

**MUNICIPAL-GWINNETT COUNTY
PLANNING COMMISSION****PUBLIC HEARING AGENDA****GWINNETT JUSTICE AND ADMINISTRATION CENTER
TUESDAY, DECEMBER 4, 2018 AT 7:00 P.M.**

AS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT OF 1992, THE GWINNETT COUNTY GOVERNMENT DOES NOT DISCRIMINATE ON THE BASIS OF DISABILITY AND WILL ASSIST CITIZENS WITH SPECIAL NEEDS GIVEN PROPER NOTICE (SEVEN WORKING DAYS). FOR INFORMATION, PLEASE CALL THE FACILITIES MANAGEMENT DIVISION AT 770.822.8165.

- A. CALL TO ORDER, INVOCATION, PLEDGE TO FLAG
- B. OPENING REMARKS BY CHAIRMAN AND RULES OF ORDER
- C. APPROVAL OF AGENDA
- D. APPROVAL OF MINUTES (NOVEMBER 7, 2018 MEETING)
- E. ANNOUNCEMENTS
- F. OLD BUSINESS

- | | |
|---------------------------|---|
| 1. CASE NUMBER | :RZR2018-00022 (PUBLIC HEARING HELD) |
| APPLICANT | :GCIP SIX, LLC |
| CONTACT | :SHANE LANHAM |
| PHONE NUMBER | :770.232.0000 |
| ZONING CHANGE | :R-100 TO OSC |
| LOCATION | :3900 BLOCK OF LAKE CARLTON ROAD |
| MAP NUMBERS | :R5127 090 & R5128 002 |
| ACREAGE | :55.23 ACRES |
| UNITS | :126 UNITS |
| PROPOSED DEVELOPMENT | :SINGLE-FAMILY SUBDIVISION |
| COMMISSION DISTRICT | :(3) HUNTER |
| DEPARTMENT RECOMMENDATION | :DENIAL |

2. CASE NUMBER :**RZR2017-00011**
APPLICANT :HOME SOUTH COMMUNITIES, LLC
CONTACT :SHANE LANHAM
PHONE NUMBER :770.232.0000
ZONING CHANGE :RA-200 TO OSC
LOCATION :2400 BLOCK OF SUNNY HILL ROAD
:2500 BLOCK OF MORGAN ROAD
MAP NUMBER :R7136 001
ACREAGE :86.15 ACRES
UNITS :112 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
3. CASE NUMBER :**RZC2018-00016 (PUBLIC HEARING HELD)**
APPLICANT :TIM LANDERS
PHONE NUMBER :404.791.0975
ZONING CHANGE :R-100 TO C-2
LOCATION :3900 BLOCK OF FIVE FORKS-TRICKUM ROAD
MAP NUMBER :R6090 013
ACREAGE :0.72 ACRE
SQUARE FEET :40,000 SQUARE FEET
PROPOSED DEVELOPMENT :SELF STORAGE (CLIMATE CONTROLLED)
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
4. CASE NUMBER :**SUP2018-00056 (PUBLIC HEARING HELD)**
APPLICANT :TIM LANDERS
PHONE NUMBER :404.791.0975
ZONING :C-2 (PROPOSED)
LOCATION :3900 BLOCK OF FIVE FORKS-TRICKUM ROAD
MAP NUMBER :R6090 013
ACREAGE :0.72 ACRE
SQUARE FEET :40,000 SQUARE FEET
PROPOSED DEVELOPMENT :SELF STORAGE (CLIMATE CONTROLLED)
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

5. CASE NUMBER :**RZR2018-00032**
APPLICANT :PRIME CONSULTING, INC.
CONTACT :MITCH PEEVY
PHONE NUMBER :770.614.6511
ZONING CHANGE :R-100 TO OSC
LOCATION :1600 BLOCK OF CHANDLER ROAD
:1600-1700 BLOCKS OF SHARPTON TRAIL
MAP NUMBERS :R5169 002 & R5184 022
ACREAGE :68.26 ACRES
UNITS :150 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(3) HUNTER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
6. CASE NUMBER :**RZR2018-00033 (PUBLIC HEARING HELD)**
APPLICANT :HODGES FAMILY PROPERTIES, LLC
CONTACT :SHANE LANHAM
PHONE NUMBER :770.232.0000
ZONING CHANGE :RA-200 TO R-75
LOCATION :1400 BLOCK OF PROSPECT ROAD
:1500 BLOCK OF PROSPECT CHURCH ROAD
MAP NUMBERS :R7055 003, 005, 019 & 024
ACREAGE :13.45 ACRES
UNITS :38 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
7. CASE NUMBER :**RZR2018-00035 (PUBLIC HEARING HELD)**
APPLICANT :HODGES FAMILY PROPERTIES, LLC
CONTACT :SHANE LANHAM
PHONE NUMBER :770.232.0000
ZONING CHANGE :RA-200 TO R-75
LOCATION :1300-1400 BLOCKS OF PROSPECT ROAD
MAP NUMBERS :R7055 005 & 022
ACREAGE :5.34 ACRES
UNITS :10 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

8. CASE NUMBER :**RZR2018-00034**
APPLICANT :TINA CHAFIN
CONTACT :SHANE LANHAM
PHONE NUMBER :770.232.0000
ZONING CHANGE :R-100 MOD TO OSC
LOCATION :1700 BLOCK OF HOLMAN ROAD
:4400 BLOCK OF HOG MOUNTAIN ROAD
MAP NUMBER :R3003 042
ACREAGE :23.47 ACRES
UNITS :48 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(3) HUNTER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

9. CASE NUMBER :**RZR2018-00037 (PUBLIC HEARING HELD)**
APPLICANT :ALPHONSA HOMES INC.
CONTACT :JOS KANNUKKADEN
PHONE NUMBER :404.663.6217
ZONING CHANGE :R-100 & C-2 TO OSC
LOCATION :4500 BLOCK OF ROSEBUD ROAD
MAP NUMBERS :R4275 001 & 033
ACREAGE :14.55 ACRES
UNITS :19 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(3) HUNTER
DEPARTMENT RECOMMENDATION :**DENIAL**

G. NEW BUSINESS

1. CASE NUMBER :**RZC2018-00019**
APPLICANT :MOHAMAD SAMNANI
PHONE NUMBER :678.469.1570
ZONING CHANGE :R-100 TO C-2
LOCATION :5300 BLOCK OF SUGARLOAF PARKWAY
:1500 BLOCK OF ATKINSON ROAD
MAP NUMBERS :R7043 136 & 138
ACREAGE :1.49 ACRES
SQUARE FEET :6,000 SQUARE FEET
PROPOSED DEVELOPMENT :CONVENIENCE STORE W/FUEL PUMPS
(BUFFER REDUCTION)
COMMISSION DISTRICT :(1) BROOKS
DEPARTMENT RECOMMENDATION :**DENIAL**

2. CASE NUMBER :**RZC2018-00020**
APPLICANT :SUSAN ALIAS
CONTACT :COLIN EDWARDS
PHONE NUMBER :404.242.7462
ZONING CHANGE :O-I & R-100 TO C-2
LOCATION :4100 BLOCK OF CENTERVILLE HIGHWAY
:4100 BLOCK OF ANDERSON LIVSEY LANE
:4400 BLOCK OF CASTLE GATE DRIVE

MAP NUMBERS :R6005 073 & 269
ACREAGE :2.58 ACRES
SQUARE FEET :10,500 SQUARE FEET
PROPOSED DEVELOPMENT :COMMERCIAL RETAIL (BUFFER REDUCTION)
COMMISSION DISTRICT :(3) HUNTER
DEPARTMENT RECOMMENDATION :**DENIAL**
3. CASE NUMBER :**RZR2018-00038**
APPLICANT :HARBORSTONE PROPERTIES, LLC
CONTACT :MITCH PEEVY
PHONE NUMBER :770.614.6511
ZONING CHANGE :RA-200 TO R-100
LOCATION :3800 BLOCK OF BAILEY ROAD
:100 BLOCK OF WEST UNION GROVE CIRCLE

MAP NUMBERS :R2003 985 & 986
ACREAGE :3.53 ACRES
UNITS :5 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY RESIDENCES
COMMISSION DISTRICT :(3) HUNTER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
4. CASE NUMBER :**RZR2018-00039**
APPLICANT :HARBORSTONE PROPERTIES, LLC
CONTACT :MITCH PEEVY
PHONE NUMBER :770.614.6511
ZONING CHANGE :RA-200 TO R-100
LOCATION :3700 BLOCK OF BAILEY ROAD
:100 BLOCK OF WEST UNION GROVE CIRCLE

MAP NUMBER :R2003 094
ACREAGE :4.66 ACRES
UNITS :6 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY RESIDENCES
COMMISSION DISTRICT :(3) HUNTER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

5. CASE NUMBER :**RZR2018-00040**
APPLICANT :BLUE RIVER DEVELOPMENT, LLC
CONTACT :BRAD COOPER
PHONE NUMBER :404.797.7325
ZONING CHANGE :R-100 TO R-SR
LOCATION :1800-1900 BLOCKS OF BENNETT ROAD
MAP NUMBERS :R5121 003, 017, 027, 028, 035, 039 & 043
ACREAGE :22.06 ACRES
UNITS :77 UNITS
PROPOSED DEVELOPMENT :SENIOR ORIENTED RESIDENCES
COMMISSION DISTRICT :(3) HUNTER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
6. CASE NUMBER :**SUP2018-00063**
APPLICANT :JP ALFONSO STUDIOS, LLC
CONTACT :SAMANTHA ALFONSO
PHONE NUMBER :770.876.4552
ZONING :C-2
LOCATION :5000 BLOCK OF JIMMY CARTER BOULEVARD
MAP NUMBER :R6190 185
ACREAGE :0.28 ACRE
SQUARE FEET :2,250 SQUARE FEET
PROPOSED DEVELOPMENT :TATTOO PARLOR (RENEWAL)
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
7. CASE NUMBER :**SUP2018-00064**
APPLICANT :BERNADINO D'ALMEIDA
PHONE NUMBER :404.422.1869
ZONING :M-1
LOCATION :4100 BLOCK OF ARCADIA INDUSTRIAL CIRCLE
MAP NUMBER :R6125 022
ACREAGE :1.0 ACRE
SQUARE FEET :7,533 SQUARE FEET
PROPOSED DEVELOPMENT :AUTOMOBILE REPAIR & AUTOMOBILE BODY REPAIR
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**

8. CASE NUMBER	: SUP2018-00065
APPLICANT	:SUZIE HOME CARE INC.
CONTACT	:YOUNG SOON CHO
PHONE NUMBER	:770.309.3788
ZONING	:M-1
LOCATION	:4100 BLOCK OF SHACKLEFORD ROAD
MAP NUMBER	:R6209 003
ACREAGE	:14.61 ACRES
SQUARE FEET	:23,057 SQUARE FEET
PROPOSED DEVELOPMENT	:ADULT DAY CARE CENTER
COMMISSION DISTRICT	:(1) BROOKS
DEPARTMENT RECOMMENDATION	: APPROVAL WITH CONDITIONS

H. AUDIENCE COMMENTS

I. COMMITTEE REPORTS

J. COMMENTS BY STAFF AND PLANNING COMMISSION

K. ADJOURNMENT

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :**RZR2018-00022**
ZONING CHANGE :R-100 TO OSC
LOCATION :3900 BLOCK OF LAKE CARLTON ROAD
MAP NUMBERS :R5127 090 & R5128 002
ACREAGE :55.23 ACRES
UNITS :126 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(3) HUNTER

FUTURE DEVELOPMENT MAP: **EXISTING/EMERGING SUBURBAN**

APPLICANT: GCIP SIX, LLC
C/O MAHAFFEY PICKENS TUCKER, LLP
1550 NORTH BROWN ROAD, SUITE 125
LAWRENCEVILLE, GA 30043

CONTACT: SHANE LANHAM PHONE: 770.232.0000

OWNER: GCIP SIX, LLC
390 BROGDON ROAD
SUWANEE, GA 30024

DEPARTMENT RECOMMENDATION: **DENIAL**

PROJECT DATA:

The applicant requests rezoning of a 55.23-acre parcel assemblage from R-100 (Single-Family Residence District) to OSC (Open Space Conservation District), to construct a 126-lot single-family subdivision. The subject property is located on the southern side of Lake Carlton Road. The property is wooded and undeveloped, with a stream, floodplain and wetlands along the western portion of the site.

The net area of the subject property is 53.13-acres, as the property contains 4.2-acres of floodplain area. The proposed net density of 2.37 units per acre is less than the maximum 2.5 units per acre allowed in the OSC zoning district. The submitted site plan indicates a total of 20.3-acres (approximately 36.7 percent of the gross land area) would be set aside as conservation space. A recreation area is proposed on the eastern portion of the development. Primary and secondary conservation areas are proposed adjacent to the stream and within the floodplain. A single point of access is proposed into the development at the terminus of this section of Lake Carlton Road. Two proposed stormwater management ponds would be provided adjacent to the existing stream on the west side of the property, not included in the conservation area calculation.

The proposed development would have a lot width of 60 feet and a minimum lot area of 7,500 square feet, which meets the minimum zoning district requirements. The applicant has proposed a minimum home size of 1,400 square feet with two-car garages. Further, the exteriors of all dwellings are proposed to be a mixture of brick, stone, board and batten, or fiber-cement siding on the front façade, with the balance of the home the same or wood, cedar shake and siding.

An OSC zoned development requires a form of transition when located adjacent to agricultural or single-family residential uses. The UDO (Unified Development Ordinance) provides three options, and the applicant has chosen to provide a 50-foot conservation strip adjacent to properties zoned R-100 (Single-Family Residence District). The site plan reflects a 50-foot conservation strip along the exterior property lines in order to meet this requirement.

