachment, an outline of the proposed methods for controlling and maintaining any common open space or community facilities;
- 7. Such other submissions/plans as may be required to evaluate the project.

Section 5-170. Mixed-Use Overlay (MUO) District.

5-170.1 **Purpose**.

The purpose of the Mixed-Use Overlay District is to promote new mixed-use development, or the redevelopment of existing properties in a manner that integrates commercial and/or office with residential land uses, promotes pedestrian accessibility among uses, reduces automobile trips, provides a livable environment for project residents, and enhances the value and aesthetics of the surrounding community. MUOs utilize connective streetscapes to promote an environment conducive to human activity through the provision of landscaping, street/shade trees, street furniture and sidewalks to unify and interconnect varying uses.

5-170.2 **Applicability.**

- A. The Mixed-Use Overlay District may only be implemented within specific geographic areas or developed corridors within unincorporated Gwinnett County as designated by the Board of Commissioners.
- B. The MUO District shall be restricted to the redevelopment of existing office, institutional, residential, commercial and/or industrial sites; or to undeveloped or partially developed properties as deemed desirable by the Board of Commissioners. Mixed-use Overlay sites should be located on major thoroughfares where infrastructure is available to support such a use.
- C. Existing conditions of zoning which apply to MUO properties shall remain in effect. Where such conditions conflict with any requirement of this Section, the more restrictive requirement shall take precedence. Notwithstanding the above, the Board of Commissioners may modify or dissolve pre-existing conditions of zoning upon official designation of the Overlay District.

5-170.3 Concept Plan (CPL) Required.

All MUO projects shall be governed by an approved Concept Plan. The Concept Plan shall be submitted, reviewed and approved in accordance with applicable Title 2 and Title 3 Unified Development Ordinance requirements. Upon approval of the Concept Plan, individual pods of the project may be undertaken through the Development Permit and Subdivision Platting process contained in Title 3 of this Unified Development Ordinance. MUO projects may be constructed as a single phase, or may be constructed in multiple phases, in accordance with the approved Concept Plan. Notwithstanding the forgoing, the Board of Commissioners may require the Concept Plan to be submitted to the Board of Commissioners for review and approval. Such requirement for the Board of Commissioners review shall be established at the time the Overlay District is designated.

- 5-170.4 Density, Building Height, and Minimum Project Size.
 - A. Residential density shall be based upon gross project acreage, and may be developed up to a maximum of 32 units per acre. Maximum building height shall be governed by the underlying zoning district. The Board of Commissioners may reduce maximum project density and/or establish increased building heights on a case-by-case basis at the time an Overlay District is established.
 - B. MUO projects shall contain a minimum of 10 contiguous acres of land area; except that expansion of an existing or approved MUO project may contain less land area. Residential uses may occupy no more than 70 percent of the gross site acreage (exclusive of required common area).

5-170.5 **Development Requirements.**

A. Single-Family Detached on Individual Lots:

Minimum lot area: No minimum, except that each building envelope shall contain at least 1,000 square feet outside the 100-year floodplain elevation.

- 1. Minimum lot width: The minimum lot width of all building lots shall be at least 40 feet.
- 2. Minimum Road Frontage per lot: 40 feet. Exception: Road frontage may be reduced to 20 feet for lots with frontage upon cul-de-sac turnarounds or "eyebrow" cul-de-sacs.
- 3. Minimum front yard (from streets interior to the development): 5 feet.
- 4. Minimum side yard:
 - a. 5 feet per side (single-family detached); or
 - b. 10 ft. one side/0 ft. opposite side (zero lot-line).
 - c. Note: (zero lot-line will require 8-foot access/maintenance easement on the adjoining lot.)
- 5. Minimum rear yard: 5 feet.
- 6. Where adjacent to a required buffer, the minimum required side or rear yard setback(s) shall increase an additional 5-feet for every 10-foot incremental increase in building height above 35-feet.
- 7. Sodded yards: All grassed areas shall be sodded.
- 8. Minimum Garage Required: Two-car garage.
- 9. The required garage and off-street parking must be located to the rear of at least 50 percent of all dwelling units. Where garages are front entry, the garage façade shall be recessed a minimum of 4 additional feet from the building line.
- 10. All new or relocated utilities shall be placed underground.

B. Single-Family Attached on Individual Lots:

- I. Minimum lot area: None.
- 2. Minimum lot width: 18 feet.
- 3. Minimum Road Frontage per lot: 0 feet.
- 4. Minimum front yard (from streets interior to the development): 0 feet.
- 5. Minimum side yard: 5 feet on non-attached side.
- 6. Minimum rear yard: 5 feet.
- 7. Where adjacent to a required buffer, the minimum required side or rear yard setback(s) shall increase an additional 5-feet for every 10-foot incremental increase in building height above 35-feet.
- 8. Sodded yards: All grassed areas shall be sodded.
- 9. Minimum garage required: One-car garage.
- 10. The required garage and off-street parking must be located to the rear of at least 50 percent of all dwelling units.
- 11. Firewalls: A minimum of a two-hour rated firewall shall be required between each attached dwelling unit. A four-hour rated firewall shall be required between every fourth attached dwelling unit. Firewalls shall be constructed in accordance with applicable building codes of Gwinnett County.
- 12. All new or relocated utilities shall be placed underground.

C. Residential/Business Dwellings:

- I. Minimum lot area: None.
- 2. Minimum unit width: 18 feet.
- 3. Minimum Road Frontage per lot: 0 feet.
- 4. Minimum front yard (from streets interior to the development): 0 feet.
- 5. Minimum side yard: 0 feet on non-attached side.
- 6. Minimum rear yard: 0 feet.
- 7. Where adjacent to a required buffer, the minimum required side or rear yard setback(s) shall increase an additional 5-feet for every 10-foot incremental increase in building height above 35-feet.
- 8. Sodded yards: All grassed areas shall be sodded.
- 9. Minimum garage required: One-car garage.
- 10. The required garage and off-street parking must be located to the rear of at least 50 percent of all dwelling units.
- 11. The businesses shall have direct entry from the street frontage sidewalk.
- 12. All new or relocated utilities shall be placed underground.
- 13. Dumpsters must be screened on all sides by a minimum six-foot high brick or masonry wall with access via an opaque metal gate.

D. Multifamily Residences:

- I. Minimum lot area: None.
- 2. Minimum lot width: None.
- 3. Minimum Road Frontage: 40 feet.
- 4. Minimum front yard: 0 feet.
- 5. Maximum front yard: 15 feet, except when common area is provided between the street and building.
- 6. Minimum side yard: 0 feet.
- 7. Minimum rear yard: 0 feet.
- 8. Where adjacent to a required buffer, the minimum required side or rear yard setback(s) shall increase an additional 5-feet for every 10-foot incremental increase in building height above 35-feet.
- 9. Minimum building height: 2 floors/stories.
- 10. Sodded yards: All grassed areas shall be sodded.
- 11. Parking shall be provided in designated lots/decks subject to review and approval of the Director of Planning and Development.
- 12. All new or relocated utilities shall be placed underground.
- 13. Dumpsters must be screened on all sides by a minimum 6-foot high brick or masonry wall with access via an opaque metal gate.

Commercial/Office/Residences:

- I. Minimum lot area: None.
- 2. Minimum lot width: None.
- 3. Minimum Road Frontage: 40 feet.
- 4. Minimum front yard: 0 feet.
- 5. Maximum front yard: 15 feet except when common area is provided between the street and building.

- 6. Minimum side yard: 0 feet.
- 7. Minimum rear yard: 0 feet.
- 8. Where adjacent to a required buffer, the minimum required side or rear yard setback(s) shall increase an additional 5-feet for every 10-foot incremental increase in building height above 35-feet.
- 9. Sodded yards: All grassed areas shall be sodded.
- 10. Dwellings may be constructed on floors/stories above first floor non-residential uses.
- 11. All new or relocated utilities shall be placed underground.
- 12. Dumpsters must be screened on all sides by a minimum 6-foot high brick or masonry wall with access via an opaque metal gate.

5-170.6 **Common Area.**

A. Common area shall be provided according to the following standards:

- 1. At least twenty percent (20 percent) of the gross project acreage (excluding 100-year floodplain and wetland areas) shall be designated on a recorded plat as permanent common area for the use of the residents and visitors to the development.
- 2. Sidewalks and associated amenities may be credited toward common area calculations, if the sidewalk is constructed at a width of 8-feet or greater and the streetscape is enhanced with decorative, commercial quality street furniture, fountains, planters, public seating and/or similar improvements (subject to review of streetscape design by the Department of Planning and Development).
- 3. Landscaped strips along internal or external streets may be credited toward common area calculations, if the landscaped strip is constructed at a continuous width of 25-feet or greater.
- 4. Wetland and floodplain areas shall be preserved in their natural state except for the installation of required detention facilities and stormwater BMP's.
- 5. Stormwater facilities may be located within common area, if designed and improved as an amenity, subject to review and approval of the Director of Planning and Development.
- 6. Common areas shall be distributed throughout the project to provide linkages, amenities and visual appeal for the development. Final common area design shall include provision of at least one centrally located public gathering area (with related amenities and improvements) in the form of a town green, amphitheater, landscaped plaza, or similar approved element.

B. Common Area Ownership.

Common areas, stormwater facilities, floodplain and wetland areas shall be owned in fee-simple by a mandatory property owner's association or approved entity which administers a reciprocal access and maintenance agreement for the project; or other entity approved in advance by the Board of Commissioners during the normal course of business. The developer shall record the deed to the common area prior to, or concurrent with, the recording of the first final subdivision plat or certificate of occupancy. An access easement following the alignment of future public streets is acceptable. However, "pocket parks" or "greens" may be deeded concurrent with the unit or phase of the final subdivision plat of which it is a part.

C. Property Owner's Association.

The property owner's association bylaws or covenants, at a minimum, shall contain the following provisions:

- 1. Governance of the association by the Georgia *Property Owner's Association Act* (OCGA Section 44-3-220 et seq.) or a successor to that Act that grants lien rights to the association for maintenance expenses and tax obligations.
- 2. Responsibility for maintenance of common areas.
- 3. Responsibility for insurance and taxes.
- 4. Automatic compulsory membership of all property owners and subsequent lot purchasers and their successors; and compulsory assessments.
- 5. Conditions and timing of transferring control of the association from the developer to the property owners.
- 6. Guarantee that the association will not be dissolved without the advance approval of the Board of Commissioners.
- 7. Restrict the time of deliveries to commercial businesses and dumpster pick-up to between 7:00am and 9:00pm.

D. Maintenance.

The property owner's association, or other entity approved in advance by the Board of Commissioners, shall be responsible for the continuous maintenance of buffers, common areas and recreation areas.