ZONING HISTORY:

In 1970 the subject property was zoned R-100.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property contains areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development. The applicant/developer shall obtain all required approvals from the Gwinnett County Department of Water Resources and the U.S. Army Corps of Engineers for construction or land disturbance activities which may impact floodplain or wetland areas.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

No Existing Features Analysis Plan for this site has been provided for review.

Portions of this site appear to be heavily wooded and may include specimen trees which are required by the UDO to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of development plans for review.

A subdivision Concept Plan for OSC subdivisions must be submitted and approved prior submittal of Development Plans for review.

Five-foot wide sidewalks are required along Lake Carlton Road frontage. Although the road was closed many years ago when the dam breached, the existing right of way provides a great opportunity for a pedestrian connection.

Although the letter of intent refers to a network of sidewalks, the only sidewalks apparent on the rezoning exhibit are those along the interior subdivision streets referenced on the Typical Lot Layout.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

The property appears to contain floodplain and stream buffers. The proposed conceptual plan may require revision to show the appropriate floodplain and stream buffers.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Lake Carlton Road is a Local Residential Street and 25 feet of right of way is required from the centerline.

Lake Carlton Road is currently a substandard road and will require to be brought up to current minimum standards as per the Unified Development Ordinance.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 6-inch water main located on the north and northeast right of way of Lake Carlton Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8- and 24-inch sanitary sewer main located on parcel R5128 002.

The subject development is located within the Lower Big Haynes service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The applicant seeks rezoning of a parcel assemblage from R-100 to OSC in order to develop a 126-lot single-family residential subdivision. The subject property is located on the southern side of Lake Carlton Road. The property is wooded and undeveloped, with a stream, floodplain and wetlands on the site.

The 2030 Unified Plan Future Development Map indicates the property is located within an Existing/Emerging Suburban Character Area. Policies for this Character Area encourage residential in-fill development at densities and architectural character compatible with existing development. Lake Carlton Road is a substandard local residential street and the addition of 126 homes to this area may be out of character and incompatible with the recommendations of the Unified Plan.

Lake Carlton Road is developed with 38 single-family homes on large lots. The size of these lots range from 18,731 square feet to 6.0 acres. The combined density of the existing homes is estimated at 1.12 units per acre. The addition of 126 homes at a density of 2.37 would triple the number of homes along this segment of Lake Carlton Road. Beyond the immediate Lake Carlton Road area, to the north is the Bradford Park subdivision, zoned R-100, to the west is the Cobblestone Mill subdivision, zoned R-100 Modified, to the south is the Breckinridge Club subdivision zoned R16 (City of Loganville), and to the east is the Hogans Mill subdivision, zoned R-100. Only the Hogans Mill and Bradford Park subdivisions access Lake Carlton Road and do so within 1,500 feet of its intersection with Old Loganville Road. The proposed OSC subdivision would be constructed at the terminus of Lake Carlton Road, approximately one mile from its intersection with Old Loganville Road. Therefore, development of this property as proposed may be inconsistent with the development pattern of nearby residential subdivisions.

The requested OSC zoning may not be consistent with policies of the Unified Plan which require that infill development be consistent or compatible in scale with immediate surrounding uses. The proposed subdivision may not be compatible in scale with the low density subdivisions and estate homes on acreage that comprise the surrounding area. Therefore, the Department of Planning and Development recommends **DENIAL** of the request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Note: The following conditions are provided as a guide should the Board choose to approve the request.

Approval as OSC (Open Space Conservation Subdivision), subject to the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Single-family detached dwellings and accessory uses and structures, not to exceed 126 lots.
 - B. The minimum heated floor area per dwelling unit shall be 2,200 square feet for one-story homes and 2,400 square feet for two-story homes.
 - C. Homes shall be constructed with front facades of primarily brick or stacked stone. The balance of the home may be the same, or of fiber-cement siding or shake with a minimum three-foot high brick or stacked stone water table.
 - D. All dwellings shall have at least a double-car garage.
2. To satisfy the following site development considerations:
 - A. Provide a centrally located open space within the development. Open Space shall include a community park green space, recreational area features to include a pool, cabana, tennis courts and playground to be located centrally to the homes within the development. Design and location of open space and community features shall be subject to review and approval of the Director of Planning and Development.
 - B. A minimum 50-foot wide conservation space strip shall be provided around the perimeter of the property.
 - C. No direct lot access shall be allowed onto Lake Carlton Road.
 - D. The Lake Carlton Road frontage and project entrance shall be landscaped by the developer and maintained by the Homeowners Association. Entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval of the Director of Planning and Development.
 - E. Natural vegetation shall remain on the property until the issuance of a development permit.
 - F. All grassed areas on dwelling lots shall be sodded.

- G. All utilities shall be placed underground.
 - H. Building lots shall not be located within any required stream buffers or accompanying impervious surface setback areas.
 - I. Detention pond(s) shall be designed and constructed in a manner which creates a visual amenity within the development. Concrete walls shall be prohibited. Any fencing shall be decorative in nature only. Final stormwater detention pond plans shall be subject to the review and approval of the Director of Planning and Development.
3. To abide by the following requirements, dedications and improvements:
- A. Lake Carlton Road shall be brought up to current minimum standards as per the Unified Development Ordinance and the Gwinnett County Department of Transportation.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The proposed OSC project with smaller lot sizes and increased density may not be suitable in light of the neighboring single-family homes with larger lots.

ADVERSE IMPACTS

With the recommended conditions, potential impacts should be minimized.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

An increased impact on public facilities could be anticipated in the form of increased traffic, school enrollment, stormwater runoff and utility demand.

CONFORMITY WITH POLICIES

The 2030 Unified Plan Future Development Map indicates that the site is located in the Existing/Emerging Suburban Character Area. The requested OSC zoning may not be in accordance with recommended policies of the 2030 Unified Plan that emphasizes compatibility with neighboring single-family development.

CONDITIONS AFFECTING ZONING

The proposed OSC subdivision would be constructed at the terminus of Lake Carlton Road, approximately one mile from its intersection with Old Loganville Road. Therefore development of this property as proposed may be inconsistent with the development pattern of nearby residential subdivisions.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Please see attached

RECEIVED BY

JUN 01 2018

RZR '18 022

Planning & Development

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) Approval of the proposed development, as a single-family residential neighborhood that will conserve important natural areas, will permit a use that is suitable in view of the use and development of adjacent and nearby properties.
- (B) The proposed rezoning will not adversely affect the existing use or usability of nearby properties. The proposed development is compatible with surrounding development.
- (C) Due to the size, layout, location, and topography of the subject property, the Applicant submits that the subject property does not have reasonable economic use as currently zoned.
- (D) The proposed rezoning will not result in an excessive or burdensome use of the infrastructure systems. The subject property is located off of Lake Carlton Road with access to utilities. The proposed development would also have convenient access to U.S. Route 78 via Midway Road and Old Loganville Road.
- (E) The proposed rezoning is in conformity with the policy and intent of the Land Use Plan. The Property is located in the Existing/Emerging Suburban Character Area where single-family residential subdivisions are encouraged by the Gwinnett County 2030 Unified Plan.
- (F) The Applicant submits that the single-family residential nature of the area as well as the extensive conservation areas that would be preserved further justify approval of the application.

RECEIVED BY

JUN 01 2018

Planning & Development

RZR '18 022



Matthew P. Benson
 Gerald Davidson, Jr.*
 Brian T. Easley
 Kelly O. Faber
 Mary Grace Griffin
 Christopher D. Holbrook
 Nicholas N. Kemper
 Shane M. Lanham

Austen T. Mabe
 Jeffrey R. Mahaffey
 David G. McGee
 Steven A. Pickens
 Thomas A. Simpson
 Andrew D. Stancil
 R. Lee Tucker, Jr.
 *Of Counsel

**LETTER OF INTENT FOR REZONING APPLICATION
 OF GCIP SIX, LLC**

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and attached Rezoning Application (the “Application”) on behalf of GCIP SIX, LLC (the “Applicant”) for the purpose of rezoning to the OSC zoning classification an approximately 55.23 acre tract of land (the “Property”) situated along Lake Carlton Road in southeastern Gwinnett County. The Property is currently zoned R-100.

The Applicant proposes to develop the Property for use as a single-family residential community including 126 single-family homes at a net density of approximately 2.37 units per acre, which is below the maximum allowed density of 2.5 units per acre prescribed for the OSC zoning classification in the Gwinnett County Unified Development Ordinance (the “UDO”). Further, the Property is located within the Existing/Emerging Suburban Character Area as set forth on the Gwinnett County 2030 Unified Plan Future Development Map. Promoting a variety of housing options for Gwinnett County residents is one of the policy goals of the Unified Plan and encouraged land uses for the Existing/Emerging Suburban Character Area include single-family residential development which is compatible with surrounding land uses. The Unified Plan further provides that “new residential development within the Existing/Emerging Suburban Character Area and in the vicinity of existing low density, single-family subdivisions should not

RECEIVED BY
JUN 01 2018
Planning & Development

RZR '18 022

exceed the 3.0 units per acre density.” At a net density of 2.37 units per acre, the proposed development is compatible with the policies of the Unified Plan.

The proposed single-family community would consist of homes at a size, quality, and price-point commensurate with or exceeding homes in the surrounding area and would also be compatible with other property along the nearby Brushy Fork Road zoned R-100 CSO, R-100 Modified, and OSC. The proposed homes would contain a minimum of 1,400 square feet of heated floor area and include two-car garages and covered entrances. Exteriors of the homes would be constructed with an attractive mix of brick, stone, board and batten, and/or fiber-cement shake or siding.

The proposed development would also include substantial buffering along adjacent property zoned R-100. At a minimum, the UDO calls for a 50-foot buffer around the perimeter of the development, which is depicted on the site plan. Further, more than 20 acres of land is set aside within the proposed development as primary and secondary conservation space which is nearly 40% of the Property’s gross area. This proposed conservation space, which exceeds the minimum amounts required by the UDO, provides additional open/green space which further buffers the proposed development from adjacent properties. Additionally, this conservation space would provide an amenity for residents and would be accessible at multiple points by way of sidewalks which run throughout the proposed development. The proposed network of sidewalks, pocket parks, and conservation space create a walkable environment which promotes a healthy lifestyle.

The Applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Department of Planning & Development to answer any questions or to address

RECEIVED BY

JUN 01 2018

RZR '18 022

Planning & Development

any concerns relating to the matters set forth in this letter or in the Rezoning Application filed herewith. The Applicant respectfully requests your approval of this Application.

Respectfully submitted this 1st day of June, 2018.

MAHAFFEY PICKENS TUCKER, LLP



Shane M. Lanham

Attorneys for Applicant

RECEIVED BY

JUN 01 2018

Planning & Development

RZR '18 022

**Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County, August 2018**

Case #	Schools	Current Projections									Proposed Zoning Approximate additional Student Projections from Proposed Developments
		2018-19			2019-20			2020-21			
		Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	
RZM2018-00012	Parkview HS	3,016	2,500	516	3,061	2,500	561	3,107	2,900	207	11
	Trickum MS	2,187	1,775	412	2,220	1,775	445	2,253	1,775	478	8
	Arcado ES	1,016	750	266	1,001	750	251	1,017	750	267	15
RZM2018-00013	Grayson HS	3,044	2,125	919	3,128	2,125	1,003	3,222	2,125	1,097	22
	Couch MS	1,080	1,150	-70	1,102	1,150	-48	1,124	1,150	-26	16
	Starling ES	1,034	1,200	-166	1,065	1,200	-135	1,097	1,200	-103	31
RZM2018-00014	Grayson HS	3,044	2,125	919	3,128	2,125	1,003	3,222	2,125	1,097	44
	Couch MS	1,080	1,150	-70	1,102	1,150	-48	1,124	1,150	-26	32
	Starling ES	1,034	1,200	-166	1,065	1,200	-135	1,097	1,200	-103	62
RZR2018-00016	South Gwinnett HS	2,634	2,750	-116	2,674	2,750	-76	2,714	2,750	-36	27
	Grace Snell MS	1,254	1,200	54	1,273	1,200	73	1,292	1,200	92	19
	Rosebud ES	1,050	1,200	-150	1,040	1,200	-160	1,051	1,200	-149	38
RZR2018-00019	Mill Creek HS	3,674	2,800	874	3,729	2,800	929	3,785	2,800	985	41
	Jones MS	981	975	6	1,001	975	26	1,021	975	46	29
	Ivy Creek ES	1,214	1,275	-61	1,263	1,275	-12	1,313	1,275	38	57
RZR2018-00020	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	45
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	32
	Mulberry ES	780	975	-195	819	975	-156	860	975	-115	63
RZR2018-00021	Brookwood HS	3,625	2,575	1,050	3,669	2,575	1,094	3,713	2,575	1,138	10
	Five Forks MS	1,150	1,150	0	1,173	1,150	23	1,197	1,150	47	7
	Gwin Oaks ES	994	875	119	1,004	875	129	1,015	875	140	13
RZR2018-00022	South Gwinnett HS	2,634	2,750	-116	2,674	2,750	-76	2,714	2,750	-36	40
	Grace Snell MS	1,254	1,200	54	1,273	1,200	73	1,292	1,200	92	29
	Magill ES	1,141	1,525	-384	1,152	1,525	-373	1,163	1,525	-362	57
RZR2018-00023	Mill Creek HS	3,674	2,800	874	3,729	2,800	929	3,785	2,800	985	1
	Osborne MS	1,712	1,575	137	1,729	1,575	154	1,746	1,575	171	1
	Duncan Creek ES	1,336	1,300	36	1,376	1,300	76	1,417	1,300	117	2