5-170.7 **Buffer and Landscaping Requirements.**

- A. A naturally vegetated, undisturbed buffer, replanted where sparsely vegetated and supplemented by an eight-foot (8') high solid opaque wall or fence along the interior of the buffer, shall be provided adjacent to external residential properties. Where adjacent properties are zoned or developed for single-family residential uses a buffer of 75-feet in width shall be provided, and where adjacent properties are zoned or developed for fee-simple townhouse/condominium uses a buffer of 50-feet in width shall be provided. These minimum buffer widths may be adjusted by the Board of Commissioner at the time an Overlay District is established. Buffers shall not be required adjacent to adjoining property zoned for or developed as office, institutional, commercial, industrial or multifamily uses.
- B. The development shall comply with the requirements of Chapter 610 of this Unified Development Ordinance with the following exceptions:
 - 1. Buffers shall not be required between nonresidential uses and residential uses internal to the mixed-use development.
 - 2. The 10 foot wide landscape strip shall only be required on external roadways, and planted with approved understory trees.
 - 3. All required parking lot trees shall be native straight-trunked hardwood shade trees.
 - 4. Mixed-Use Overlay projects shall provide, at a minimum, 20 Tree Density Units per acre for the entire development.
 - 5. Street trees shall be required along both sides of all internal and external streets spaced every 50 feet on center.
 - 6. Each tree shall be a minimum 4-inch caliper (dbh) at time of planting and shall be a native straight-trunked hardwood shade tree species or similar tree suitable to this region.
 - 7. Above ground planters may not be used to fulfill tree planting or tree density requirements.

5-170.8 **Parking.**

Parking for single-family detached or attached uses shall be on a per lot basis. Parking for both multifamily and non-residential uses may be provided through a combination of on-street parking and off-street parking in surface parking lots and above and/or below ground parking structures.

- A. Parking spaces shall be as required by Chapter 240 of this Unified Development Ordinance.
- B. Parking for non-residential or multifamily uses may be granted a 20 percent reduction in required parking when parking is shared between adjacent uses within the project. An additional 10 percent reduction may be administratively approved by the Director. Final parking design plans shall be subject to review and approval of the Development Division.
- C. Up to 50 percent of multifamily and non-residential parking may be provided by on-street parking spaces internal to the development. Designated on-street parking spaces shall not be allowed on external streets.
- D. Parking structures must be designed so that the only openings at street level are those to accommodate vehicle entrances and pedestrian access to the structure, as follows:
 - I. Any openings for ventilation, service or emergency access located on the first floor level in the building façade must be decorative and must be an integral part of the overall building design.
 - 2. The balance of the street frontage of a parking structure must be either occupied retail/office space or designed to screen the parking areas utilizing decorative elements such as grill-work, brick, louvers, or a vegetative screen.
 - 3. Deck floors located above the first floor level of a parking structure must be screened from view from the street utilizing decorative elements such as grill-work, brick or louvers (minimum 42 inches in height). In no instance will cabling alone be sufficient to meet this screening requirement.
- E. Off-street parking areas shall be screened from adjacent roadways and sidewalks by an opaque decorative fence or wall, berm or vegetative screen at least 30-inches in height. Fence or wall shall be of similar design and materials to the surrounding buildings. Screening shall be installed between the parking area and the sidewalks. Perpendicular driveway crossings and pedestrian paths are allowed through the screening.

5-170.9 **Signage.**

A Unified Signage Plan, submitted for approval by the Director, shall govern all signage within the development. Signs and the amount of signage shall be subject to the requirements of the Sign Ordinance with the following exceptions:

- A. Oversized signs shall be prohibited.
- B. Ground signs shall be limited to monument-type signs. Base and sign structure shall be constructed of materials such as brick, stone, stucco, wood or metal consistent with the architecture and exterior treatment of the building.
- C. Blinking, exposed neon, portable, inflatable and temporary signage shall be prohibited.
- D. Internally illuminated wall signs may not be located within 150-feet of adjacent property developed for single-family residential uses.

5-170.10 Street/Pedestrian Lighting and Street Furniture.

- A. Streetlights utilizing decorative fixtures and poles shall be provided along all internal streets and along all public rights-of-way. Streetlights shall be staggered, 150 feet on center, along both sides of the street. Pedestrian scale lighting shall be provided every 50 feet along both sides of the street. The lamps of streetlights shall be directed down and capped. Pedestrian lighting shall utilize fixtures designed to accommodate a shielding plate.
- B. Decorative, commercial-quality bike racks, benches, and trash receptacles shall be provided throughout the development in accordance with the approved pedestrian access plan.

5-170.11 **Architectural Design.**

Architectural design of all buildings shall comply with the following:

- A. For single-family detached residences: front facades shall have architectural treatments of brick, stone, stucco or wood shake. The balance of each elevation may be wood, wood shake or fiber-cement siding.
- B. For attached townhouses and residential/business dwellings: front facades shall have architectural treatments of brick, stone or stucco. The balance of each elevation may be wood, wood shake or fiber-cement siding.
- C. For multifamily residential buildings: architectural treatments of each building elevation shall be a minimum 50 percent brick, stone or stucco. The balance of each elevation may be wood, wood shake, or fiber-cement siding.
- D. For non-residential and mixed use buildings: architectural treatments shall be of glass and/or brick, stone or stucco. Tilt-up or pre-cast concrete, wood, wood shake, fiber-cement siding or architectural metal may be used subject to review and approval of the Director of Planning and Development.

E. Additionally:

- I. In order to encourage and complement street level pedestrian activity, the street level façade of non-residential buildings facing public or private streets shall incorporate varying edifice details such as trellises, windows or recessed panels suggestive of windows, door or colonnade openings, or storefronts every 20 to 30 linear feet.
- 2. Contrasting accent colors of any wall, awning or other feature (other than a neutral color) shall be limited to no more than 15 percent of the total area for any single facade.
- 3. Metal or portable buildings shall be prohibited.
- 4. Buildings shall incorporate live plant material growing immediately in front of or on the building.
- 5. Non-residential buildings of less than 5,000 square feet of gross floor area shall be designed with pitched roofs, minimum pitch of 4:12. Portions of the roof structure may be flat to accommodate vents, mechanical systems or similar appurtenances, if the adequately screened subject to review and approval of the Director.
- 6. Roofing materials for pitched or mansard roofs shall be limited to the following:
 - a. Metal standing seam of red, green or silver in color.
 - b. Tile, slate or stone.
 - c. Wood shake.
 - d. Architectural shingles with a slate, tile or metal appearance.
- 7. Parapets of flat roofed buildings shall be articulated to provide visual diversity. Parapets shall include articulations or architectural features at least every 100 linear feet. The minimum height of articulations or features shall be one foot, and may be provided in height offset or facade projections such as porticoes or towers. The rear of parapet articulations visible from street level view (within 300 feet) shall be finished to match the exterior architectural treatment.
- 8. Design of flat-roofed buildings shall include minimum one-foot deep cornices, extending along the entire front of the building and the sides of the building for a depth of at least ten feet.
- 9. Building design shall include a minimum one-foot high contrasting base, extending along the entire front of buildings and the sides of buildings for a depth of at least ten feet.
- 10. All mechanical, HVAC and like systems shall be screened from street level view (within 300 feet) on all sides by an opaque wall or fence of brick, stucco, split-faced block or wood.
- 11. Accessories provided such as railings, benches, trash receptacles and/or bicycle racks shall be of commercial quality, and complement the building design and style.
- F. Building plans shall be subject to review and approval of the Director of Planning and Development, or his/her designee, prior to the issuance of a Building Permit. Designs which are inconsistent with these performance guidelines may be denied. Alternate designs which have been denied by the Director may be submitted for review and approval of the Board of Commissioners.

Section 5-180. Mixed-Use Development (MUD) District.

5-180.1 **Purpose.**

The purpose of the Mixed-Use Development District is to promote the development of properties in a manner that integrates commercial and/or office with residential land uses, promotes pedestrian accessibility among uses, reduces automobile trips, provides a livable environment for project residents, and enhances the value and aesthetics of the surrounding community. MUD's utilize connective streetscapes to promote an environment conducive to human activity through the provision of landscaping, street/shade trees, street furniture and sidewalks to unify and interconnect varying uses.

5-180.2 **Applicability.**

- A. A Mixed-Use Development may only be permitted within a Major Activity Center as designated in the Gwinnett County Comprehensive Plan, on tracts of land or assemblages of land located adjacent to or having immediate access to major thoroughfares where infrastructure is available to support the intensity of such a use.
- B. Application for such a development is contingent upon being granted rezoning approval by the Board of Commissioners after receiving a recommendation from the Director of Planning and Development and pursuant to public hearings before the Planning Commission and the Board of Commissioners.
- C. Applications for rezoning not located within a Major Activity Center shall not be accepted for processing by the Department of Planning and Development.

5-180.3 Rezoning Site Plan Requirements and Design Criteria.

- A. All MUD projects shall be governed by an approved Concept Plan.
- B. Plan. The Concept Plan shall be submitted, reviewed and approved in accordance with applicable Title 2 and Title 3 Unified Development Ordinance requirements. Upon approval of the Concept Plan, individual pods of the development project may be undertaken through the Development Permit and Subdivision Platting process contained in Title 3 of this Unified Development Ordinance. MUD projects may be constructed as a single phase, or may be constructed in multiple phases, in accordance with the approved Concept Plan.
- C. Notwithstanding the forgoing, the Board of Commissioners may require the Concept Plan to be submitted to the Board of Commissioners for review and approval. Such requirements shall be established at the time of the rezoning.

5-180.4 **Required Exhibits.**

As part of the application for rezoning, the following exhibits shall be prepared by design professionals, such as planners, engineers, architects or landscape architects and submitted to the Department of Planning and Development. No application for a Mixed-use Development shall be accepted for processing without these required exhibits.

- A. A location map indicating the existing zoning on the site and the adjacent areas and the boundary of the Major Activity Center within which it is located.
- B. A Concept plan drawn no smaller than one inch equals 100 feet showing the proposed mix of uses, pods and phases of development, and including the following information:
 - 1. Lot lines and setbacks;
 - 2. Location, shape, size and height of proposed buildings, common areas, plazas, and other amenities;
 - 3. Lakes, ponds and floodplains and the source of floodplain data;
 - 4. Stormwater detention areas;
 - 5. Proposed landscaping;
 - 6. Recreation facilities (if applicable);
 - 7. Location of off-street parking.
- C. A design palette governing, pedestrian amenities, and building architecture.
- D. Architectural elevations of proposed buildings, indicating exterior treatments.

E. Information indicating the following:

- 1. Gross and net acreage, and density (see definition of density);
- 2. Lot sizes, if applicable (dimensions and square footage);
- 3. Building heights and stories;
- 4. Amount of common open space in square feet;
- 5. Tree areas to be retained and street trees and landscape features to be added;
- 6. Such other architectural and engineering data as may be required to evaluate the project.