Current projections do not include new developments



RECEIVED BY

JUN 01 2018

RZR '18 022

Planning & Development



RECEIVED BY

JUN 01 2018

Planning & Development

RZR '18 022



LEFT SIDE ELEVATION



REAR ELEVATION



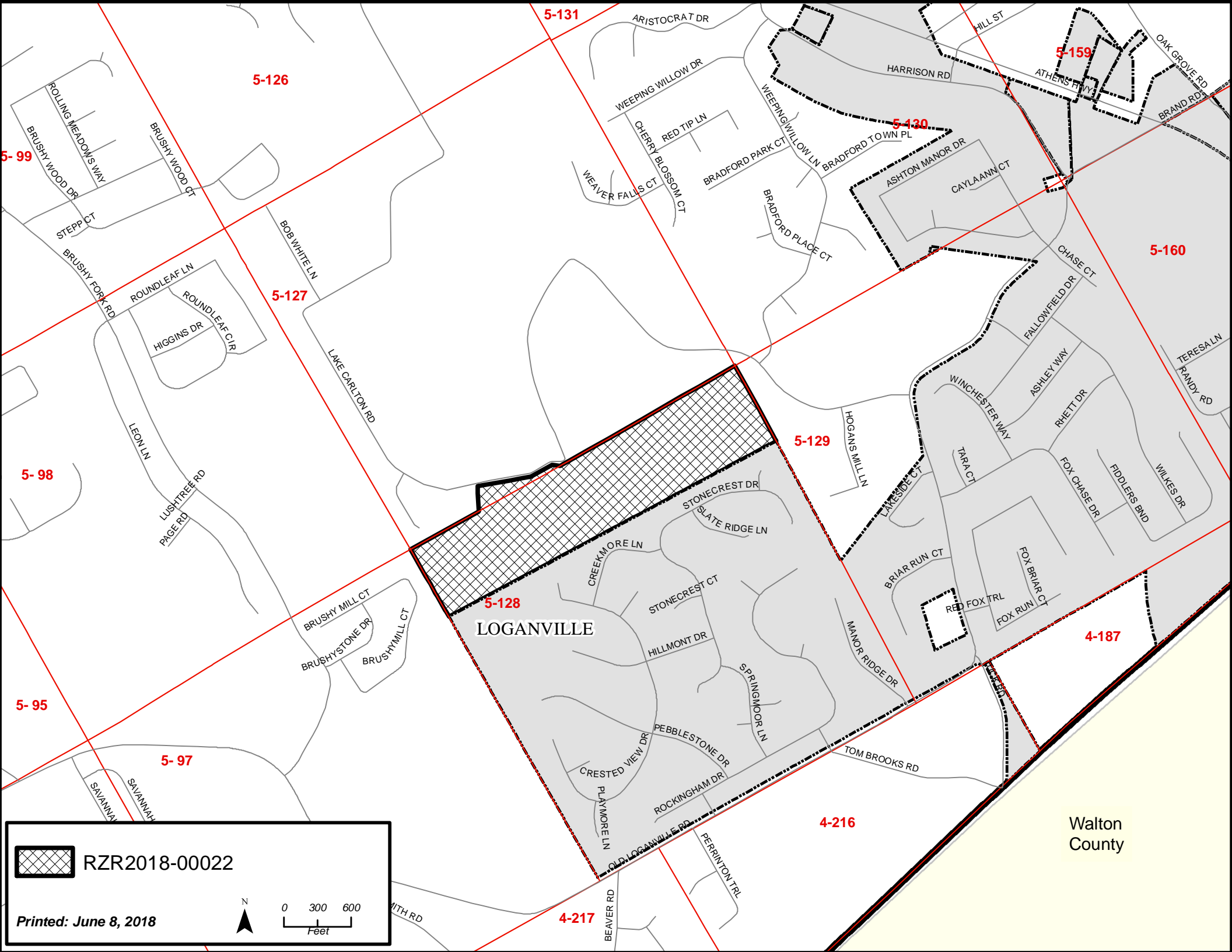
RIGHT SIDE ELEVATION

RECEIVED BY


JUN 01 2018

Planning & Development

RZR '18 022



LOGANVILLE

 RZR2018-0002

Printed: June 8, 2018



0 300 600
Feet

Walton County

RECEIVED BY

JUN 01 2018

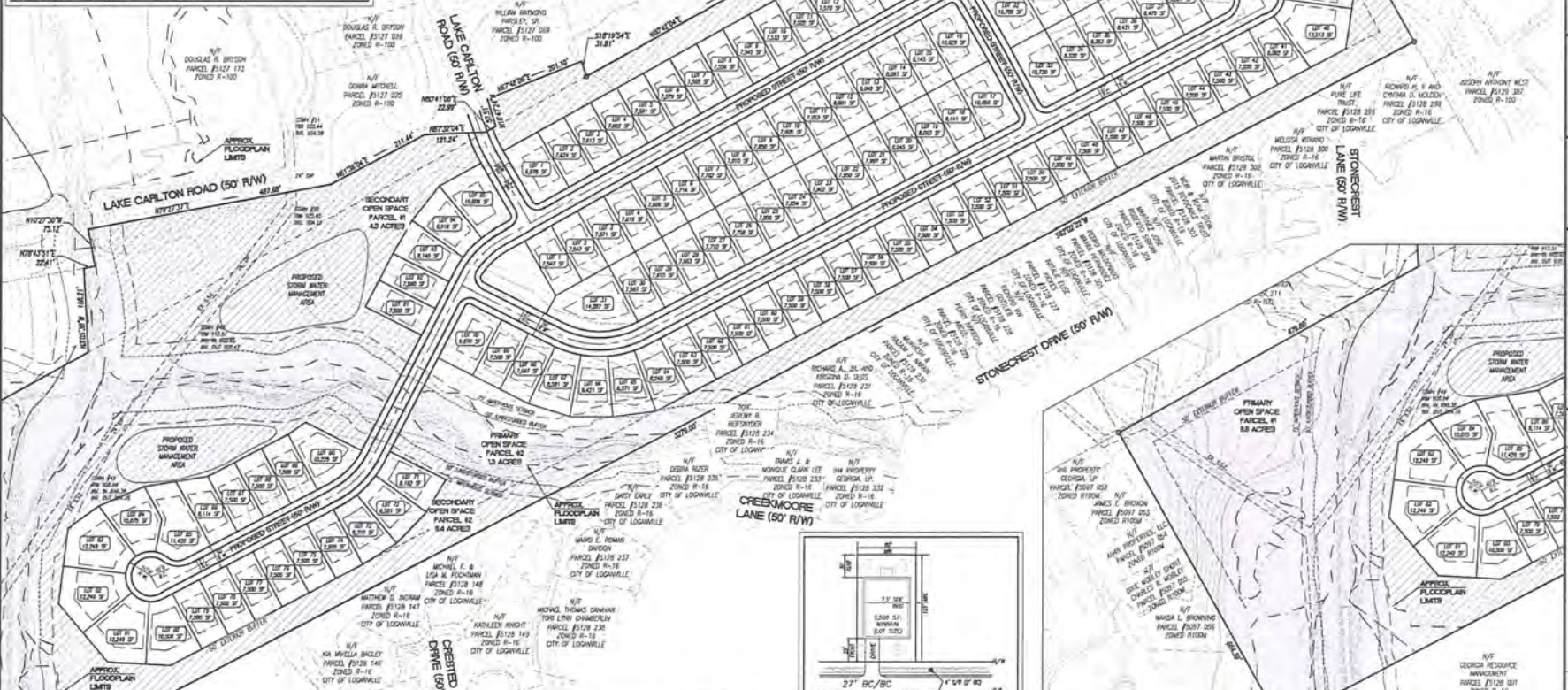
Planning & Development

- REZONING SUMMARY**

 1. TOTAL PROPERTY ZONING ACREAGE = 3.5823 AC.
 2. TAX PARCELS: 5-127-090 & 5-128-002
 3. CURRENT ZONING: R-100 (DOWNETT COUNTY)
 4. PROPOSED ZONING: OSC
 5. TOTAL NUMBER OF LOTS: 126
CROSS DENSITY: 2.28 UNITS/ACRE
NET DENSITY: 2.37 UNITS/ACRE
 6. ZONE "M" & "X" FLOODPLAIN AREA = 0.42 AC. (7.0%)
 7. TYPICAL LAYOUT DIMENSIONS:
SINGLE FAMILY FRONT ENTRY LOT = 10' x 125' (7,500 SF.)
 8. LOTS SHOWN ARE FOR SINGLE-FAMILY USE ONLY.
 9. REQUIRED SETBACKS: FRONT ENTRY SINGLE-FAMILY LOTS
FRONT SETBACK = 25' FROM R/W (50' EXTERIOR BUFFER)
SIDE SETBACK = 7.5 FEET
REAR SETBACK = 30 FEET
MAXIMUM BUILDING HEIGHT: 35 FT. (1ST BUILDING SEPARATION)
 10. MINIMUM REQUIRED OPEN SPACE (UDG 210-50.12 TABLE 210.1) = 313.8 AC. (25%)
PRIMARY OPEN SPACE REQUIRED (15%) = 8.3 AC.
SECONDARY OPEN SPACE PROVIDED = 12.7 AC.
AREA OF STORM WATER MANAGEMENT FACILITIES & SEWER CSMT. = 22.5 AC.
CREDITABLE SECONDARY OPEN SPACE PROVIDED = 11.1 AC.
CREDITABLE PRIMARY AND SECONDARY OPEN SPACE PROVIDED = 20.3 AC. (16.7%)
 11. TOTAL LENGTH OF STREET: (27' B/C) 43,075 L.F.
 12. SIDEWALKS PROPOSED ON BOTH SIDE OF INTERNAL STREET.

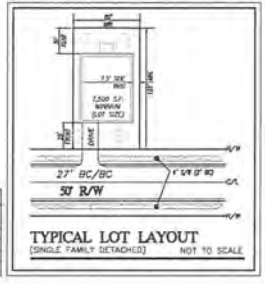
REZONING NOTES:

 1. BOUNDARY INFORMATION COMPILED FROM DEED RESEARCH.
 2. PORTIONS OF THE SUBJECT PROPERTY ARE LOCATED WITHIN A ZONE "M" FLOOD HAZARD AREA AS PER DOWNETT COUNTY FLOOD COMMUNITY PANEL NO. 13135001407, DATED SEPTEMBER 28, 2006.
 3. TOPOGRAPHIC AND UTILITY INFORMATION BASED ON DOWNETT COUNTY GIS. DATUM IS MEAN SEA LEVEL.
 4. WATER AND SANITARY SEWER SERVICE TO BE PROVIDED BY DOWNETT COUNTY.
 5. ALL CONSTRUCTION SHALL CONFORM TO THE DOWNETT COUNTY STANDARDS AND SPECIFICATIONS.
 6. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
 7. STREETLIGHTS ARE TO BE PROVIDED ALONG ONE SIDE OF EVERY STREET AND SHALL BE A MINIMUM OF 16 FEET HIGH AND A MAXIMUM OF 20 FEET HIGH IF OVERHANGING INTO THE STREET, AND PLACED NO MORE THAN 160 FEET APART.
 8. STREET TREES AND LOT TREES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 606 OF THE DOWNETT COUNTY UDO.
 9. SIDEWALKS SHALL BE PROVIDED AS REQUIRED IN SECTION 800-90 OF TITLE 3 OF THE DOWNETT COUNTY UDO.
 10. ALL PROPOSED BUILDINGS SHALL CONFORM TO THE FOLLOWING ARCHITECTURAL STANDARDS AS REQUIRED BY THE DOWNETT COUNTY UDO FOR OSC ZONED (CATEGORY 2) PROJECTS.
 11. THERE ARE NO KNOWN HISTORICAL, ARCHAEOLOGICAL OR OTHER SIGNIFICANT FEATURES ON THE SITE.
 12. THE OWNER/APPLICANT CERTIFIES THAT THE PROPERTY HAS NOT BEEN INVESTED FOR FINANCIAL INTEREST IN THE PREVIOUS 24 MONTHS PRIOR TO FILING THIS REQUEST FOR REZONING FOR OSC ZONING.
 13. SITE PLAN IS CONCEPTUAL IN NATURE AND IS SUBJECT TO CHANGE BASED ON ACTUAL FIELD CONDITIONS.