5-180.5 **Density, Building Height, and Minimum Project Size.**

- A. Residential density shall be based upon gross project acreage, and may be developed up to a maximum of 32 units per acre. Maximum building height shall be limited to a maximum of 25 stories, not to exceed 300 feet. The Board of Commissioners may reduce maximum project density and building height on a case-by-case basis at the time of rezoning. The Board of Commissioners shall establish maximum project density on a case-by-case basis at the time of rezoning. The Board of Commissioners may increase maximum building height on a case-by-case basis by Special Use Permit.
- B. MUD projects shall contain a minimum of 5 contiguous acres of land area; except that expansion of an existing or approved MUD project may contain less land area. Residential uses may occupy no more than 70 percent of the gross site acreage (exclusive of required common area).

5-180.6 **Permitted Uses and Structures.**

MUD projects shall incorporate residential uses with office and/or commercial uses and shared common area(s). Residential uses may include single-family detached, single-family attached, multifamily, and residential/business dwellings.

A. MUD requires the mixing of uses horizontally and/or vertically as specified below.

- I. Single-Family Detached Pods (Individual Lots)
 - a. Single-Family Detached Dwellings, except Manufactured Homes.
 - b. Zero Lot Line Single-Family Detached Dwellings.
- 2. Single-Family Attached Pods.
 - a. Townhouses or villas.
- 3. Residential/Business Dwelling Pods
 - a. Residential/Business Dwellings. Business activities shall be limited to those allowed within the C-I or O-I zoning district provided:
 - i. Only one business may be operated from the residence.
 - ii. No more than 50 percent of the dwelling unit may be used for conducting the business.
- 4. Multifamily Residence Pods
 - a. Multifamily Dwellings, Lofts, Condominiums.
- 5. Commercial/Office/Residential Pods
 - a. All uses permitted in the O-I, Office-Institutional District.
 - b. All uses permitted in the C-I, Neighborhood Business District.
 - c. All uses permitted in the C-2, General Business District, including temporary uses. Recovered Materials Processing, Yard Trimmings Composting, and Adult Establishments are not permitted.
 - d. Mixed-Use Commercial/Office Buildings, which also include Multifamily Dwellings, Lofts or Condominiums.
 - e. Residential/Business Dwellings.

5-180.7 **Design Criteria.**

A. Single-Family Detached on Individual Lots:

- 1. Minimum lot area: No minimum, except that each building envelope shall contain at least 1,000 square feet outside the 100-year floodplain elevation.
- 2. Minimum lot width: The minimum lot width of all building lots shall be at least 40 feet.
- 3. Minimum Road Frontage per lot: 40 feet. Exception: Road frontage may be reduced to 20 feet for lots with frontage upon cul-de-sac turnarounds or "eyebrow" cul-de-sacs.
- 4. Minimum front yard (from streets interior to the development): 5 feet.
- 5. Minimum side yard:
 - a. 5 feet per side (single-family detached); or
 - b. 10 feet one side/0 feet opposite side (zero lot-line).

 Note: (zero lot-line will require 8-foot access/ maintenance easement on the adjoining lot.)
- 6. Minimum rear yard: 5 feet.
- 7. Enhanced setbacks, office, or lower intensity uses shall be used as transitions to single-family neighborhoods or single-family zoning districts.

- 8. Sodded yards: All grassed areas shall be sodded.
- 9. Minimum Garage Required: Two-car garage.
- 10. The required garage and off-street parking must be located to the rear of at least 50 percent of all dwelling units. Where garages are front entry, the garage façade shall be recessed a minimum of 4 additional feet from the building line.
- 11. All new or relocated utilities shall be placed underground.

B. Attached Townhomes or Villas:

- I. Minimum lot area: None
- 2. Minimum lot width: None.
- 3. Minimum Road Frontage per lot: 0 feet.
- 4. Minimum front yard (from streets interior to the development): 0 feet.
- 5. Minimum side yard: None.
- 6. Minimum rear yard: None.
- 7. Enhanced setbacks, office, or lower intensity uses shall be used as transitions to single-family neighborhoods or single-family zoning districts.
- 8. Sodded yards: All grassed areas shall be sodded.
- 9. Minimum garage required:
 - a. Townhomes: One-car garage
 - b. Villas: Two-car garage
- 10. The required garage and off-street parking for townhomes must be located to the rear of at least 50 percent of all dwelling units.
- 11. Firewalls: A minimum of a two-hour rated firewall shall be required between each attached dwelling unit. A four-hour rated firewall shall be required between every fourth attached dwelling unit. Firewalls shall be constructed in accordance with applicable building codes of Gwinnett County.
- 12. All new or relocated utilities shall be placed underground.

C. Residential/Business Dwellings:

- I. Minimum lot area: None.
- 2. Minimum unit width: None.
- 3. Minimum Road Frontage per lot: 0 feet.
- 4. Minimum front yard (from streets interior to the development): 0 feet.
- 5. Minimum side yard: 0 feet.
- 6. Minimum rear yard: 0 feet.
- 7. Enhanced setbacks, office, or lower intensity uses shall be used as transitions to single-family neighborhoods or single-family zoning districts.
- 8. Sodded yards: All grassed areas shall be sodded.
- 9. Minimum garage required: One-car garage.
- 10. The required garage and off-street parking must be located to the rear of at least 50 percent of all dwelling units.
- 11. The businesses shall have direct entry from the street frontage sidewalk.
- 12. All new or relocated utilities shall be placed underground.
- 13. Dumpsters must be screened on all sides by a minimum 6-foot high brick or masonry wall with access via an opaque metal gate.

D. Multifamily Residences:

- I. Minimum lot area: None.
- 2. Minimum lot width: None.
- 3. Minimum Road Frontage: 40 feet.
- 4. Minimum front yard: 0 feet.
- 5. Maximum front yard: 15 feet, except when common area is provided between the street and building.
- 6. Minimum side yard: 0 feet.
- 7. Minimum rear yard: 0 feet.
- 8. Enhanced setbacks, office, or lower intensity uses shall be used as transitions to single-family neighborhoods or single-family zoning districts.
- 9. Minimum building height: 2 floors/stories.
- 10. Sodded yards: All grassed areas shall be sodded.
- 11. Parking shall be provided in designated lots/decks subject to review and approval of the Director of Planning and Development.

- 12. All new or relocated utilities shall be placed underground.
- 13. Dumpsters must be screened on all sides by a minimum 6-foot high brick or masonry wall with access via an opaque metal gate.

E. Commercial/Office/Residences:

- 14. Minimum lot area: None.
- 15. Minimum lot width: None.
- 16. Minimum Road Frontage: 40 feet.
- 17. Minimum front yard: 0 feet.
- 18. Maximum front yard: 15 feet except when common area is provided between the street and building.
- 19. Minimum side yard: 0 feet.
- 20. Minimum rear yard: 0 feet.
- 21. Enhanced setbacks, office, or lower intensity uses shall be used as transitions to single-family neighborhoods or single-family zoning districts.
- 22. Sodded yards: All grassed areas shall be sodded.
- 23. Dwellings may be constructed on floors/stories above first floor non-residential uses.
- 24. All new or relocated utilities shall be placed underground.
- 25. Dumpsters must be screened on all sides by a minimum 6-foot high brick or masonry wall with access via an opaque metal gate.

5-180.8 **Common Area.**

Common area shall be provided according to the following standards:

- A. At least 20 percent of the gross project acreage (excluding 100-year floodplain and wetland areas) shall be designated on a recorded plat as permanent common area for the use of the residents and visitors to the development.
- B. Sidewalks and associated amenities may be credited toward common area calculations, if the sidewalk is constructed at a width of 8-feet or greater and the streetscape is enhanced with decorative, commercial quality street furniture, fountains, planters, public seating, amenities within the project that encourage pedestrian connectivity between uses such as plazas, arcades, greenways and/or similar improvements that are clearly intended as gathering spaces or that act as connectors to adjacent buildings or uses may be counted toward the twenty percent common area requirement (subject to review of streetscape design or other required submittals by the Department of Planning and Development).
- C. Landscaped strips along internal or external streets may be credited toward common area calculations if the landscaped strip is constructed at a continuous width of 25 feet or greater.
- D. Offsite sidewalks, greenways, bike trails, and similar improvements providing inter-parcel access along with associated landscape strips constructed as part of the Mixed-use development may be counted toward the twenty percent common area requirement subject to the filing of appropriate reciprocal access agreements between property owners.
- E. Wetland and floodplain areas shall be preserved in their natural state except for the installation of required detention facilities and stormwater BMP's. However, these areas do not count toward the common area requirement.
- F. Stormwater facilities may be located within common area, if designed and improved as an amenity, subject to review and approval of the Director of Planning and Development.
- G. Common areas shall be distributed throughout the project to provide linkages, amenities and visual appeal for the development. Final common area design shall include provision of at least one centrally located public gathering area (with related amenities and improvements) in the form of a town green, amphitheater, landscaped plaza, or similar approved element.

H. Common Area Ownership.

Common areas, stormwater facilities, floodplain and wetland areas shall be owned in fee-simple by a mandatory property owner's association or approved entity which administers a reciprocal access and maintenance agreement for the project; or other entity approved in advance by the Board of Commissioners during their normal course of business. The developer shall record the deed to the common area prior to, or concurrent with, the recording of the first final subdivision plat or certificate of occupancy. An access easement following the alignment of future public streets is acceptable. However, "pocket parks" or "greens" may be deeded concurrent with the unit or phase of the final subdivision plat of which it is a part.

I. Property Owner's Association.

The property owner's association bylaws or covenants, at a minimum, shall contain the following provisions:

- 1. Governance of the association by the Georgia *Property Owner's Association Act* (OCGA Section 44-3-220 et seq.) or a successor to that Act that grants lien rights to the association for maintenance expenses and tax obligations.
- 2. Responsibility for maintenance of common areas.
- 3. Responsibility for insurance and taxes.
- 4. Automatic compulsory membership of all property owners and subsequent lot purchasers and their successors; and compulsory assessments.
- 5. Conditions and timing of transferring control of the association from the developer to the property owners.
- 6. Guarantee that the association will not be dissolved without the advance approval of the Board of Commissioners.
- 7. Restrict the time of deliveries to commercial businesses and dumpster pick-up to between 7:00am and 9:00 pm.

J. Maintenance.

The property owner's association, or other entity approved in advance by the Board of Commissioners, shall be responsible for the continuous maintenance of buffers, common areas and recreation areas.

5-180.9 **Buffer and Landscaping Requirements.**

- A. A naturally vegetated, undisturbed buffer, replanted where sparsely vegetated and supplemented by an 8-foot high solid opaque wall or fence along the interior of the buffer, shall be provided adjacent to external residential properties. Where adjacent properties are zoned or developed for single-family residential uses a buffer of 75-feet in width shall be provided, and where adjacent properties are zoned or developed for fee-simple townhouse/condominium uses a buffer of 50-feet in width shall be provided. These minimum buffer widths may be adjusted by the Board of Commissioners at the time of rezoning. Buffers shall not be required adjacent to adjoining property zoned for or developed as office, institutional, commercial, industrial or multifamily uses.
- B. The development shall comply with the requirements of Chapter 610 of this Unified Development Ordinance with the following exceptions:
 - 1. Buffers shall not be required between nonresidential uses and residential uses internal to the mixed-use development.
 - 2. The 10 foot wide landscape strip shall only be required on external roadways, and planted with approved understory trees.
 - 3. All required parking lot trees shall be native straight-trunked hardwood shade trees.
 - 4. Each phase or Pod within the Mixed-Use District shall provide, at a minimum, 20 Tree Density Units per acre for the entire development.
 - 5. Street trees shall be required along both sides of all internal and external streets spaced every 50 feet on center. Each tree shall be a minimum 4-inch caliper (dbh) at time of planting and shall be a native straight-trunked hardwood shade tree species or similar tree suitable to this region.
- C. Above ground planters may not be used to fulfill tree planting or tree density requirements.

5-180.10 Parking Structures.

- A. Parking structures must be designed so that the only openings at street level are those to accommodate vehicle entrances and pedestrian access to the structure, as follows:
 - 1. Any openings for ventilation, service or emergency access located on the first floor level in the building façade must be decorative and must be an integral part of the overall building design.
 - 2. The balance of the street frontage of a parking structure must be either occupied retail/office space or designed to screen the parking areas utilizing decorative elements such as grill-work, brick, louvers, or a vegetative screen.
 - 3. Deck floors located above the first floor level of a parking structure must be screened from view from the street utilizing decorative elements such as grill-work, brick or louvers (minimum 42 inches in height). In no instance will cabling alone be sufficient to meet this screening requirement.
- B. Off-street parking areas shall be screened from adjacent roadways and sidewalks by an opaque decorative fence or wall, berm or vegetative screen at least 30-inches in height. Fence or wall shall be of similar design and materials to the surrounding buildings. Screening shall be installed between the parking area and the sidewalks. Perpendicular driveway crossings and pedestrian paths are allowed through the screening.

5-180.11 **Signage.**

A Unified Signage Plan, submitted for the Director's approval, shall govern all signage within the development. Signs and the amount of signage shall be subject to the requirements of the Sign Ordinance with the following exceptions:

- A. Oversized signs shall be prohibited.
- B. Ground signs shall be limited to monument-type signs. Base and sign structure shall be constructed of materials such as brick, stone, stucco, wood or metal consistent with the architecture and exterior treatment of the building.
- C. Blinking, exposed neon, portable, inflatable and temporary signage shall be prohibited.
- D. Internally illuminated wall signs may not be located within 150-feet of adjacent property developed for single-family residential uses.

5-180.12 **Street/Pedestrian Lighting and Street Furniture.**

- A. Streetlights utilizing decorative fixtures and poles shall be provided along all internal streets and along all public rights-of-way. Streetlights shall be staggered, 150 feet on center, along both sides of the street. Pedestrian scale lighting shall be provided every 50 feet along both sides of the street. The lamps of streetlights shall be directed down and capped. Pedestrian lighting shall utilize fixtures designed to accommodate a shielding plate.
- B. Decorative, commercial-quality bike racks, benches, and trash receptacles shall be provided throughout the development in accordance with the approved pedestrian access plan.

5-180.13 **Architectural Design.**

Architectural design of all buildings shall comply with the following:

- A. For single-family detached residences: front facades shall have architectural treatments of brick, stone, stucco or wood shake. The balance of each elevation may be wood, wood shake or fiber-cement siding.
- B. For attached townhouses, villas and residential/business dwellings: front facades shall have architectural treatments of brick, stone or stucco. The balance of each elevation may be wood, wood shake or fiber-cement siding.
- C. For multifamily residential buildings: architectural treatments of each building elevation shall be a minimum 50 percent brick, stone or stucco. The balance of each elevation may be wood, wood shake, or fiber-cement siding.
- D. For non-residential and Mixed-use buildings: architectural treatments shall be of glass and/or brick, stone or stucco. Tilt-up or pre-cast concrete, wood, wood shake, fiber-cement siding or architectural metal may be used subject to review and approval of the Director of Planning and Development. Additionally:
 - 1. In order to encourage and complement street level pedestrian activity, the street level façade of non-residential buildings facing public or private streets shall incorporate varying edifice details such as trellises, windows or recessed panels suggestive of windows, door or colonnade openings, or storefronts every 20 to 30 linear feet.
 - 2. Contrasting accent colors of any wall, awning or other feature (other than a neutral color) shall be limited to no more than 15 percent of the total area for any single facade.
 - 3. Metal or portable buildings shall be prohibited.
 - 4. Buildings shall incorporate live plant material growing immediately in front of or on the building.
 - 5. Non-residential buildings of less than 5,000 square feet of gross floor area shall be designed with pitched roofs, minimum pitch of 4:12. Portions of the roof structure may be flat to accommodate vents, mechanical systems or similar appurtenances, if adequately screened, subject to review and approval of the Director.
 - 6. Roofing materials for pitched or mansard roofs shall be limited to the following:
 - a. Metal standing seam of red, green or silver in color.
 - b. Tile, slate or stone.
 - c. Wood shake.
 - d. Architectural shingles with a slate, tile or metal appearance.
 - 7. Parapets of flat roofed buildings shall be articulated to provide visual diversity. Parapets shall include articulations or architectural features at least every 100 linear feet. The minimum height of articulations or features shall be one foot, and may be provided in height offset or facade projections such as porticoes or towers. The rear of parapet articulations visible from street level view (within 300 feet) shall be finished to match the exterior architectural treatment.
 - 8. Design of flat-roofed buildings shall include minimum one-foot deep cornices, extending along the entire front of the building and the sides of the building for a depth of at least ten feet.

- 9. Building design shall include a minimum 1-foot high contrasting base, extending along the entire front of buildings and the sides of buildings for a depth of at least 10 feet.
- 10. All mechanical, HVAC and like systems shall be screened from street level view (within 300 feet) on all sides by an opaque wall or fence of brick, stucco, split-faced block or wood.
- 11. Accessories provided such as railings, benches, trash receptacles and/or bicycle racks shall be of commercial quality, and complement the building design and style.
- E. Building plans shall be subject to review and approval of the Director of Planning and Development, or his/her designee, prior to the issuance of a Building Permit. Designs which are inconsistent with these performance guidelines may be denied. Alternate designs which have been denied by the Director, may be submitted for review and approval of the Board of Commissioners.

Section 5-190. Big Haynes Creek Conservation Subdivision Option.

Development proposals for the Big Haynes Creek Conservation Subdivision Option will no longer be accepted. The following regulations listed below are retained for instruction with regard to existing Conservation Subdivisions.

5-190.1 **Purpose.**

The purpose of the Big Hayes Creek Conservation Subdivision Option is to provide for residential development within the Big Haynes Creek Drainage Basin which will promote more economic subdivision development, provide a mechanism for the preservation of water quality within the watershed through the dedication of open space areas, and achieve other water quality preservation purposes related thereto. To achieve these goals:

- A. Variations in lot area, width and setback are permitted.
- B. Open space areas shall be established for the preservation of water quality and the benefit of subdivision residents.

5-190.2 **Permitted Uses.**

The provisions of this Section shall apply to all land of unincorporated Gwinnett County located within the Big Haynes Creek Watershed and zoned R-100 or R-75. Single-family residential subdivision lots may be altered as provide herein. Except as provided in this Section, all other standards of the R-100 or R-75 zoning district shall be observed.

5-190.3 **Design Requirements.**

Within the Big Haynes Creek Watershed, R-100 and R-75 subdivisions may comply with criteria for provision or participation in wet detention facilities established by the Big Haynes Creek Watershed Protection Agreement; or,

- A. Comply with the following subdivision design requirements:
 - 1. The subdivision development shall contain a minimum land area of 5 contiguous acres.
 - 2. Set aside a minimum of 60 percent of the gross land area of the development as permanent, undisturbed open space. Concurrent with the recording of the final subdivision plat, the subdivider shall execute and record a deed which restricts the use of the set aside as permanent natural undisturbed open space. Required open space shall be deeded with the first phase of development to a mandatory property owner's association.
 - 3. Maximum net density shall not exceed 3 units per acre for detached dwelling units.
 - 4. Provide a minimum lot width of 65 feet, and a minimum lot area of 7,800 square feet.
 - 5. Front yards shall have a minimum depth of 20 feet.
 - 6. Rear yards shall have a minimum depth of 20 feet.

Section 5-200. Chattahoochee River Tributary Protection: Stream Buffer Zones Required.

This section of the Unified Development Ordinance is adopted pursuant to the requirements of Georgia Code Section 12-5-453. Stream buffer zones for the Chattahoochee River Corridor are described in Section 500-10.5.B of this Unified Development Ordinance.

5-200. Findings and Purposes.

The Gwinnett County Board of Commissioners finds that:

- A. The Chattahoochee River provides multiple benefits, which include use of the river as the primary water supply for metropolitan Atlanta.
- B. The water quality of the Chattahoochee River depends upon the water quality of the flowing streams tributary to the river.

- C. Sediment and other polluting materials and conditions, including but not limited to pesticides, nutrients such as nitrogen and phosphorus, toxic materials, and elevations in water temperatures, are harmful to the water quality of the river and its tributaries.
- D. The riparian vegetation along these watercourses helps preserve water quality. Dense tree growth helps to prevent stream bank erosion and streamside vegetation reduces the amount of sediment and other polluting materials that would otherwise wash into streams. Riparian trees, by shading, help maintain cooler water temperatures and thus enhance water quality.
- 5-200.2 Purposes are:
 - A. Promote health, safety and general welfare; to minimize public and private losses due to erosion siltation and water pollution.
 - B. Create vegetation buffer areas adjacent to tributary streams in the drainage basin of the Chattahoochee River.
- 5-200.3 **Stream Buffer Zone.**

This protection area means the stream channel and the land area extending outward 35 horizontal feet from the banks on either side of all flowing streams in the drainage basins of all tributaries of the Chattahoochee River located in unincorporated Gwinnett County. A flowing stream is defined for the purpose of this section as any stream that is portrayed on the most current United States Geological Survey 7.5 minute quadrangle as a perennial stream 15 feet adjacent to the stream bank of said area will be left as a natural buffer and 35-foot minimum will be left as an accessory building setback. (This is not a change in the minimum rear yard setback nor permission to build in the floodplain.) Stream buffer zone (i.e., 15 feet from bank) must be shown on final subdivision plats, commercial and industrial site plans and multi-family residential site plans.