LOT CHART

BLOCK #	NUMBER OF LOTS
BLOCK 'A'	55
BLOCK 'B'	31
TOTALS	126



PREPARED FOR:
FIELDSTONE PROPERTIES AND DEVELOPMENT
 390 BROGDON ROAD
 SUWANEE, GA. 30024

PROJECT NAME:
MCG LAKE CARLTON TRACT

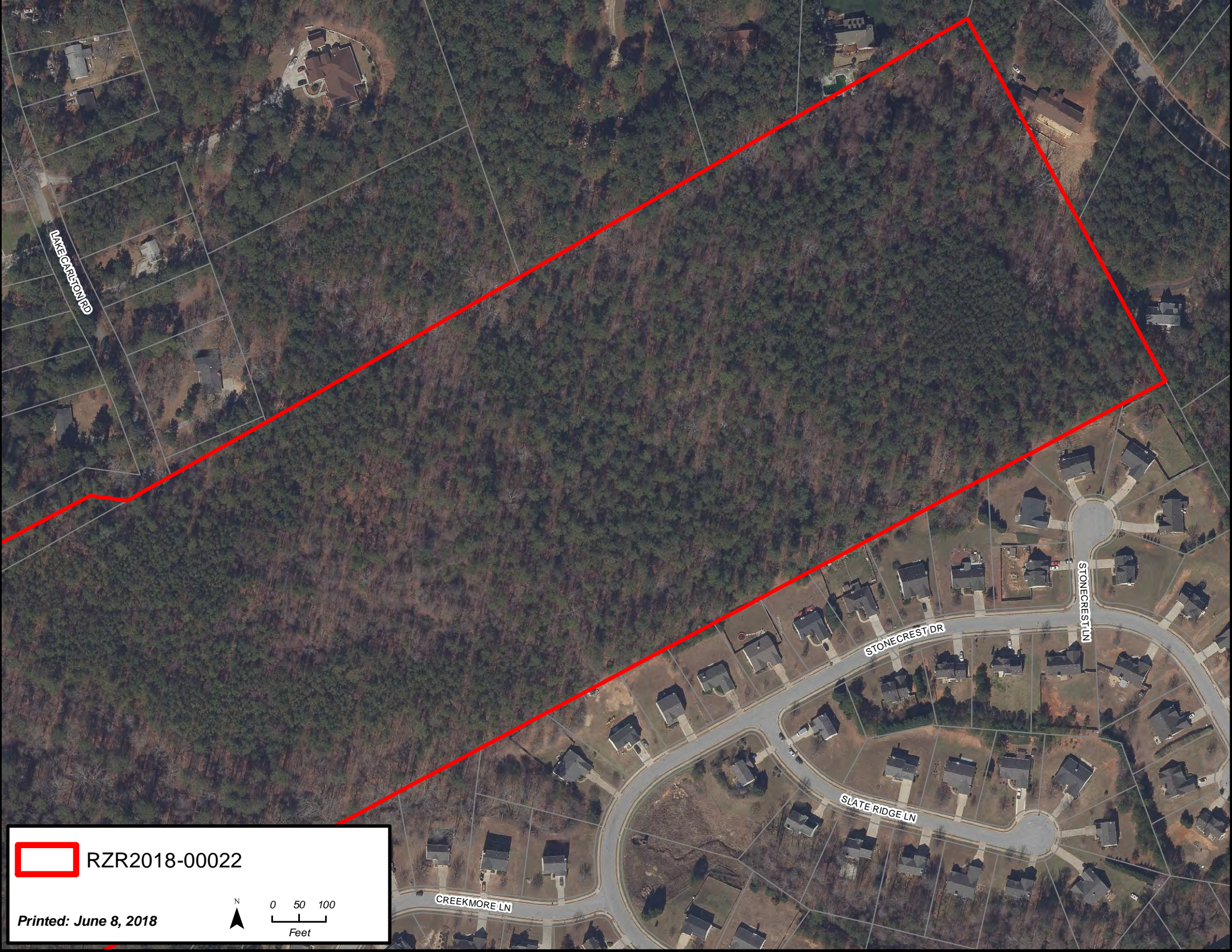
TASK:
CONCEPTUAL REZONING EXHIBIT

PROJECT INFORMATION:
 MCG LAKE CARLTON TRACT
 Project Name:
 17-019
 Project Number:
 NEAR OLD LOGANVILLE ROAD
 Project Address:
 127 N-129
 Town/County:
 166 PARCEL 0128 001 0127 001
 District:
 DOWNETT COUNTY, GA
 County, State

DATE	REVISION

DESIGN AS SHOWN SCALE:
 RIVER CRAWLER
 SHEET: **1 of 1**
 04/30/18 17-019 PROJECT NO.





LAKECROFT RD

STONECREST DR

STONECREST LN

SLATE RIDGE LN

CREEKMORE LN



RZR2018-00022



0 50 100
Feet

Printed: June 8, 2018



RZR2018-00022



0 200 400
Feet

Printed: June 8, 2018



LAKE CARLTON RD

CARLTON COLLECT

MILL CT

CREEKMORE LN

CRESTED VIEW DR

CRESTED VIEW CIR

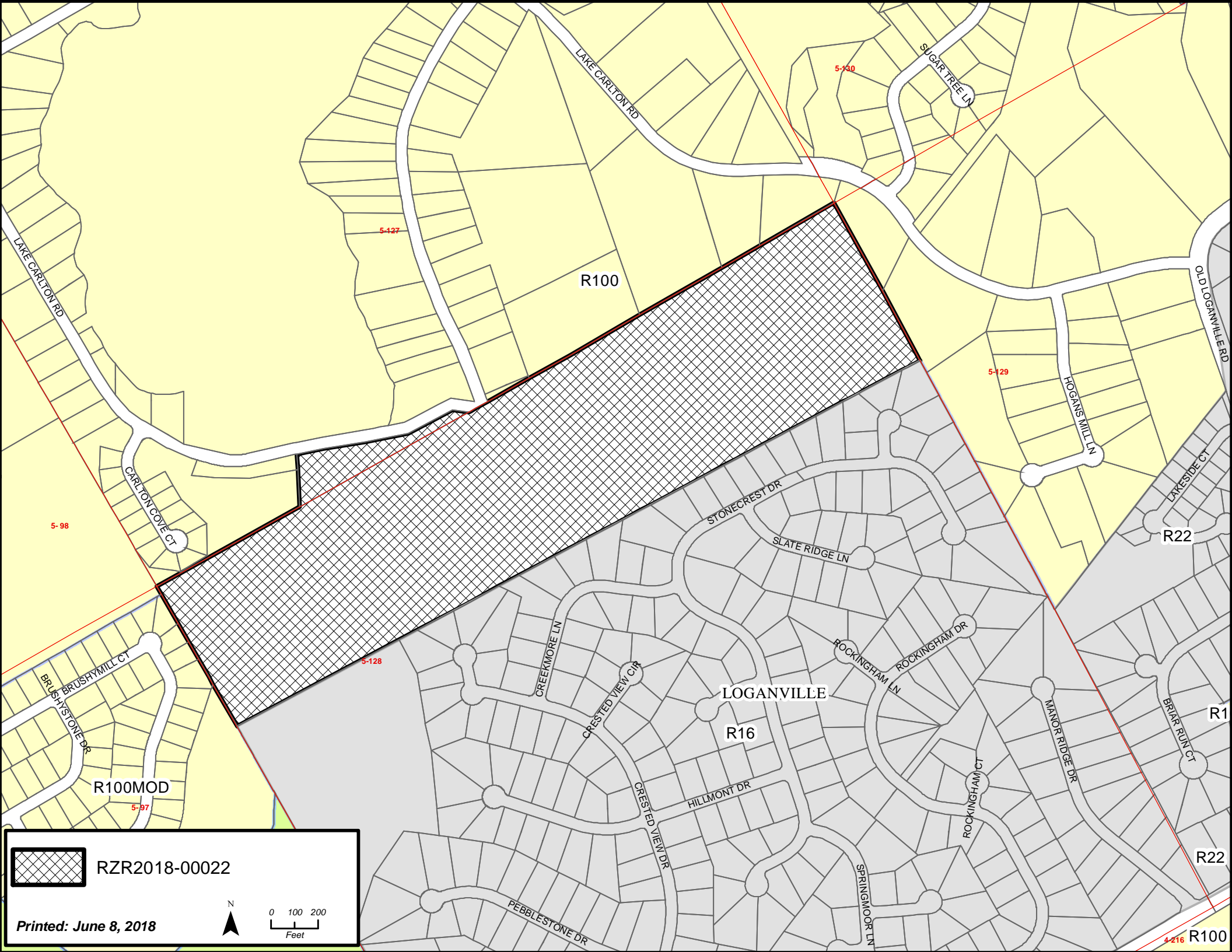



RZR2018-00022



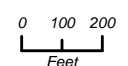
0 50 100
Feet

Printed: June 8, 2018



 RZR2018-00022

Printed: June 8, 2018



4-216 R100

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :RZR2017-00011
ZONING CHANGE :RA-200 TO OSC
LOCATION :2400 BLOCK OF SUNNY HILL ROAD
:2500 BLOCK OF MORGAN ROAD
MAP NUMBER :R7136 001
ACREAGE :86.15 ACRES
UNITS :112 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(4) HEARD

FUTURE DEVELOPMENT MAP: **EXISTING/EMERGING SUBURBAN**

APPLICANT: HOME SOUTH COMMUNITIES, LLC
C/O MAHAFFEY PICKENS TUCKER, LLP
1550 N. BROWN ROAD, SUITE 125
LAWRENCEVILLE, GA 30043

CONTACT: SHANE LANHAM PHONE: 770.232.0000

OWNER: JOHN T. LAMB
2496 SUNNY HILL ROAD
BUFORD, GA 30519

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests rezoning of an 86.15-acre parcel from RA-200 (Agriculture-Residence District) to OSC (Open Space Conservation District), to construct a 112-lot single-family subdivision. The property is located on both sides of Sunny Hill Road, just south of its intersection with Morgan Road, and south of Interstate 85. The property is presently developed with an existing single-family residence, a few accessory structures, pastureland, wooded areas, ponds, and Little Ivy Creek that runs east to west across the southern portion of the property. The right-of-way of Sunny Hill Road separates the property into two portions, and a portion of the proposed Sugarloaf Parkway would bisect the property from north to south.

The subject site contains 30.75 acres of floodplain on the property. The proposed total 112-unit development would have a gross density of 1.3 units per acre and net density of 1.58 units per acre. The site plan shows that the smaller portion of the property east of Sunny Hill Road would have 20 lots accessed via one new roadway off Morgan Road at the north side of the property, with a stormwater management area, and 10.45 acres of primary and secondary open space. The western, larger portion of the property is proposed with 92 lots accessed via one

new roadway off Sunny Hill Road, with its own stormwater management area and a total of 42.48 acres of primary and secondary open space, exceeding the minimum requirement of 21.5 acres (25 percent of the property). Some proposed lots encroach into the required impervious setback and would require Variance approval for reduced setbacks.

According to the site plan, the minimum lot width for the development would be 60 feet, with a minimum lot area of 7,500 square feet, meeting the minimum requirements for the requested zoning classification. The applicant has proposed a minimum dwelling size of 2,250 square feet, and all units would include two-car garages. Submitted elevations indicate homes would be primarily brick, stone and shake on the front façade, with the remaining sides of each home being constructed with fiber-cement siding.

An OSC-zoned development requires a form of transition when located adjacent to agricultural or single-family residential uses. The Unified Development Ordinance (UDO) provides three options, and the applicant has chosen to provide a 50-foot conservation space strip adjacent to properties zoned R-100 and RA-200. The site plan reflects a 50-foot undisturbed stream buffer and 75-foot impervious setback along Little Ivy Creek located on the south side of the property. Also reflected on the submitted site plan is the required 50-foot street frontage buffer along the right-of-way of Sunny Hill Road/Morgan Road for both portions of the property.

ZONING HISTORY:

The property has been zoned RA-200 since 1970.

GROUNDWATER RECHARGE AREA:

The subject property is located within an identified Significant Groundwater Recharge Area. The Georgia Department of Community Affairs and Department of Natural Resources have mandated that Significant Groundwater Recharge Areas be identified and that minimum lot sizes for septic tanks be increased in these resource areas. Please contact Gwinnett County Environmental Health for septic system information and/or Gwinnett Department of Water Resources regarding availability of sanitary sewer for this site.

WETLANDS INVENTORY:

The subject property contains areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett Department of Planning and Development. The applicant/developer shall obtain all required approvals from the Gwinnett Department of Public Utilities and the U.S. Army Corps of Engineers for construction or land disturbance activities which may impact floodplain or wetland areas.

OPEN SPACE AND GREENWAY MASTER PLAN:

No Comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

The Buffer, Landscape and Tree Protection Section of the Unified Development Ordinance (Chapter 620) requires submittal and approval of a Tree Preservation and Replacement Plan prepared by a professional landscape architect prior to securing a Land Disturbance or Development permit.

Parking lots and interior driveways shall be designed in accordance with Chapter 240 of the Unified Development Ordinance.

Section 900-20.7 of the Unified Development Ordinance requires either direct alignment of public streets opposite each other, or have offsets as shown in Table 900.3.

Section 900-30 of the Unified Development Ordinance requires a 200-foot deceleration lane with a 50-foot taper at each project entrance that proposes access to a Minor Collection Street or Major Thoroughfare. Right-of-way dedication to accommodate the deceleration lane and an 11-foot shoulder is also required. Reduction in length of a deceleration lane requires approval of a Modification by the Development Division; elimination of a deceleration lane requires approval of a Waiver by the Board of Commissioners.

Section 900-90 of the Unified Development Ordinance requires construction of five-foot wide sidewalks along all exterior roadways adjoining the project, and four-foot wide sidewalks adjacent to both sides of all interior public streets (excluding cul-de-sac turnarounds).

Section 320-20.2 of the Unified Development Ordinance requires submittal of a Specimen Tree Concept Plan and Tree Survey prior to submittal and acceptance of a Development Permit Application.

The developer must submit a concept plan for review and approval of the Development Division prior to submittal and acceptance of a development permit application.

The developer must submit a preliminary plat (construction plans), including a grading plan, tree plan, and road/sewer profiles for review and approval of the Development Division prior to any construction.

Section 800-20 of the Unified Development Ordinance requires submittal of a Stormwater Management Report for the project prior to obtaining a Land Disturbance or Development Permit.

Section 700-40.1A of the Unified Development Ordinance requires that the lowest floor, including the basement, of all residential building be constructed at an elevation of at least three feet above the 100-year floodplain.

Note that all recreation areas, open space and/or common areas (including stormwater detention facility lots) located within the development shall be controlled by a mandatory

Property Owner's Association (to include reported bylaws) with responsibility for maintenance, insurance, and taxes for open space areas.

The United States Postal Service may require a centralized mail delivery kiosk for this proposed development, replacing individual mail boxes. Mail delivery kiosk must be located outside of right-of-way access easement (if private street). Location and access must be approved by Gwinnett County D.O.T.

STORMWATER REVIEW SECTION COMMENTS:

The property appears to contain stream buffers and floodplain. The proposed conceptual plan may require revision to show the appropriate stream buffer and floodplain areas. All stormwater best management practices will be applicable upon development permit issuance.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Sunny Hill Road is a Minor Collector and 30 feet of right-of-way is required from the centerline.

Standard deceleration lane with appropriate taper and adequate right-of-way will be required.

The project entrance shall align with opposing roads or driveways in accordance with the Gwinnett County Unified Development Ordinance.

Prior to the issuance of a Development Permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

Minimum separation from a driveway, public road, or side street shall be provided as specified in the Gwinnett County Unified Development Ordinance.

Project must comply with Gwinnett County D.O.T. Criteria and Guidelines for left turn lanes.