- 5-200.4 A. Permit Required.
 - 1. No person shall engage in any land disturbing activity within the area without having obtained a subdivision development permit, site development permit, or building permit from the Development Division.
 - 2. No permit will be issued for any land disturbing activity within the protection area unless the land disturbing activity is for the purpose of constructing one of the following:
 - a. A stream crossing by a driveway, transportation route, or a public utility including sanitary sewer lines.
 - b. The construction of public utilities including sanitary sewer lines.
 - c. A dam and/or impoundment, a detention, retention, or sediment control pond or facility.

B. Exceptions.

The provisions of this section shall not apply to:

- I. Any public agency or its contractor.
- 2. Any person performing work within a right-of-way of any public agency pursuant to a permit issued by such public agency.
- 3. Emergency work necessary to preserve life or property provided a written factual report is presented to the Director of Planning and Development within 10 days.
- 4. Any development which has received a development permit prior to the adoption of this section.
- 5. Any work consisting of the operation, repair or maintenance of any lawful use of land existing on the date of adoption of this section.

Section 5-210. Charts and Tables

- 5-210.1 The following retired Charts and Tables of the 1985 Zoning Resolution are included for reference:
 - A. Minimum Buffer Requirements.
 - B. Minimum Area Requirements.
 - C. Minimum Yard and Height Requirements.
 - D. Minimum Floor Area Requirements.

Minimum Buffer Requirements Abutting District(s)

	RA-200	R-140, R-LL	R-100	R-100/ CSO/ MOD	R-75	R-75/ CSO/ MOD	R-60	R-ZT, R-TH, RMD,RM-6 RM-8,R-SR	MH,MHS, RM-10, RM-13	ALL
RA-200, R-140, R-LL, R-100, R-100 CLU/MOD/ CSO, R-75, R-75 CLU/ MOD/CSO, R-60, R-SR					-			-		
R-TH AND R-ZT UPTO A MAXIMUM 4 UNITS PER ACRE	35 feet	35 feet	30 feet	25 feet	25 feet	20 feet	20 feet	-	-	
R-TH, RMD, RM-6, RM-8, R-ZT	40 feet	40 feet	35 feet	30 feet	30 feet	25 feet	25 feet	!	!	!
RM, RM-10, RM-13	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	20 feet		1
HRR	85 feet	85 feet	85 feet	85 feet	85 feet	85 feet	85 feet	50 feet		1
МН, МНS	75 feet	75 feet	75 feet	75 feet	75 feet	75 feet	75 feet	75 feet	75 ft except for mh, mhs	!
O-I/HS (standard height)	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	1
OBP (standard height)	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	1
M-1 (standard height)	50 ft. 75 ft.**	50 ft. 75 ft.**	50 ft. 75 ft.**	50 ft. 75 ft.**	50 ft. 75 ft.**	50 ft. 75 ft.**	50 ft. 75 ft.**	50 ft. 75 ft.**	50 ft. 75 ft.**	!
M-2 (standard height)	100 feet	100 feet	100 feet	100 feet	100 feet	100 feet	100 feet	100 feet	100 feet	1
NS	35 feet	35 feet	35 feet	35 feet	35 feet	35 feet	35 feet	35 feet	35 feet	
C-I (standard height)	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	50 feet	1
C-2 (standard height)	75 feet	75 feet	75 feet	75 feet	75 feet	75 feet	75 feet	75 feet	75 feet	
C-3 (standard height)	85 feet	85 feet	85 feet	85 feet	85 feet	85 feet	85 feet	85 feet	85 feet	-
MUD (High-Rise Buildings)	85 feet	85 feet	85 feet	85 feet	85 feet	85 feet	85 feet	50 feet	-	!
** Riffers in M-1 zoning shall increase from 50 to 75 feet when	I monse from "	50 to 75 feet w		Joint of theory	John or John	span appropriate to strong the patrological		Towardo Level of this transforment variations and development	70,02447 07 4+1	downlower.

^{**}Buffers in M-1 zoning shall increase from 50 to 75 feet when located adjacent to truck docks or outdoor storage areas. However, any development with an approved development For buffer width other than standard height structures the Board of Commissioners may increase the minimum buffer required as a condition for allowing additional height plan, final plat or concept plan on file with the Department of Planning and Development prior June 1, 2001, which depicts a different buffer width shall be considered grandfathered.

of development. The Board of

Commissioners may also establish or increase the minimum buffer as a condition of rezoning or as a condition to a Special Use Permit.

The Zoning Board of Appeals may increase the minimum buffer required as a condition to granting a Variance request.

Modifications in buffer width may be granted by the Board of Commissioners after receiving recommendations from the Planning and Development Director and Planning Commission and after a public hearing.

See Section 610-20.4.B - No structure shall be located less than 5 feet from any buffer.

Minimum Area, Yard annd Height Requirements

Minimum Area Requirements

Zoning District	Area (Square Feet)/ Density	Lot	Lot Size
		Square Ft. Per Family	Lot Width ₃
RA-200	40,000	40,000	200 Feet
R-140	See Section 5-40	See Section 5-40	140 Feet
R-LL	32,000	32,000	125 Feet
R-100, MHS	15,000 Sewer 25,500 Septic ₂	15,000	100 Feet
R-75	12,000 Sewer 25,500 Septic ₂	12,000	75 Feet
R-60	7,200 Sewer	7,200	60 Feet
RMD	16,000 Sewer 25,500 Septic ₂	8,000	100 Feet
RL	15,000 Sewer 25,500 Septic ₂	15,000	75 Feet
ΣΥ	18,000	12,000 First Family Plus 2,500 Each Additional Family - Not To Exceed 13 Units Per Acre	100 Feet
RM-6	6 Units Per Acre	N/A	100 Feet
RM-8	8 Units Per Acre	N/A	100 Feet
R-ТН	8 Units Per Acre	N/A	See Section 5-80
R-ZT	6 Units Per Acre	4,000	40 Feet
RM-10	10 Units Per Acre	N/A	100 Feet
RM-13	13 Units Per Acre	N/A	100 Feet
HRR	No Minimum	N/A	40 Feet
O-I, OBP	No Minimum	N/A	N/A
C-1, C-2, C-3, NS	No Minimum	N/A	N/A
M-1, M-2	l Acre	N/A	100 Feet
HS	No Minimum	N/A	100 Feet For Residential Use
	MG :: -		- -

^{1 -} When developing 3-plex, 4-plex subdivision under RM category, lot size is determined as follows: 18,000 square feet plus 550 square feet per unit.
2 - The Gwinnett County's soils will require a lot size at least 25,500

square feet. 3 - In all districts, stormwater facility lots shall maintain a minimum lot width of 30 feet at the minimum building setback line.

		-			
Zoning District	Front Yai	t Yard	Side Yard	Rear Yard	Maximum Height
9	Local Street	Major Thoroughfare	_		Or Stories
RA-200	35 Feet From Right-Of-Way	50 Feet From Right-Of-Way	1 Yard 15 Feet 2 Yards 35 Feet	40 Feet	35 Feet
R-140	35 Feet From Right-Of-Way	65 Feet From Right-Of-Way	l Yard 25 Feet 2 Yards 50 Feet	100 Feet	35 Feet
R-LL	50 Feet From Right-Of-Way	50 Feet From Right-Of-Way	20 Feet	40 Feet	35 Feet
R-100, MHS	35 Feet From Right-Of-Way	50 Feet From Right-Of-Way	1 Yard 10 Feet 2 Yards 25 Feet	40 Feet	35 Feet
R-75	35 Feet From Right-Of-Way	50 Feet From Right-Of-Way	1 Yard 10 Feet 2 Yards 20 Feet	40 Feet	35 Feet
R-60	25 Feet From Right-Of-Way	See Section 210-60	1 Yard 5 Feet 2 Yards 15 Feet	30 Feet Or See Section 210-60	35 Feet
R-ZT	20 Feet From Right-Of-Way	See Section 5-60 and 5-70	1 Yard 5 Feet 2 Yards 10 Feet	25 Feet Or See Section 5-60 and 5-70	35 Feet
R-TH	See Section 5-80	See Section 5-80	See Section 5-80	See Section 5-80	See Section 5-80
RMD	35 Ft. From R/W Sewer 50 Ft. From R/W Septic	50 Feet From Right-Of-Way	1 Yard 15 Feet 2 Yards 30 Feet	40 Feet	35 Feet
R.	35 Feet From Right-Of-Way	50 Feet From Right-Of-Way	1 Yard 10 Feet 2 Yards 20 Feet	40 Feet ₃	40 Feet
RM, RM-6, RM-8, RM-10	50 Feet From Right-Of-Way	50 Feet From Right-Of-Way	20 Feet First Two Stories Plus 4 Ft Per Each Addi- tional Story	40 Feet	40 Feet
HRR ₂	10 Feet From Right-Of-Way	10 Feet From Right-Of-Way	O Feet,	O Feet,	25 Stories Not To Exceed 300 Feet.
MUD2 (High-Rise Build-ings)	10 Feet From Right-Of-Way	10 Feet From Right-Of-Way	O Feet,	O Feet,	25 Stories Not To Exceed 300 Feet.
O-I, OBP	50 Feet From Right-Of-Way	50 Feet From Right-Of-Way	10 Feet	15' But 40' If Abuts Residential District,	3 Stories Not To Exceed 35 Feet
SZ	50 Feet From Right-Of-Way	50 Feet From Right-Of-Way	10' But 20' If Abuts Residential District	15' But 40' If Abuts Residential District	l Story Not To Exceed 20 Feet
C-1, C-2, C-3	50 Feet From Right-Of-Way	50 Feet From Right-Of-Way	10' But 20' If Abuts Residential District,	15' But 40' If Abuts Residential District,	3 Stories Not To Exceed 35 Feet
M-1, M-2	50 Feet From Right-Of-Way	50 Feet From Right-Of-Way	20' But 50' If Abuts Residential District,	15' But 40' If Abuts Residential District,	40 Feet
HS	50 Feet From Right-Of-Way	50 Feet From Right-Of-Way	1 Yard 10 Feet 2 Yards 25 Feet	40 Feet	3 Stories Not To Exceed 35 Feet
0 0 0 1 7 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	C+2nda				

I – Also see Section 610-20 Standards for Permanent Buffers.

^{2 – (}HRR) For structures in excess of 5 stories or 60 feet, the setback from any abutting single-family district shall be increased by one foot for every additional one-foot rise in building height, up to a maximum of 200 feet. 3 – (RL) A rear yard setback is not required when rear yard is adjacent to Army Corps of Engineers property.