Development is within the path of the future Gwinnett County roadway extension of Sugarloaf Parkway. Right-of-way for the future roadway project must be reserved before a development permit can be issued.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 2 and 48-inch water main located on the northeast right-of-way of Sunny Hill Road and a 48-inch water main located on the southeast right-of-way of Morgan Road.

Due to the uncontrollable variables, the Department of Water Resources (DWR) makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. Demands imposed by the proposed development may require reinforcements or extensions of existing water mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department.

The available utility records show that the subject development is currently in the vicinity of an 8 and 36-inch sanitary sewer main located on parcel R7136 007.

The subject development is located within the Ivy Creek service area. There are currently no connection restrictions within this service area. Treatment capacity within this area is presently available on a first come - first serve basis.

Demands imposed by the proposed development may require reinforcements or extensions of existing sewer mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department. Developer shall provide easements for future sewer connection to all locations designated by DWR during plan review.

As-built information for this department is dependent upon outside entities to provide record drawings for the utilities. Therefore, this department does not guarantee the accuracy of the information provided.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances. Proceeding design, construction, inspection, and final acceptance of the required utilities, service to these utilities would then become available under the applicable utility permit rate schedules.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The property is located on both sides of Sunny Hill Road, south of its intersection with Morgan Road, and south of Interstate 85. The applicant requests rezoning from RA-200 (Agriculture-Residence District) to OSC (Open Space Conservation District) to construct a 112-lot single-family subdivision. The property is currently developed with a single-family residence, a few accessory structures, pastureland, wooded areas, ponds, and Little Ivy Creek that runs east to west across the southern portion of the property.

The 2030 Unified Plan Future Development Map indicates the property is located within an Existing/Emerging Suburban Character Area. Policies for this Character Area encourage single-family residential uses, and promote a variety of housing options. With conditions to ensure the quality of development and its compatibility with the surrounding area, an OSC subdivision at a density of 1.58 units per acre could be consistent with these policies and map designation.

Developments in the immediate area consist of single-family subdivisions and homes on large acreage tracts. To the west of the subject property are large acre residential properties zoned RA-200 and R-100. To the south, on the west side of Sunny Hill Road, is the Wynnfield Manor subdivision zoned R-100MOD (Modified Single-Family Development) and property zoned R-100. Located on the east side of Sunny Hill Road south of the subject property are undeveloped properties zoned RA-200 that are part the Mountain View High School complex. To the east of the subject property is the Mill Creek Plantation subdivision, which received rezoning approval to R-100 CSO (Conservation Subdivision Overlay District) in 2002 (RZR2002-00006). To the north are developed residential properties zoned RA-200, and some properties owned by the County and designated for the planned Sugarloaf Parkway extension. In light of continuing a development pattern of low-density, single-family subdivisions with preservation of natural amenities and open space, an OSC subdivision conditioned to protect the environmental features could be consistent with similar subdivisions and prior Board precedent in the area.

In conclusion, the proposed OSC development could be consistent with the policies of the 2030 Unified Plan and existing single-family residential development of the area. The OSC zoning district lends itself to preservation and protection of stream buffers and other sensitive areas, which may be appropriate for this tract. Therefore, the Planning Department recommends **APPROVAL WITH CONDITIONS**.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval as OSC (Open Space Conservation Subdivision), subject to the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Single-family detached dwellings and accessory uses and structures.
 - B. The minimum heated floor area per dwelling shall be 2,400 square feet.
 - C. Homes shall be constructed primarily of brick, stacked stone, or shake on three sides. The rear shall be the same or of fiber-cement siding or shake with a minimum 3-foot brick or stacked stone water table.
 - D. All homes shall have at least a double-car garage.
2. To satisfy the following site development considerations:
 - A. All primary conservation space shall remain undisturbed.
 - B. No part of any private lot shall contain stream buffers or setbacks.
 - C. Natural vegetation shall remain on the property until the issuance of a development permit.
 - D. The exterior street frontages and project entrance shall be landscaped by the developer and maintained by the Homeowner's Association. Entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval of the Director of Planning and Development.
 - E. A center pocket park or designated open space shall be added in the center of the residential development, and unpaved pedestrian connections to the primary and secondary conservation shall be provided throughout the development. Final layout shall be subject to the review and approval of the Director of Planning and Development.
 - F. No direct lot access shall be allowed to Sunny Hill road or Morgan Road.
 - G. All grassed areas on dwelling lots shall be sodded.
 - H. All utilities shall be placed underground.
3. To abide by the following requirements, dedications and improvements:
 - A. Developer shall reserve right-of-way for the future extension of Sugarloaf Parkway per the requirements of the Gwinnett Department of Transportation.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING EXERCISE OF THE ZONING

SUITABILITY OF USE

The request could be considered suitable at this location in light of existing R-100 MOD and R-100 CSO subdivision developments in the area, and the preservation of a substantial portion of the site as primary and secondary conservation space.

ADVERSE IMPACTS

With the recommended conditions, potential impacts should be minimized.

REASONABLE ECONOMIC USE AS ZONED

The subject property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

An increased impact on public facilities could be anticipated in the form of increased traffic, school enrollment, stormwater runoff and utility demand.

CONFORMITY WITH POLICIES

The request could be considered consistent with policies the 2030 Unified Plan, which encourage single-family residential uses, promoting a variety of housing options, with similar zoning and developments to the surrounding area.

CONDITIONS AFFECTING ZONING

The preservation of wooded areas, streams, and proposed pocket parks on the site lend supporting grounds for approval of OSC zoning for this site.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Please see attached

RECEIVED BY

MAY 04 2017

Planning & Development

RZR '17011

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) The proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby properties. The proposed development is a single-family residential neighborhood that will conserve important natural areas.
- (B) The proposed rezoning will not adversely affect the existing use or usability of any of the nearby properties. The proposed development is compatible with surrounding development.
- (C) Due to the size, layout, location, and topography of the subject property, the Applicant submits that the subject property does not have reasonable economic use as currently zoned.
- (D) The proposed rezoning will not result in an excessive or burdensome use of the infrastructure systems. The subject property is located off of Sunny Hill Road with access to utilities. Further, the relatively low development density will not overly burden infrastructure systems.
- (E) The proposed rezoning is in conformity with the policy and intent of the Land Use Plan.
- (F) Applicant submits that the single-family residential nature of the area as well as the proximity to Interstate 85 provide additional support of this Application.

RECEIVED BY

MAY 04 2017

Planning & Development

RZR '17011



Matthew P. Benson
 Gerald Davidson, Jr.*
 Brian T. Easley
 Kelly O. Faber
 Christopher D. Holbrook
 Frances H. Kim
 Shane M. Lanham

Austen T. Mabe
 Jeffrey R. Mahaffey
 David G. McGee
 Steven A. Pickens
 Andrew D. Stancil
 R. Lee Tucker, Jr.
 *Of Counsel

**LETTER OF INTENT FOR REZONING APPLICATION
 OF HOME SOUTH COMMUNITIES, LLC**

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and attached Rezoning Application (the “Application”) on behalf of Home South Communities, LLC (the “Applicant”) for the purpose of rezoning to the OSC zoning classification an approximately 86.15 acre tract of land (the “Property”) situated along Sunny Hill Road at its intersection with Morgan Road in northern Gwinnett County. The Property is currently zoned RA-200. The Property is located in very close proximity to Interstate 85 just west of Gravel Springs Road.

The Applicant proposes to develop a single-family residential community including 112 detached single-family homes. The proposed development would have a net density of approximately 1.58 units per acre, which below the maximum allowed density of 2.5 units per acre prescribed for the OSC zoning classification in the Gwinnett County Unified Development Ordinance (the “UDO”). The proposed development’s gross density is approximately 1.3 units per acre. The proposed single-family community would consist of homes at a size, quality, and price-point commensurate with or exceeding homes in the surrounding area. The proposed homes would include two-car garages and covered entrances as well as other attractive architectural elements. The facades of proposed homes would be constructed primarily of brick, stone, board and batten, and/or fiber-cement or shake siding. The homes in the proposed

Sugarloaf Office || 1550 North Brown Road, Suite 125, Lawrenceville, Georgia 30043
 NorthPoint Office || 11175 Cicero Drive, Suite 100, Alpharetta, Georgia 30022
 TELEPHONE 770 232 0000
 FACSIMILE 678 518 6880
 www.mptlawfirm.com

RECEIVED BY

MAY 04 2017

RZR '17011

Planning & Development

development would contain a minimum of 2,250 square feet of heated floor area. Surrounding development and existing homes would not face major negative impacts as a result of the proposed development in part because of the substantial buffering required under the UDO in conjunction with extensive additional buffering preserved by the Applicant as conservation space. As depicted on the site plan, the adjacent property to the south would lie approximately 320 feet away from the nearest proposed lot. To the west the distance is even greater at over 530 feet. At a minimum, the UDO calls for a 50-foot buffer around the perimeter of the development.

In addition to being a quality development that is compatible with homes in the surrounding area, the proposed development will preserve important green space in a rapidly-growing area of Gwinnett County. Specifically, the proposed development would preserve nearly 55 acres of open space which is approximately 64 percent of the entire development. Further, as depicted on the site plan submitted with the Application, the proposed development would provide over 30 acres of Primary Open Space which is more than double the amount required by the UDO for the OSC zoning classification.

The subject property contains a mixture of existing pasture, hardwoods, pine, and creek bottoms including Little Ivy Creek which flows through the property from east to west before entering into Suwanee Creek and eventually the Chattahoochee River. The proposed development was designed so that homes would generally be concentrated in existing pasture areas limiting land disturbance across the site as a whole. Since the home sites are essentially pre-cleared, much of the existing hardwood and pine trees will remain on-site. The proposed development would enhance land, water, air, and tree resources by minimizing the area of land disturbance and would significantly contribute to the protection of the headwaters of the Chattahoochee River.

RZR '17011

RECEIVED BY

MAY 04 2017

Planning & Development

The Applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Department of Planning & Development to answer any questions or to address any concerns relating to the matters set forth in this letter or in the Rezoning Application filed herewith. The Applicant respectfully requests your approval of this Application.

Respectfully submitted this 3rd day of May, 2017.

MAHAFFEY PICKENS TUCKER, LLP



Shane M. Lanham
Attorneys for Applicant

RECEIVED BY
MAY 04 2017
Planning & Development
RZR '17 011

Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County, July 2017

Case #	Schools	Current Projections									Proposed Zoning Approximate additional Student Projections from Proposed Developments
		2017-18			2018-19			2019-20			
		Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	
RZM2017-00006	Central Gwinnett HS	2131	2,300	-169	2174	2,300	-126	2217	2,300	-83	36
	Moore MS	974	1,350	-376	989	1,350	-361	1003	1,350	-347	26
	Winn Holt ES	1103	1,200	-97	1120	1,200	-80	1136	1,200	-64	51
RZM2017-00007	Brookwood HS	3558	2,575	983	3530	2,575	955	3494	2,575	919	25
	Crews MS	1387	1,150	237	1374	1,150	224	1360	1,150	210	18
	Brookwood ES	1288	1,250	38	1302	1,250	52	1315	1,250	65	35
RZM2017-00008	Brookwood HS	3558	2,575	983	3530	2,575	955	3494	2,575	919	15
	Crews MS	1387	1,150	237	1374	1,150	224	1360	1,150	210	8
	Brookwood ES	1288	1,250	38	1302	1,250	52	1315	1,250	65	16
RZR2017-00011	Mountain View HS	2531	2,300	231	2689	2,300	389	2729	2,300	429	36
	Twin Rivers MS	1950	2,150	-200	1979	2,150	-171	2009	2,150	-141	26
	Freeman's Mill ES	935	925	10	930	925	5	949	925	24	50

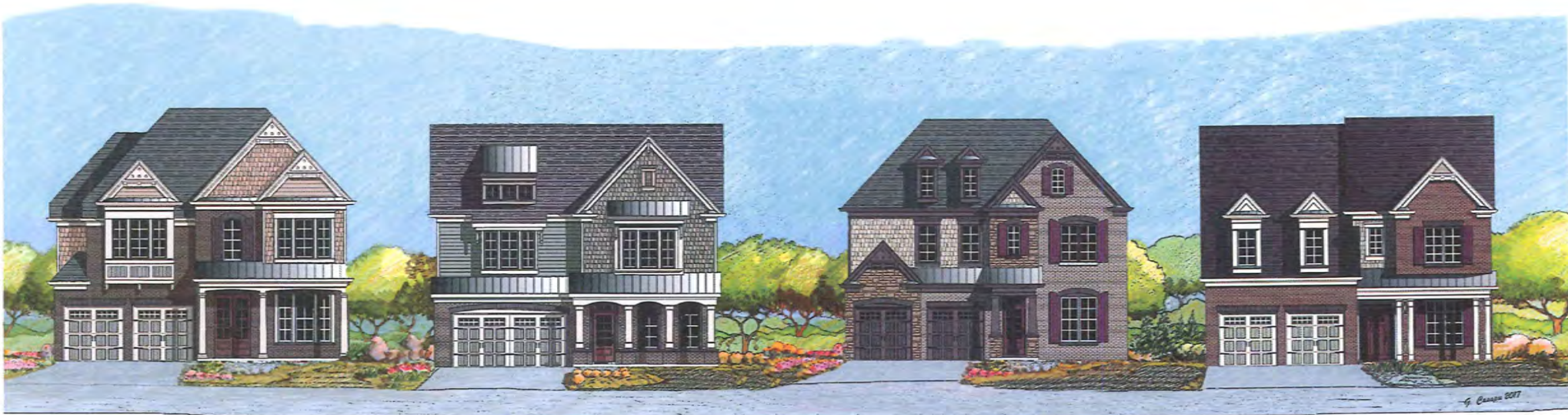
Current projections do not include new developments

RECEIVED BY

MAY 04 2017

Planning & Development

RZR '17011

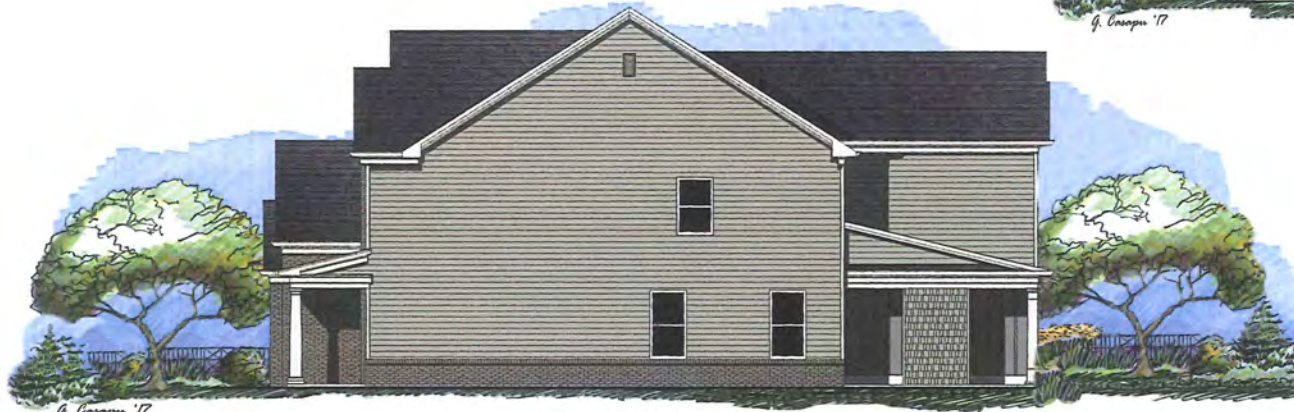




LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

RECEIVED BY
MAY 04 2017
Planning & Development

RZR '17 011

BUFORD

7-143

7-144

7-137

7-136

7-145

7-135

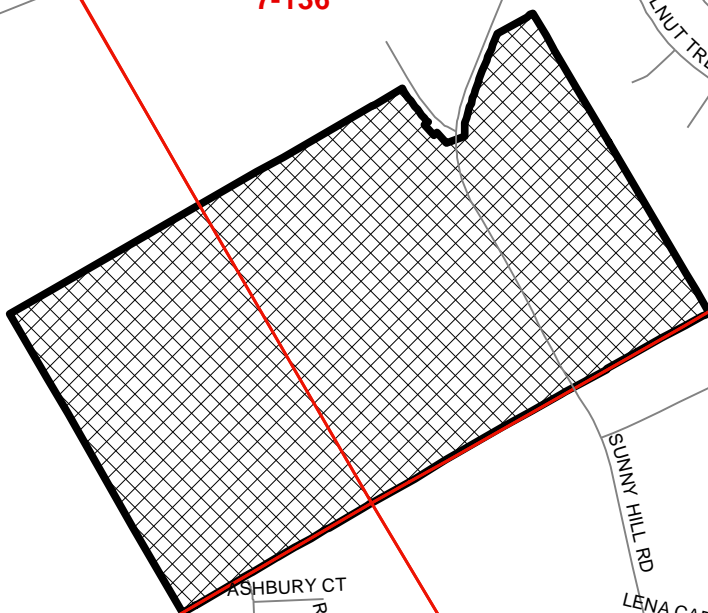
7-100


7-101

7-134

7-102

7-95



 RZR2017-00011

Printed: May 16, 2017



0 250 500
Feet

IVY STONE TRL

ROCK SPRINGS RD

MANOR OAK LN

ROCKSRAM DR

WATER CT
ROCKSRAM CT

ASHBURY CT

ROCKY WATERS TRL

SUNNY HILL RD

LENA CARTER WAY

SUNNY HILL RD

BROWN RD

185S

185N

FIELDVIEW DR

FIELDVIEW WAY

GRISTHAVEN DR

WALNUT TREE LN

GRISTHAVEN LN

SOUTHAVEN LN

WODFORD LN

MAPLE MILL DR

MORGAN RD

GRAVEL SPRINGS RD

KIRKSTONE DR

BANCROFT WAY

MCCAILL CT

LENA CARTER RD

BRASELTON HWY

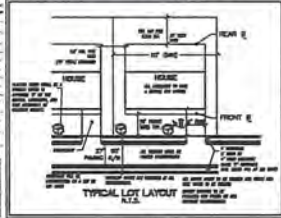
REZONING NOTES:

- BOUNDARY INFORMATION COMPILED FROM DEED RESEARCH AND GEORGIA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY PLANS.
- PORTIONS OF THE SUBJECT PROPERTY ARE LOCATED WITHIN A ZONE "AE" FLOOD HAZARD AREA AS PER GWINNETT COUNTY FIRM, COMMUNITY PANEL NO. 131300005F & 131300005G, DATED SEPTEMBER 20, 2006.
- TOPOGRAPHIC AND UTILITY INFORMATION BASED ON GWINNETT COUNTY COS. DATUM IS MEAN SEA LEVEL.
- WATER AND SANITARY SERVICE SERVICE TO BE PROVIDED BY GWINNETT COUNTY.
- ALL CONSTRUCTION SHALL CONFORM TO THE GWINNETT COUNTY STANDARDS AND SPECIFICATIONS.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- STREETLIGHTS ARE TO BE PROVIDED ALONG ONE SIDE OF EVERY STREET AND SHALL BE A MINIMUM OF 18 FEET HIGH AND A MAXIMUM OF 20 FEET HIGH IF OVERHANGING INTO THE STREET, AND PLACED NO MORE THAN 100 FEET APART.
- STREET TREES AND LOT TREES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 100 OF THE GWINNETT COUNTY UDC.
- SEWERLINES SHALL BE PROVIDED AS REQUIRED IN SECTION 1000-90 OF TITLE 3 OF THE GWINNETT COUNTY UDC.
- ALL PROPOSED BUILDINGS SHALL CONFORM TO THE FOLLOWING ARCHITECTURAL STANDARDS AS REQUIRED BY THE GWINNETT COUNTY UDC FOR COS ZONED (CATEGORY 2) PROJECTS.
- THERE ARE NO KNOWN HISTORICAL, ARCHAEOLOGICAL, OR OTHER SIGNIFICANT FEATURES ON THE SITE.
- THE OWNER/APPLICANT CERTIFIES THAT THE PROPERTY HAS NOT BEEN HARVESTED FOR TIMBER IN THE PREVIOUS 24 MONTHS PRIOR TO FILING THIS REQUEST FOR REZONING FOR COS ZONING.

REZONING SUMMARY

EXISTING BOUNDARY ACREAGE: 488.154 ACRES
 TAX PARCEL: 7-136-001
 EXISTING ZONING: RA-200
 PROPOSED ZONING: COS
 TOTAL NO. PROPOSED LOTS: 112
 DENSITY: 1.30 UNITS/ACRE
 NET DENSITY: 1.58 UNITS/ACRE
 ZONE "AE" FLOODPLAIN AREA = 238.75 AC. (24%)
 TYPICAL LOT SIZE: 60' x 125'
 REQUIRED SETBACKS = COS
 FRONT = 25' FROM 1/4" (50' EXTERIOR BUFFER)
 SIDE = 30'
 SIDE = 7.5'
 MAXIMUM BUILDING HEIGHT: 33 FT. (15' BUILDING SEPARATION)

MINIMUM REQUIRED OPEN SPACE (UDG 210-50.12 TABLE 210.1) = 21.5 AC. (23%)
 PRIMARY OPEN SPACE AREA REQUIRED (15%) = 12.82 AC.
 PRIMARY OPEN SPACE PROVIDED = 30.75 AC.
 SECONDARY OPEN SPACE AREA PROVIDED = 26.00 AC.
 AREA OF SANITARY SEWER EASEMENTS = 2.03 AC.
 AREA OF STORM WATER MANAGEMENT FACILITIES = 1.0 AC.
 CREDIBLE PRIMARY AND SECONDARY OPEN SPACE PROVIDED = 25.74 AC.
 TOTAL LENGTH OF STREET: (127 1/2') 24,200 L.F.
 SIDEWALKS PROPOSED ON BOTH SIDES OF THE INTERNAL STREET.



ZONE	LEGEND	FRONT	DEPTH	REAR	REMARKS
CS	200 FT	150 FT	150 FT	150 FT	RESIDENTIAL
CS	200 FT	150 FT	150 FT	150 FT	RESIDENTIAL
CS	200 FT	150 FT	150 FT	150 FT	RESIDENTIAL
CS	200 FT	150 FT	150 FT	150 FT	RESIDENTIAL
CS	200 FT	150 FT	150 FT	150 FT	RESIDENTIAL



dpe
 Development Planning & Engineering, Inc.
 5074 BRISTOL INDUSTRIAL WAY SUITE A
 BUFORD, GEORGIA 30518
 (770) 271-3358
 www.dpeinc.com

PREPARED FOR:
HOMESOUTH COMMUNITIES
 390 BROGDON ROAD
 SUWANEE, GA. 30024

PROJECT NAME:
JOHN T. LAMB TRACT

TASK:
CONCEPTUAL REZONING SITE PLAN

PROJECT INFORMATION:
 JOHN T. LAMB TRACT
 13.1077
 PROJECT NUMBER
 SUWANEE HILLS ROAD
 PROJECT ADDRESS
 130
 LAND LUT TYPE PER
 TR
 COUNTY PARCEL # 1 138-001
 COUNTY CODE