Section 5-220. Minimum Floor Area Requirements.

5-220.1

All dwelling units shall have a minimum heated finished living area, excluding a basement, attic, carport, or garage, as follows:

- A. In the R-LL district: 2,000 square feet
- B. In the R-140 and R-100 districts: 1,400 square feet
- C. In the R-75 district: 1,200 square feet
- D. In the RA-200, R-60, R-ZT, and R-TH districts: 1,000 square feet
- E. In the RL district: 1,400 square feet
- F. Each three bedroom or larger duplex dwelling unit in the RMD district: 1,000 square feet
- G. Each two bedroom or smaller duplex dwelling unit in the RMD district: 800 square feet
- H. Each three bedroom or larger attached dwelling unit in the RM, RM-6, RM-8, and RM-10 districts: 1,000 square feet
- I. Each two bedroom attached dwelling unit in the RM, RM-6, RM-8, and RM-10 districts: 800 square feet
- J. Each one bedroom attached dwelling unit in the RM, RM-6, RM-8, and RM-10 districts: 600 square feet
- K. Each efficiency or studio apartment in the RM, RM-6, RM-8, and RM-10 districts: 450 square feet
- L. Each residential dormitory room/suite in the R-TH district:
 - 1. One bed residential dormitory room and one bath: 400 square feet
 - 2. Two bed residential dormitory room and one bath: 600 square feet
 - 3. Three bed residential dormitory room and two baths: 800 square feet
 - 4. Four or more bed residential dormitory suite and two baths: 1,000 square feet

Appendix Section 6.0

List of Amendments

I. UDOA2014-00001 - July 22, 2014 Amendment to:

Title I: In Chapter 110, Definitions, revise definition for Dwelling, Accessory.

Title 2: In Chapter 210, Base Zoning Districts, in the Open Space Conservation (OSC) zoning district (Section 210-50), encourage pervious surfaces (subsection 210-50.6.D), removal of non-native exotics (subsection 210-50.6.E), and add a Greenspace goal to encourage native species (subsection 210-50.11.A); reduce the minimum project size (subsection 210-50.12.A); clarify the conservation space requirement when abutting residential zoning for RA-200, R-140, R-100 and R-75 (subsection 210-50.13.A); and clarify the requirement for a street frontage buffer (subsection 210-50.13.B). In the Traditional Neighborhood Development (TND) zoning district (Section 210-80), revise the street network requirements (subsection 210-80.10.A.1) and increase the maximum floor area for Civic uses (Table 210.6). In Community Mixed-Use (MU-C) and Regional Mixed-Use (MU-R) zoning districts, reduce the minimum project area standard (Table 210.9). In Chapter 220, Overlay Zoning Districts, in the Activity Center/Corridor Overlay zoning district (Section 220-30) clarify the requirement for signage (subsection 220-30.3.F). In Chapter 230, Standards Applying to All Districts, in the Dimensional Standards for Residential Zoning Districts (Table 230.1), for R-75 zoning, revise the minimum lot size for lots served by sewer, minimum front building setback and minimum rear building setback. In Chapter 230, Standards Applying to All Districts, in the Dimensional Standards for Non-Residential, HRR, and Mixed-Use Districts (Table 230.3) for HRR zoning, clarify minimum lot size, maximum net density/FAR, and maximum height. In Chapter 230, Standards Applying to All Districts, in Section 230-100, the Table of Permitted and Special Uses (Table 230.4) in the C-3 zoning district column, require a Special Use Permit for a Check Cashing or Payday Loan Facility, Pawn Shop (general) and a Tattoo and Body Piercing Parlor; insert the entry of Y (Yes) in the column designating Supplemental Regulations for Shooting and Archery Ranges and Special Events/Banquet Facility or Rental Hall; delete the entry of Y (Yes) in the column designating Supplemental Regulations for: Dwelling, Live/ Work; Dwelling, Loft; Dwelling, Mobile or Manufactured Home; Dwelling Multifamily; Dwelling, Single Family Detached; Dwelling, Townhouse; Dwelling, Villa; and Dwelling, Zero Lot Line. In Chapter 230, Standards Applying to All Districts, in the Accessory Building, Structure and Use Standards (Section 230-120), clarify minimum setbacks for accessory building or structures (subsection 230-120.8). In Chapter 230, Standards Applying to All Districts, in the Supplemental Use Standards (Per Table of Permitted Uses) (Section 230-130.3), insert requirements for a Dwelling, Accessory (subsection 230-130.3.R) and Hotel or Motel (subsection 230-130.3.W) and renumber the remaining items as necessary. In Chapter 240, Off-Street Parking Standards, Staking Lanes for Drive-through Facilities or Service Windows (Section 240-80), delete the minimum width of a staking lane between a curb cut and the nearest gasoline pump (subsection 240-80.2) and renumber the remaining items as necessary; in Construction and Dimensions of Off-Street Loading (Section 240-130), add screening requirements for loading areas (subsection 240-130.4). In Chapter 270, Procedures, Administrative Variances (Section 270-130), clarify requirement for a notarized letter of consent for Administrative Variances (subsection 270-130.3.A.5).

Title 3: In Chapter 620, Landscape Regulations, Landscape Strip Planting Requirements (Section 620-20), revise lineal feet requirement for trees and shrubs for five foot wide landscape strips (subsection 620-20.3.A); No Access Easement Screening Requirements (Section 620-80), clarify requirements of no-access easements (subsections 620-80.1, 620-80.2, and 620-80.3). In Chapter 900, Infrastructure, Streets, Sidewalks, Multi-Use Paths, Greenways, Driveway Design Standards (Section 900-40), clarify requirements for design grade and driveways entering public streets by deleting subsections 900-40.3 and 900-40.4 in their entirety and renumbering the remaining items as necessary; Street Construction Standards and Specifications (Section 900-70), revise intermediate course requirement for new local and minor collector streets (subsection 900-70.4.A.I).

Appendix: In Section 1.0, Architectural Design Standards, Architectural Design Standards for Category 3 (Section 6.0.0), Exterior Wall Design (Section 6.1.1), add requirements for parapets, and landscape material and prohibit under "glow" lighting of fabric, vinyl, or translucent material awning (subsections 6.1.1.], K, and L); Section 10.0.0 Architectural Design Standards for Zoning Districts existing table, insert a row titled 220-30 Activity Center/Corridor Overlay District and add an "X" in the Category 3 column. In Section 2.0, Standard Drawings, delete Standard Drawings number 316 Wheelchair Ramp, number 317 Handicap Ramp Details with 4' Sidewalk, number 318 Handicap Ramp Details with 5' Sidewalk, number 319 Driveway Details; insert Standard Drawings number 401A through 401H Roadway Widening Sections for deceleration lane arterials and collectors over 10,000 ADT and under 10,000 ADT when widening to or overlaying onto existing pavement. In Section 4.0, Buffers, Landscaping, and Tree Protection, update Sheets 4.6 and 4.9 for five foot landscape strip requirements to reflect the changes in Title 3, Chapter 620, and subsection 620-20.3.A per this amendment. In Section 5.0, Inactive Zoning Districts, Section 5-95 RM Multi-Family Residence District, delete Section 5-95 for Duplex and Multi-Family Residence Districts in its entirety and insert a new Section 5-95 for Duplex and Multi-Family Residence Districts. In Section 5-95.2, in the RM Multi-Family Residence District, Day Care Facilities may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of the Department of Planning and Development and the Planning Commission after a public hearing.

2. UDOA2014-00002 - November 4, 2014 Amendment to:

Title I: In Chapter 110, Definitions, revise definition for Junk Vehicle and Yard, Front. Add definition for Major Thoroughfare.

Title 2: In Chapter 210, Base Zoning Districts, in the Open Space Conservation (OSC) zoning district (Section 210-50), the land area located in an existing lake may be credited toward conservation space (subsection 210-50.7.C). In Chapter 230, Standards Applying to All Districts, in the Accessory Building, Structure and Use Standards (Section 230-120), add a new subsection to clarify what is allowed in the right-of-way (subsection 230-120.4) and renumber the existing subsections. In Chapter 230, Standards Applying to All Districts, in the Accessory Building, Structure and Use Standards (Section 230-120), revise subsection 120-120.10 to allow covered mail kiosks in the front yard. In Chapter 230, Standards Applying to All Districts, Supplemental Use Standards (Section 230-130), in subsection 230-130.4 Supplemental Use Standards (General Requirements), specifically paragraph C. Donation Collection Boxes, item 5., clarify setback requirements for donation bins.

Title 3: In Chapter 330, Permits Required for Development or Construction, Development Permits (Section 330-20), in subsection 330-20.1, paragraph C, Expiration of Development Permits, is clarified to allow one renewal within three months after expiration of permit. In Chapter 610, Buffers, Table 610.1, Minimum Buffer Requirements, is amended. In Chapter 620, Landscape Regulations, the Title for Section 620-60 is amended to remove Conservation Subdivision Overlay (CSO) and Open Space Conservation (OSC) zoning districts from that section and to create a new Section 620-65 specifically for those zoning districts and require street trees and 16 Tree Density Units per acre for R-100 CSO, R-75 CSO and OSC. In Chapter 630, Tree Preservation and Replacement Regulations, in the Redevelopment Section 630-90, Chapter 640 is added to subsection 630-90.3 and subsection 630-90.4. In addition, a new subsection 630-90.5 is added to the Redevelopment section to require the building footprint disturbance be included in the overall projects scope of disturbance. In Chapter 640, Buffer, Landscaping, and Tree Protection Compliance, in Artificial Materials Prohibited (Section 640-10), clarify only live plant material may be used to fulfill regulations.

Appendix: In Section 5, Inactive Zoning Districts, in the Minimum Yard and Height Requirements Table, in RL zoning districts, the rear yard setback is not required when adjacent to Army Corps of Engineers property.

3. UDOA2015-00001 - April 28, 2015 Amendment to:

Title 1: In Chapter 110, Definitions (Section 110-40), General Definitions, revise definition for: Development Agreement to remove the word "system"; for Lot, Corner in addition to two intersecting streets, to allow a continuous street to define a corner lot provided the angle of that street is 135 degrees or less. Definitions that pertain specifically to the Floodplain Management Section of the Ordinance (Section 110-50.3), revise definition for Addition (to an existing structure), Building, Elevated Building, Flood Insurance Study, Future Conditions Flood Hazard and Structure in order to reflect the updated Metropolitan North Georgia Water Planning District (MNGWPD) "District Model Floodplain Management/Flood Damage Prevention Ordinance" that was adopted on August 28, 2013.

Title 2: In Chapter 210, Base Zoning Districts, in the Open Space Conservation (OSC) zoning district (Section 210-50), a reference to refer the reader to Chapter 900 for new street requirements was added (subsection 210-50.14). In the Traditional Neighborhood Development (TND) zoning district (Section 210-80), clarification was made regarding buffer requirements in subsection 210-80.7.D to refer the reader to Table 610.1 *Minimum Buffer Requirements*. In Chapter 220, Activity Center/Corridor Overlay District, removed reference to Highway 78 Activity Center/Corridor Overlay in Applicability (subsection 220-30.2.A.3); in the third row of Table 220.2, Light Fixture Requirements for Parking Areas; and in the Landscaping Requirements for street trees (subsection 220-30.3.D.4.c). Also in Chapter 220, Activity Center/Corridor Overlay District, changed the title of subsection 220-30.E. from "Parking/Yard, Height and Setback" to "Parking and Accessory Structures". In Chapter 230, Standards Applying to All Districts, in the Application of Dimensional Standards; in the Reduction in Lot Dimensions (subsection 230-20.3) to allow creation of an unbuildable lot for the exclusive use of mail kiosks; in the Fences and Walls (Section 230-80), to remove paragraph D., in (subsection 230-80.2) that allowed an 8 foot fence in the front yard of a corner lot where it was used as the side of the principal dwelling to now requiring a 4 foot fence within the front building setback on a corner lot with two front yards where one front served as a side yard. Also in Chapter 230, Standards Applying to All Districts, in the Table of Permitted and Special Uses (Table 230.4) (Section 230-100) adding or revising the following uses under the following:

<u>Commercial and Retail Uses:</u> Ambulance or Medical Transport Company; Auction House; Automobile Auction; DUI School; Fireworks Sales, principal use; Fireworks Sales, ancillary use; Hookah/Vapor Bar or Lounge; Motorcycle, Scooter and ATV Sales and Related Service; Motorcycle, Scooter and ATV Service and Repair; Motorcycle Parts, Apparel and Accessories Store (without installation); and Stone Yard or Stone Cutting.

Industrial and Manufacturing Uses: Septic Tank Pumping Company

Office, Institutional, and Cultural Uses: Counseling Center, Meditation Center, and Residential Rehab. Center.

Also in Chapter 230, Standards Applying to all Districts, in the Accessory Building, Structure and Use Standards (Section 230-120), to add a new subsection 230-120.14 referencing requirements for dumpsters in order to consolidate requirements that were once within the Ordinance in the Off-Street Parking Standards (Section 240-140). Also in Chapter 230, Standards Applying to all Districts, in Supplemental Use Standards (subsection 230-130.3), to revise paragraph E., Automobile Brokers, to add paragraph W., Fireworks Sales and paragraph X., Hookah/Vapor Bar or Lounge thereby renumbering the remaining paragraphs. In Chapter 240, Off-Street Parking Standards, Dumpsters (Section 240-140), was moved to a new subsection 230-120.14. In Chapter 270, Procedures, Conditional Approvals (Section 270-40) a new subsection 270-40.4 was added to refer the reader to Chapter 120 to avoid confusion in the appeals process; in Appeals to Decisions of the Zoning Board of Appeals (Section 270-120), subsections 270-120.1, 270-120.2 and 270-120.3 were deleted and subsections 270-120.1, 270-120.2 were added that requires an appeal to the Superior Court be via Writ of Certiorari as specified in the Official Code of Georgia when any person is aggrieved with a decision by the Zoning Board of Appeals.

Title 3: In Chapter 320, Plan and Plat Guidelines, the Specimen Tree Survey and Specimen Tree Concept Plan (Section 320-20), specifically subsections 320-20.1 and 320-20.2 were revised to clarify what is required on both the Specimen Tree Survey and the Specimen Tree Concept Plan and to add plan requirements such as a closed boundary survey, parcel identification number, specimen tree condition, and require specimen tree data be presented in chart format; in Final Plat Specifications (Section 320-120), Certificates (subsection 320-120.7) revise paragraph C., Final Plat Approval certificate, to add an exclusion for acceptance of constructed greenways unless the greenway is completed in its entirety and built to standards. In Chapter 360, Development Design Standards, Design of Lots (Section 360-50), in subsection 360-50.2, Lots, paragraph B., is clarified to also require non-residential subdivisions to have double frontage or reverse frontage lots where internal access can be provided in addition to the residential subdivisions. In Chapter 630, Tree Preservation and Replacement Regulations, Tree Density Requirements (Section 630-30), subsection 630-30.1, Tree Density Standard and subsection 630-30.2, Zoning Buffer Exclusion, were reorganized, revised, and retitled to better describe what those sections contained, specifically it is clarified that temporary construction buffers may count toward existing Tree Density Units provided the acreage within that type of buffer is included; and the title "Zoning Buffer Exclusion" in subsection 630-30.2, was changed to "Buffer Exclusion in Fulfilling the Tree Density Standard" to better describe the contents of that subsection; in Specimen Trees (Section 630-70), subsection 630-70.1 was clarified to refer the reader to Section 320-20 for Specimen Tree Survey and Specimen Tree Concept Plan preparation requirements and subsection 630-70.4 for preliminary site visit criteria and subsection 630-70.2 was clarified to refer the reader to subsection 630-70.8 for specimen tree exemptions prior to preparing the Specimen Tree Survey and Specimen Tree Concept Plan and to clarify the difference between specimen tree size and specimen tree condition as mentioned in subsection 630-70.3; in subsection 630-70.4, in preparation for the preliminary site visit, the subsection was clarified as to what is required from the developer and design professional before the preliminary site visit takes place. In Chapter 700, Floodplain Management, specific portions of the Chapter that were affected by the updated Metropolitan North Georgia Water Planning District (MNGWPD) "District Model Floodplain Management/Flood Damage Prevention Ordinance" adopted on 8/28/2013 were revised. In Chapter 900, Infrastructure, Streets, Sidewalks, Multi-Use Paths, Greenways, in the Street Intersection (Section 900-50), subsection 900-50.8, Obstructing Visibility at Intersections, was revised to remove the requirements for adequate sight distance being based on AASHTO Green Book and instead the requirements are based on specific heights and distances within and from the right-of-way respectively.

4. UDOA2015-00002 - June 24, 2015 Amendment to:

Title 2: In Chapter 230, Standards Applying to All Districts, in Section 230-100, Table of Permitted and Special Uses (Table 230.4) add beekeeping as a permitted use in the following non-agricultural residential zoning districts: R-LL, R-100, R-75, OSC, R-60, MH, TND, R-SR, R-TH, RM-13, RM-24, HRR, O-R, MU-N, MU-C, and MU-R. When beekeeping is proposed in those districts, the property owner shall comply with the specifications in the Supplemental Use Regulations listed in subsection 230-130.3.G.

5. UDOA2015-00003 - July 21, 2015 Amendment to:

Title 2: In Chapter 230, Standards Applying to All Districts; in Section 230-130, Supplemental Use Standards; in Subsection 230-130.3, Paragraph CC. is re-lettered to add, *Livestock, keeping of (for personal utility)* to provide rules and requirements for the keeping of chickens in residential areas. In addition, the chickens must be secured at all times in an enclosed yard or 6-sided pen. The owner must also comply with the minimum pen area and distance from any property line. The structure housing the chickens must be located in the rear yard and the keeping of roosters is not allowed.

6. UDOA2015-00004 – September 22, 2015 Amendment to:

The Gwinnett County *Temporary Outdoor Activity Ordinance*, once a stand-alone document, is now represented in the Unified Development Ordinance as Chapter 265 and in the definition Section by Category/Chapter (Section 110-50.0).

Title 1: In Chapter 110, Definitions, the definitions for temporary outdoor activities are referenced in Section 110-50 of the Unified Development Ordinance, Definitions by Category/Chapter; and subsection 110-50.0.

Title 2: In Chapter 265, Temporary Outdoor Activity Uses, a new chapter in the Unified Development Ordinance provides the requirements for temporary outdoor activities and is organized into the following sections: General Requirements and Restrictions (Section 265-10); Temporary Outdoor Activities (Section 265-20); Agriculture Oriented Recreational Uses (Section 265-30); Holiday Activities (Section 265-40); and Inspection (Section 265-50). The changes are to the agriculture oriented recreation activity section to allow one banner per frontage and two inflatable devices that are used to attract attention. When banners and inflatables are used as part of the temporary agriculture oriented recreational activity, they do not require a permit and are allowed in overlay districts. The hours of operation were increased in the RA-200 district.

7. UDOA2015-00005 - October 27, 2015 Amendment to:

Title I: In Chapter 110, Definitions, add definition for "Adult Establishment" to reflect the definition as listed in Chapter 18, Article XI of the Gwinnett County Code of Ordinances.

Title 2: In Chapter 230, Standards Applying to All Districts, specifically in the Table of Permitted and Special Uses (Table 230.4), the term "Adult Entertainment Establishment" is replaced with "Adult Establishment" and is permitted in the M-I and M-2 zoning districts only provided the Supplemental Use Standards for "Adult Establishment" are adhered to. In addition, "Adult Establishments" shall conform to Chapter 18, Article XI and Chapter 86, Article IV of the Gwinnett County Code of Ordinances. In Chapter 240, Off-Street Parking Standards, the words "Adult Entertainment Establishment" is replaced with "Adult Establishment". In the Appendix, Section 5.0, Inactive Zoning Districts, specifically Section 5-180.6.A.5.c the phrase "Adult Entertainment Facilities are not permitted" has been changed to "Adult Establishments are not permitted." to maintain consistency.

8. UDOA2016-00001 - January 26, 2016 Amendment to:

Title I: In Chapter 110, Definitions, revise the definition for "Animal Quarters" to exclude fenced pasture land and paddocks for grazing from the list of items that are considered animal quarters.

Title 2: In Chapter 230, Standards Applying to All Districts, a new Section 230-90, Protection of Existing Cemeteries, is added to require protection of existing cemeteries when development is taking place in proximity to the cemetery. The requirements listed in subsection 230-90.1.A include a 25 ft. in-depth grassed buffer strip and a minimum 4 ft. in height wrought-iron style fence or brick/stacked stone wall be provided around the entire perimeter of the cemetery (exterior to the required grass strip). In instances where a fence or wall and vegetation at least 25 ft. in-depth exist, this serves as meeting the requirement. Also in Chapter 230, Standards Applying to All Districts, specifically in the Table of Permitted and Special Uses (Table 230.4) (Section 230-100), is amended by adding, deleting or revising the following uses listed below the underlined headings:

<u>Commercial and Retail Uses</u>: for the use of "Pool or Billiards Halls" under the column for Supplemental Regulations insert the notation "Y" for Yes.