DATE: _____
 REVISION: _____

DESIGN: AS SHOWN
 SCALE: _____

DRAWN: _____
 1 of 1

CHECKED: _____
 DATE: _____ PROJECT NO. _____

RECEIVED BY
 MAY 04 2011
 Planning & Development

RZR '17011

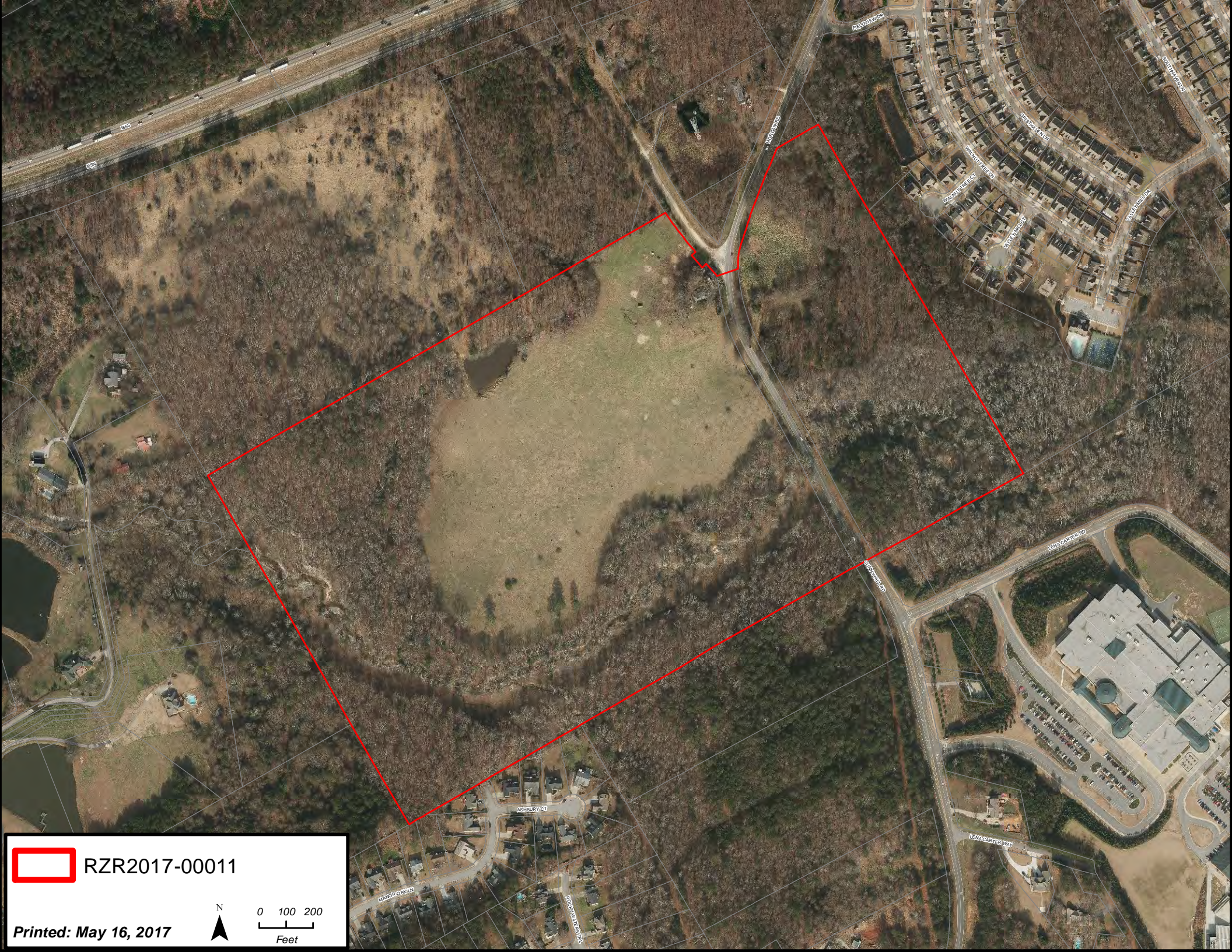


RZR2017-00011



0 50 100
Feet

Printed: May 16, 2017

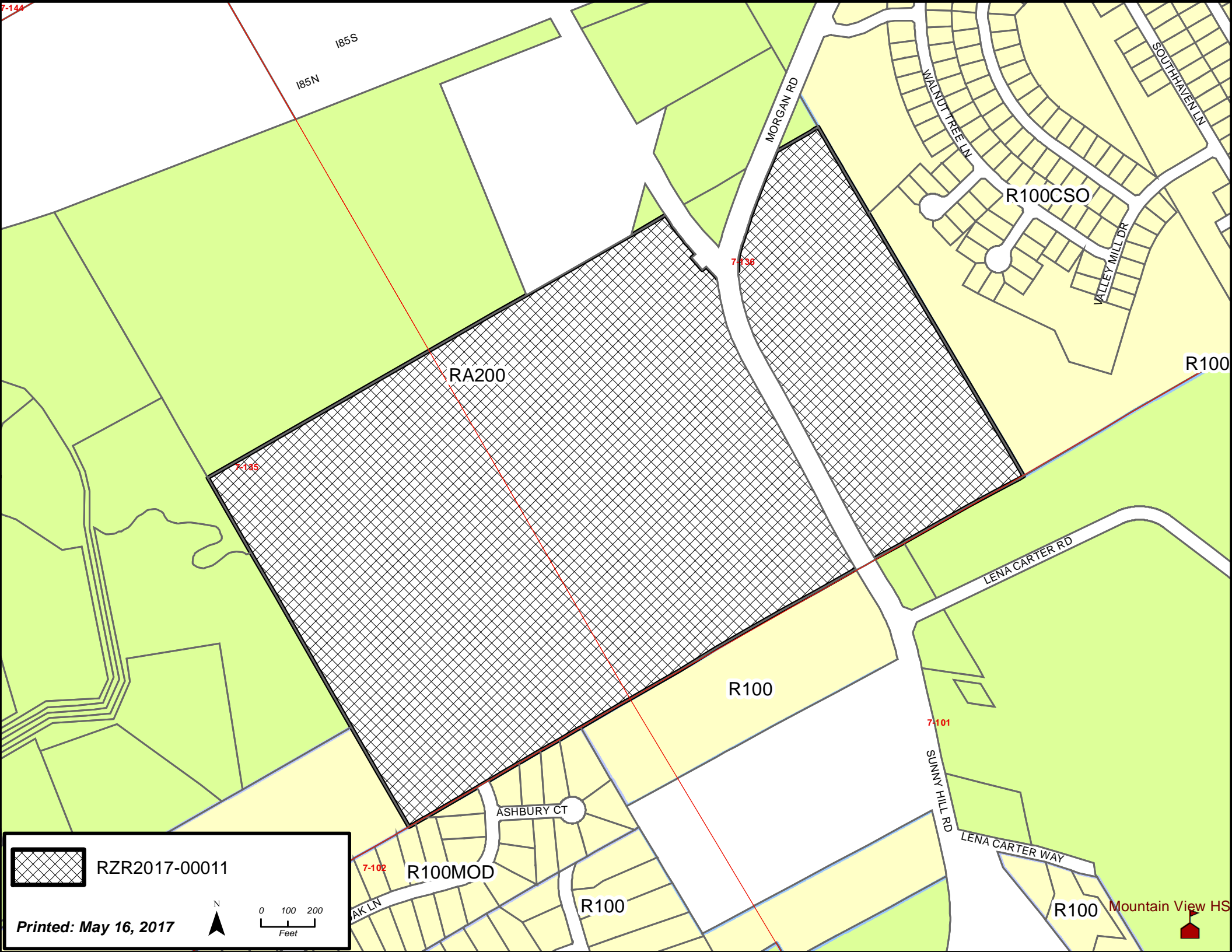


RZR2017-00011



0 100 200
Feet

Printed: May 16, 2017



 RZR2017-00011

Printed: May 16, 2017

N

0 100 200
Feet

Mountain View HS

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING & SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**RZC2018-00016**
ZONING CHANGE :R-100 TO C-2
LOCATION :3900 BLOCK OF FIVE FORKS TRICKUM ROAD
MAP NUMBER :R6090 013
ACREAGE :0.72 ACRE
SQUARE FEET :40,000 SQUARE FEET
PROPOSED DEVELOPMENT :SELF-STORAGE FACILITY (CLIMATE-CONTROLLED)
COMMISSION DISTRICT :(2) HOWARD

CASE NUMBER :**SUP2018-00056**
ZONING :C-2 (PROPOSED)
LOCATION :3900 BLOCK OF FIVE FORKS TRICKUM ROAD
MAP NUMBER :R6090 013
ACREAGE :0.72 ACRE
SQUARE FEET :40,000 SQUARE FEET
PROPOSED DEVELOPMENT :SELF-STORAGE FACILITY (CLIMATE-CONTROLLED)
COMMISSION DISTRICT :(2) HOWARD

FUTURE DEVELOPMENT MAP: **EXISTING/EMERGING SUBURBAN**

APPLICANT: TIM LANDERS
6032 COOL SPRINGS ROAD
GAINESVILLE, GA 30506-3412

CONTACT: TIM LANDERS PHONE: 404.791.0975

OWNER: BILLY LANDERS
691 PADEN DRIVE
LAWRENCEVILLE, GA 30044-3618

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant seeks rezoning from R-100 (Single-Family Residence District) to C-2 (General Business District) with a Special Use Permit for an expansion of the Gwinnett Self-Storage facility with a newly constructed climate-controlled self-storage building. The property is a 0.72-acre site, located on the southeastern side of Five Forks Trickum Road, east of Tom Smith Road. The site is currently developed with a single-family residence and driveway.

The subject request would be an expansion of the Gwinnett Self Storage mini-warehouses, zoned M-1 (Light Industry District), which received Special Use Permit approval for the use in 1993 (SUP-93-049). The office and parking for the business is located on the adjacent property to the east of the subject parcel, and received rezoning approval in 1993 to O-I (Office-Institutional District) with a Special Use Permit for the self-storage office (RZ-93-137 and SUP-93-048).

The submitted site plan and letter of intent indicate that the property would be developed with a 40,000-square foot, two-story climate-controlled self-storage building. No proposed exterior elevations have been provided from the applicant for the building, but the site plan indicates a maximum height of 45-feet.

Access to the project is proposed by a single shared driveway with the adjacent property to the east, which also provides access to existing self-storage buildings located to the south on a separate lot. No parking has been proposed for the new building. Applicant would be required to meet the parking regulations for this building, or be granted a variance. The proposed building has been shown to cross the southern property line, and either a variance would be required for any encroachment into the building setback line or a parcel combination would need to be completed upon development of this site. Stormwater detention has been shown along the front of the site.

ZONING HISTORY:

The subject property has been zoned R-100 (Single-Family Residence District) since 1970.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

Portions of this site appear to be heavily wooded and may include specimen trees which are required by the UDO to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of development plans for review.

Project access and required improvements along Five Forks Trickum Road will be subject to review and approval of Gwinnett County Department of Transportation.

A 10-foot wide landscape strip will be required along Five Forks Trickum Road.

The required rear building setback of 30 feet appears to not be met. The applicant must either review the site plan, or seek a Variance from the Zoning Board of Appeals.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Five Forks Trickum Road is a Minor Arterial and 40 feet of right of way is required from the centerline, with 50 feet required within 500 feet of a major intersection.

Entrances shall be provided to the site per current development regulations.

Standard deceleration lane with appropriate taper and adequate right of way will be required.

The developer shall be limited to one curb cut.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

A 5-foot wide sidewalk shall be provided along Five Forks Trickum Road.

Contact Gwinnett Director of Construction Jody Woodall at 770.822.7467 for coordination with existing roadway project under construction.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 16-inch water main located on the southeast right of way of Five Forks Trickum Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located on parcel R6090 014 running parallel to the southwest property line of parcel R6090 013. Field verification required to confirm if sewer easement on parcel R6090 014 extends up to parcel R6090 013 property line.

The subject development is located within the Yellow River service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final

acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit civil site drawings to Building Plan Review for review and approval.
2. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for each building for review and approval by Building Plan Review.
3. Each building shall comply with the height and area limitations of Table 503 and the fire resistive and horizontal separation requirements of Table 601 and 602 of the 2012 International Building Code with Georgia state amendments based on occupancy group classification, type of construction, and location of each building from property lines and other buildings.
4. Architectural design of the proposed building shall incorporate the requirements of the Gwinnett County Unified Development Ordinance, Architectural Design Standards, Design Category 1.
5. Upon completion of plan review approvals, the applicant shall obtain a building permit for each building and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6000 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No Comment.

DEPARTMENT ANALYSIS:

The subject property is a 0.72-acre parcel located on the southeastern side of Five Forks Trickum Road, east of Tom Smith Road. The applicant seeks rezoning from R-100 (Single-Family Residence District) to C-2 (General Business District) and a Special Use Permit in order to develop a climate-controlled self-storage facility. The property is currently developed with a single-family residence and driveway.

The 2030 Unified Plan Future Development Map indicates that the property is located in an Existing/Emerging Suburban Character Area. Free-standing commercial/retail uses at established commercial nodes are acceptable components of this character area. The requested rezoning and Special Use Permit at the already established Five Forks Trickum Road and Killian Hill Road commercial node could be consistent with the policies and intent of the 2030 Unified Plan. To ensure neighborhood compatibility, conditions should be included in any approval addressing height, site and building appearance.

This property is located within the Five Forks Trickum Road and Killian Hill Road commercial node, consisting of a mixture of commercial/retail, civic, office, and single-family residential uses. Single-family residential uses along this portion of Five Forks Trickum Road are located east of the existing self-storage office. To the north, across Five Forks Trickum Road is an assisted living facility zoned O-I. South and east of the property is the balance of the Gwinnett Self-Storage business, zoned M-1 and O-I. West of the property is a church zoned M-1 and medical office zoned C-1 (Neighborhood Business District). The requested rezoning and Special Use Permit for a climate-controlled self-storage building may be considered suitable given the existing mix of uses in the area and the long-standing presence of the Gwinnett Self-Storage business at this location.

In light of the existing self-storage business and other commercial uses in the immediate area, a new climate-controlled self-storage building could be a suitable addition. With appropriate conditions and limitations, the request could be consistent with the policies and intent of the 2030 Unified Plan. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of this request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a rezoning to C-2 (General Business District) and Special Use Permit for a climate-controlled self-storage facility, subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Development shall be limited to a climate-controlled self-storage facility as a special use.
 - B. Buildings shall be of a brick, stacked stone and/or glass finish. Building exterior shall only utilize neutral earth tone colors. Exterior roll-up doors shall be prohibited. Final building elevations shall be submitted for review by the Director of Planning and Development.
 - C. Building shall be limited to two-stories in height.
 - D. Outdoor storage and truck rental shall be prohibited.
2. To abide by the following site development considerations:
 - A. The project shall meet Unified Development Ordinance setback requirements or the rear property line shall be dissolved and combined with adjacent property to the rear (south).
 - B. Required parking may be provided either on-site or on the adjacent self-storage and office parcels to the east and south (under common ownership), or apply for any necessary variance prior to issuance of a development permit.
 - C. Provide a ten-foot wide landscaped strip adjacent to the Five Forks Trickum Road right-of-way.
 - D. Access shall be limited to the existing self-storage office driveway to the east, with no new curb cut permitted onto Five Forks Trickum Road.
 - E. Natural vegetation shall remain on the property until the issuance of a development permit.
 - F. Ground signage shall be limited to a monument-type sign(s), and shall be subject to review and approval by the Director of Planning and Development. The sign shall include a minimum two-foot high brick or stacked stone base, complementing the building's architectural treatment. The masonry base shall extend at least the full width of the sign cabinet, and the sign cabinet shall be

fully recessed and surrounded by the same materials. Ground signage shall not exceed eight-feet in height.

- G. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance, and shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.
- H. Signage and/or brightly painted walls or lighting may not be placed behind the building's windows for attracting attention or advertising to the public. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state or federal law.
- I. Exposed or visible lighting strips mounted on the building or around window frames shall be prohibited. Flashing or blinking signs and exposed neon or LED signs shall be prohibited. Exposed or visible lighting strips mounted on the building or around window frames shall be prohibited.
- J. Billboards or oversized signs shall be prohibited.
- K. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
- L. Outdoor lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to reflect into adjacent properties or rights-of-way.
- M. Peddlers and/or parking lot sales shall be prohibited.
- N. The property owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

Provided that appropriate conditions are included to ensure compatibility with neighboring businesses, the requested rezoning and Special Use Permit for a proposed climate-controlled self-storage facility may be considered suitable given the existing commercial development in the area.

ADVERSE IMPACTS

With the recommended conditions, potential impacts from the development could be reduced.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

An increase in impacts on public facilities in the form of utilities usage, traffic and stormwater could be expected from this request.

CONFORMITY WITH POLICIES

The 2030 Unified Plan Future Development Map indicates that the property is located in an Existing/Emerging Suburban Character Area. Free-standing commercial/retail uses at established commercial nodes are acceptable components of this character area; therefore, the requested rezoning and Special Use Permit could be consistent with the policies and intent of the 2030 Unified Plan.

CONDITIONS AFFECTING ZONING

The proposal is an expansion of a long-established self-storage business. Additionally, the location of the site surrounded by commercial, office and institutional uses and zoning gives supporting grounds for approval of this request.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

The proposed zoning of C-2 is suitable in view of the use and development of adjacent and nearby properties.

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

This proposed rezoning will not adversely affect the existing use or usability of adjacent or nearby property.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The property does not have a current reasonable economic use as currently zoned

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The proposed rezoning will not result in a use which will or could cause and excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed rezoning is in conformity with the policy and intent of the land use plan.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

The adjacent property is currently operating as a self storage facility and this proposed climate controlled building will give the local area a climate controlled storage option.

Timothy Landers
6032 Cool Springs Rd.
Gainesville, Ga. 30506-3412

Gwinnett Department of Planning and Development
Planning Division
446 W. Crogan St.
Lawrenceville, Georgia 30046
678-518-6000 Of

RE: Letter of Intent
Subject Parcel **6/090/013**
3950 Five Forks Trickum Rd.
Lilburn, Ga. 30047
July 28, 2018

To Whom It May Concern,

Enclosed is an application for a rezoning of the above referenced subject property. The subject property is zoned R-100. The adjacent properties are zoned O&I, M-1, and C-1.