Office, Institutional, and Cultural Uses: insert the use of "Bail Bonding Company" and in that same row, insert the notation "P" for permitted in the M-2 zoning district column and insert the notation "S" for Special Use Permit in the C-2, C-3, and M-1 zoning district columns.

Residential Uses: under the use for "Dwelling, Duplex", delete the notation "P" for being permitted in the TND and R-SR zoning district columns.

Additionally, in Chapter 230, Standards Applying to All Districts (subsection 230-130.3), Supplemental Use Standards, a category for "Pool or Billiards Halls" is added in alphabetical order that describes a Pool or Billiards Hall as a business having three or more pool tables for use by patrons.

Title 3: In Chapter 610, Buffers (Section 610-20), Standards for Permanent Buffers, a new subsection 610-20.10, Buffer Reduction, is added that describes the methods provided by which to apply for a buffer reduction.

9. UDOA2016-00002 - October 25, 2016 Amendment to:

Title 2: In Chapter 220, Overlay Zoning Districts, a new Section 220-40, Venture Drive Redevelopment Overlay District, is added to provide a tool for revitalizing underperforming commercial areas and spurring economic investment for those parcels as indicated on the Venture Drive Redevelopment Overlay District Map and per Gwinnett County Unified Plan's long-term vision to create vibrant, viable regional mixed use character areas. Property owner's who own property in the areas as identified on the Venture Drive Redevelopment Overlay District Map may elect to redevelop their property utilizing the requirements as described in the Venture Drive Redevelopment Overlay District or continue with the underlying zoning district requirements.

10. UDOA2016-00003 - October 25, 2016 Amendment to:

Title 1: In Chapter 110, Definitions (Section 110-40), General Definitions, delete the definition for "Donation Collection Bin" and add definitions for the following:

- Collection Bin
- Site Host, Collection Bin
- Permittee, Collection Bin
- Lawful Occupant, Collection Bin

Title 2: In Chapter 230, Standards Applying to All Districts (Section 230-130), Supplemental Use Standards (subsection 230-130.4), (paragraph C.), a new title referred to as "Collection Bins" replaces the former "Donation Collection Boxes" title. The following bullet points set forth some of the information that regulates the placement of collection bins on a site.

- Requirements for the permitting of collection bins are outlined along with a listing of the associated fees.
- A "Permittee" is defined and the application process, including required contact information, is outlined.
- Proof of permit is required on all bins.
- The management and maintenance of collection bins is regulated.
- Regulates the location and placement of collection bins.
- Regulates the size, appearance and screening of collection bins.
- Outlines violations and penalties for failure to comply with regulations.

Collection bins shall only be permitted on developed property which is zoned C-1, C-2, C-3, M-1, or M-2; or on the premises of a church or school, consistent with all applicable ordinances and policies, within any zoning district. See Section 230-130.4.C of Title 2 for specific details.

II. UDOA2016-00004 - December 20, 2016 Amendment to:

Title 2: In Chapter 230, Standards Applying to All Districts, in the Supplemental Use Standards (Section 230-130), specifically subsection 230-130.3, the supplemental use for hotel or motel was revised to remove requirement for minimum lobby size and minimum guest room size.

12. UDOA2017-00001 - December 19, 2017 Amendment to:

Title I: In Chapter 110, Definitions (Section 110-40), General Definitions, revise definition for Accessory Building. To facilitate a search, "Dwelling, Accessory" is now listed as "Accessory Dwelling". The definition for Accessory Dwelling remains the same.

Title 2: In Chapter 230, Standards Applying to All Districts:

In Building/Structure Height Measurements and Exceptions (Section 230-30), specifically subsection 230-30.1., paragraphs A and C; the height allowance for cupolas, weathervanes, chimneys, parapets, and similar architectural features, or satellite dishes or other necessary rooftop appurtenances changed. In addition, the height allowances for barns, silos and similar agricultural structures within the RA-200 zoning district changed.

In Accessory Building, Structure and Use Standards (Section 230-120), all accessory buildings and structures must be located in the rear yard. Size and setback requirements for accessory buildings have changed. The size of the lot determines the maximum allowable size of the accessory building with the size of the accessory building determining the setback distance. Refer to Section 230-120.13 for the size restrictions and Section 230-120.8 for the setback requirements. An accessory building or structure that was constructed and properly permitted is considered a legal non-conforming use and is not required to be removed.

In the Supplemental Use Standards (Section 230-130), specifically subsection 230-130.4, the supplemental use for metal building; the requirement to obtain a Special Use Permit for a metal building exceeding 550 square feet was deleted. Metal buildings are prohibited.

13. UDOA2018-00001- July 24, 2018 Amendment to:

Appendix: In Section 1.0, Architectural Design Standards, Table 9.0.0 Architectural Design Standards Color and Finish Chart, in the row that describes "Brick" revises text to clarify that brick is allowed in neutral clay colors or painted earth tone and neutral colors and to clarify that face coated brick with a porcelain enamel or ceramic finish is prohibited.

In Section 1.0, Architectural Design Standards, Subsection 6.0.0, Architectural Design Standards for Category 3, paragraph 6.1.2 Roof and Parapet Design, the requirement for fully pitched roofs with a minimum pitch of 4 in 12, and roof eave overhangs to be a minimum of 1 foot for buildings less than 8,000 sq. ft. of gross floor area is removed.

In Section 1.0, Architectural Design Standards, Subsection 7.0.0, Architectural Design Standards for Category 4, paragraph 7.1.2 Roof and Parapet Design, the requirement for fully pitched roofs with a minimum pitch of 4 in 12, and roof eave overhangs to be a minimum of 1 foot for buildings less than 8,000 sq. ft. of gross floor area is removed.

14. UDOA2018-00002 - October 23, 2018 Amendment to:

Title 2: In Chapter 230, Standards Applying to All Districts, Section 230-120 Supplemental Use Standards, Subsection 230-130.3, the paragraph for Automobile, Truck or Vehicle Storage Lot is revised to require a minimum of 10 acres for proposed automobile, truck or vehicle storage lot.

15. UDOA2018-00003 - October 23, 2018 Amendment to:

Title 2: In Chapter 240, Off-Street Parking Standards a new Section 240-140 is added that requires parking lots for multi-family and commercial developments to provide at least one electric vehicle charging station (pedestal) for every 50 parking spaces. The electric vehicle charging station (pedestal) is required for new and redeveloped parking spaces in multifamily and commercial parking lots.

16. UDOA2019-00002 - March 26, 2019 Amendment to:

Title I: In Chapter 110, Definitions, Section 110-40 General Definitions. Add definitions for Alcoholic Beverage Plant/ Distillery, Brewpub, Farm Winery, and Microbrewery.

Title 2: In Chapter 230, Standards Applying to All Districts, Section 230-100, specifically the Table of Permitted and Special Uses (Table 230.4) is amended by adding the following uses listed below the underlined headings:

Agricultural and Rural Recreational Uses: add a row for the use of "Farm Winery" and under the column for RA-200 insert the notation "P" for being permitted in the RA-200 zoning district.

<u>Commercial and Retail Uses</u>: add a row for the use of "Brewpub" and under the column for C-1 insert the notation "S" for a Special Use Permit being required in the C-1 zoning district. In that same row under the columns for C-2, C-3, MU-N, MU-C, MU-R, M-1 and M-2 insert the notation "P" for being a permitted use in the C-2, C-3, MU-N, MU-C, MU-R, M-1 and M-2 zoning districts.

Industrial and Manufacturing Uses: add a row for the use of "Microbrewery" and under the column for Supplemental Regulation (Supl. Reg.) insert the notation "Y" which means that if the use is proposed there are additional requirements to follow located in Subsection 230-130.3 Supplemental Use Standards (Per Table of Permitted and Special Uses). In that same row for "Microbrewery" and under the columns C-2, C-3, MU-N, MU-C, MU-R, M-I and M-2 insert the notation "P" for being a permitted use in the C-2, C-3, MU-N, MU-C, MU-R, M-I and M-2 zoning districts.

In Section 230-130 Supplemental Use Standards, Subsection 230-130.3 add requirements for Microbrewery to include gross floor area limitations of 30,000 sq. ft. while noting, when the proposed gross floor area of Microbrewery exceeds 30,000 sq. ft. a Special Use Permit is required; whereas sales of beverages are limited to those produced on-site. Outdoor placement of grain silos are allowed with Director's review and approval of appearance, signage, location and height.

17. UDOA2019-00003 - March 26, 2019 Amendment to:

Title 1: In Chapter 110, Definitions, Section 110-40 General Definitions. Add a definition for Car Wash.

Title 2: In Chapter 230, Standards Applying to All Districts, Section 230-100, specifically the Table of Permitted and Special Uses (Table 230.4) is amended by deleting the entries of "Car Wash (express service)", "Car Wash and/or Detailing (full service)", and "Car Wash (self service)."

In Section 230-130 Supplemental Use Standards, Subsection 230-130.3 Supplemental Use Standards (Per Table of Permitted Uses) add requirements for a Car Wash to include installation of a recycled water system which captures and reuses water used in the wash or rinse cycles with a minimum of half of the water utilized to be recycled. The installation of floor drains that connect to the sanitary sewer system is required for proper collection and disposal of all wastewater.

18. UDOA2019-00005 - March 19, 2019 Amendment to:

UDOA2019-00005, effective March 19, 2019, amends numerous definitions and sections within the Ordinance in response to the State of Georgia issuance of Gwinnett County, a Municipal Separate Storm Sewer System National Pollution Discharge Elimination System (NPDES) permit and changes to the State of GA Erosion and Sedimentation Act of 2015. These changes were required to retain Gwinnett County's status as a Local Issuing Authority for Land Disturbance Activity Permits.

19. UDOA2019-00006 - April 23, 2019 Amendment to:

Title 1: In Chapter 110, Definitions, Section 110-40 General Definitions. Add a definition for Mobile food service unit.

Title 2: In Chapter 265, Temporary Outdoor Activity Uses, Sections 265-10 and 265-20 are revised to allow mobile food service units provided certain conditions are met. In addition to C-2 and C-3 zoning districts; Neighborhood Mixed-Use (MU-N), Community Mixed-Use (MU-C) and Regional Mixed-Use (MU-R) zoning districts have been added as those districts that allow temporary outdoor activities. Those temporary outdoor activities may utilize temporary signs provided they adhere to the Gwinnett County Sign ordinance.

Section 265-10 is amended by deleting the existing Section 265-10 and replacing with a new Section 265-10.

Section 265-20, Subsection 265-20(A) is amended by deleting the existing Subsection 265-20(A) and replacing it with a new Subsection 265-20(A).

Section 265-50 is amended by deleting the existing subsection and replacing it with a new Section 265-50.

Section 265-60 is added to authorize the Director of the Department of Planning and Development to inspect the temporary outdoor activity for compliance with provisions of Chapter 265.



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