Our parcel, 6/090/013 is currently zoned R-100 and this rezoning application would request a change in zoning to C-2. We have been the owner and proprietor of a mini warehouse business on the adjacent property (parcel 6/090/012) for quite some time now and we would now like to build a climate controlled storage building on this subject parcel as shown by the attached rezoning and special use plan titled "Gwinnett Self Storage".

Sincerely,

Timothy Landers

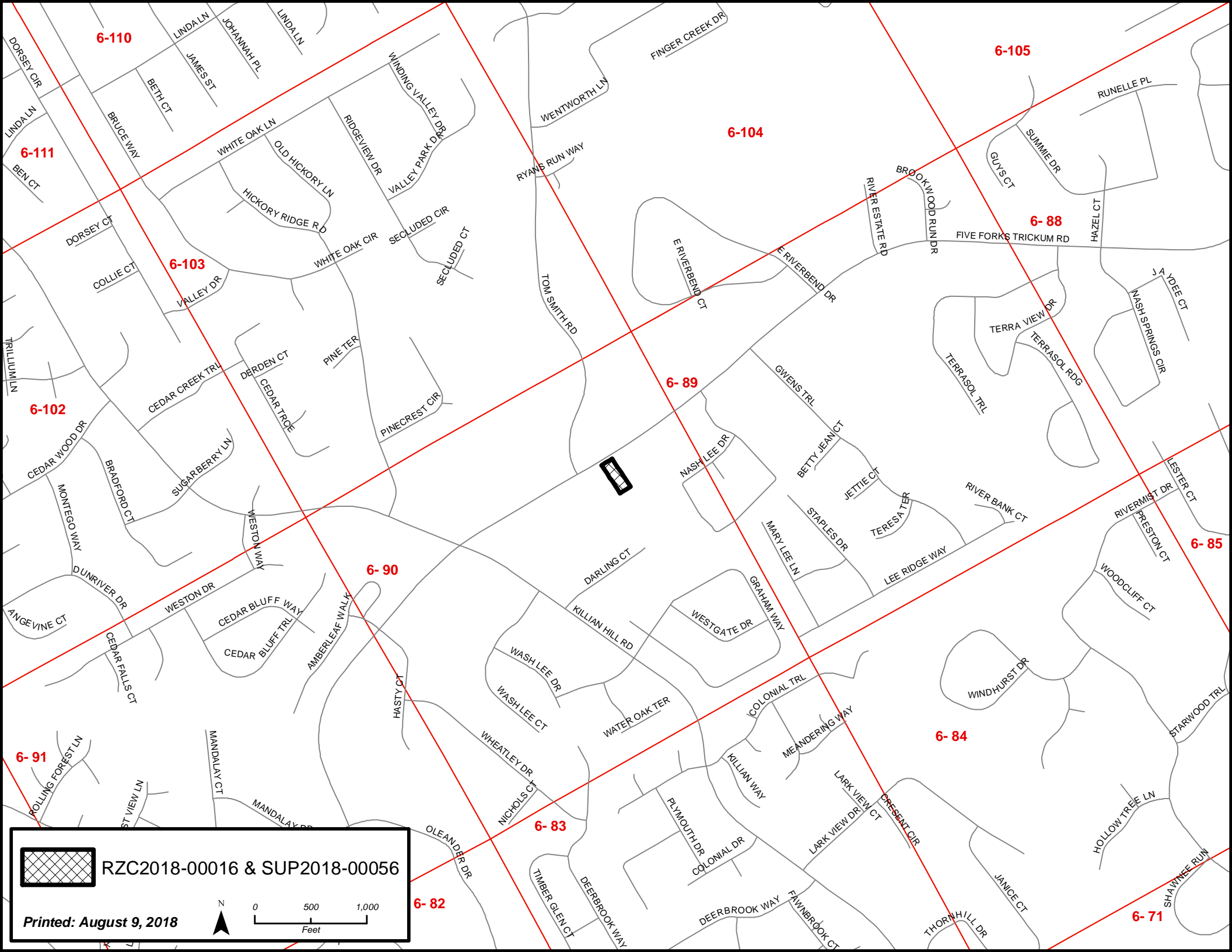
Applicant

RECEIVED BY

AUG 02 2018

R7C 18 01 6

Planning & Development



6-110

6-105

6-104

6-111

6-103

6-88

6-102

6-89

6-90

6-85

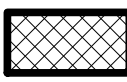
6-84

6-83

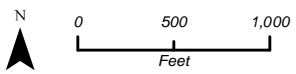
6-91

6-82

6-71

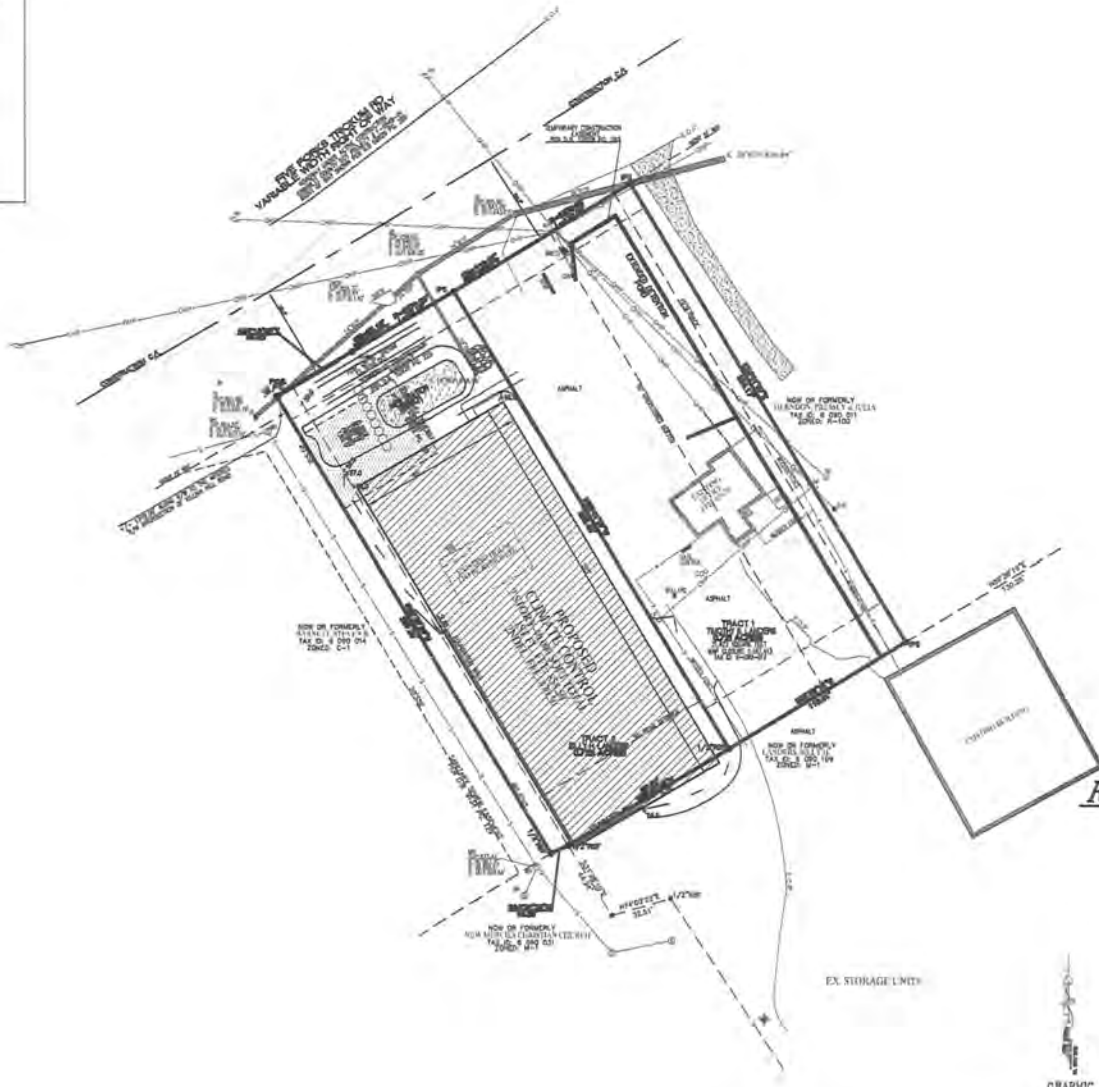
 RZC2018-00016 & SUP2018-00056

Printed: August 9, 2018





LOCATION MAP--N.T.S.



SITE INFORMATION

TRACT 2
 BILLY H. LANDERS
0.722 ACRES
 31,449 SQUARE FEET
 TAX ID: 6-060-013
 EXISTING ZONING: R-100
 PROPOSED ZONING: C-2

SETBACKS:
 FRONT = 15 FEET
 SIDE = 10 FEET
 REAR = 30 FEET
 MAX. HEIGHT = 45 FEET

GENERAL NOTES

1. THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN PER FIRM PANEL 13135C0127F DATED 09/29/2006.
2. THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.
3. THERE ARE NO STATE WATERS BUFFERS ON THIS PROPERTY.

REZONING & SPECIAL USE PLAN FOR:

**GWINNETT SELF STORAGE
 3950 FIVE FORKS TRICKUM RD**

OWNER:
 BILLY H. LANDERS
 691 PADEN DRIVE
 LAWRENCEVILLE, GA 30044-3618
CONTACT PERSON: TIM LANDERS
 PHONE: 404-791-0876
 email: gwinnettstorage@bellsouth.net

APPLICANT:
 TIM LANDERS
 8032 COOL SPRINGS RD
 GAINESVILLE, GA 30506-3412
CONTACT PERSON: TIM LANDERS
 PHONE: 404-791-0876
 email: gwinnettstorage@bellsouth.net

DESIGNER:
 BULLARD LAND PLANNING, INC
 3790 CANNONWOLFE DR
 SNELLVILLE, GA 30039
CONTACT PERSON: BOBBY BULLARD
 678-344-1293 b1pbobby@bellsouth.net



-DATE: 07/13/2018
 -BLP: JCB/ 18-1941

RZC 18016

Planning & Development

AUG 02 2018

RECEIVED BY



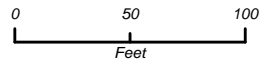
TOM SMITH RD

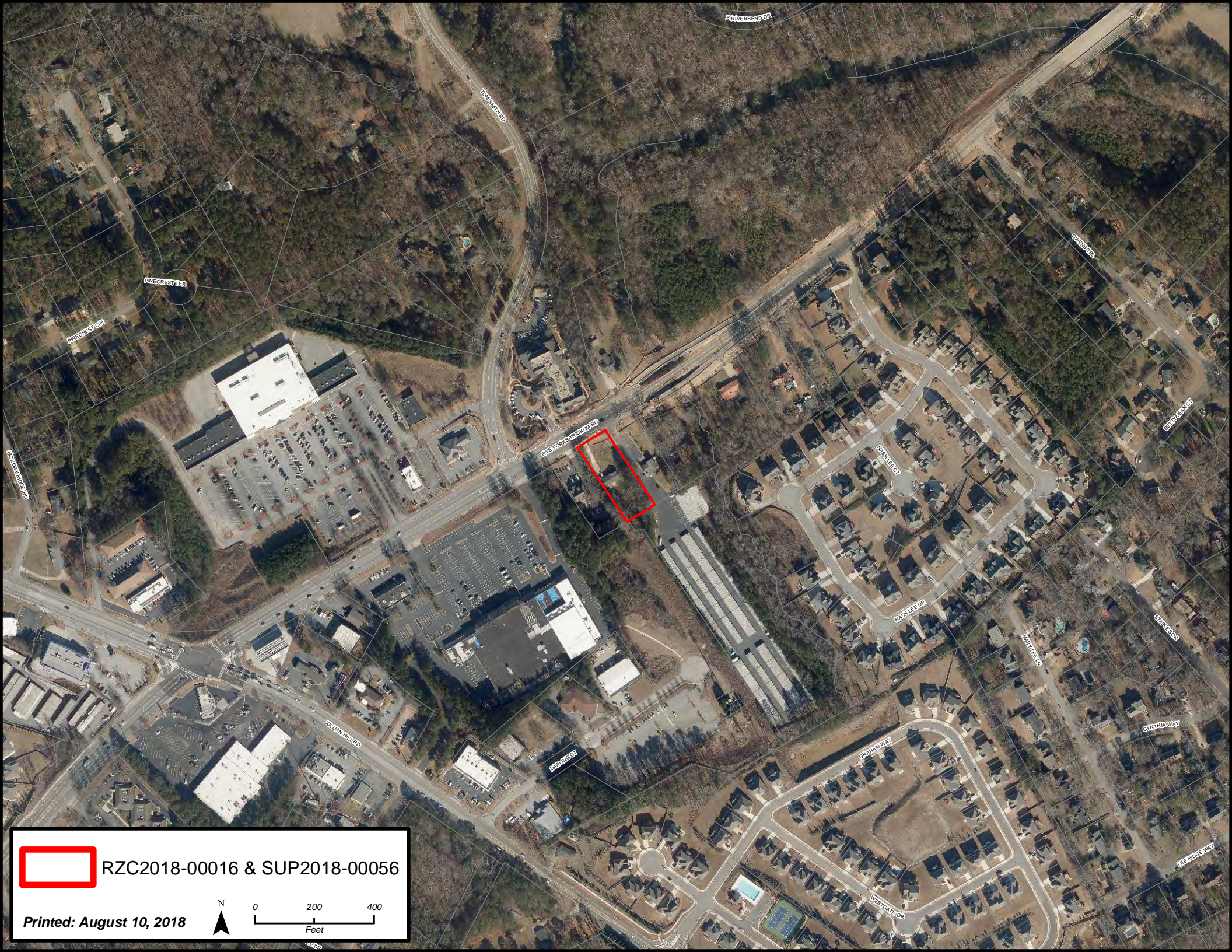
FIVE FORKS TRICKUM RD



RZC2018-00016 & SUP2018-00056

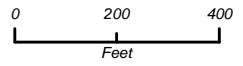
Printed: August 9, 2018

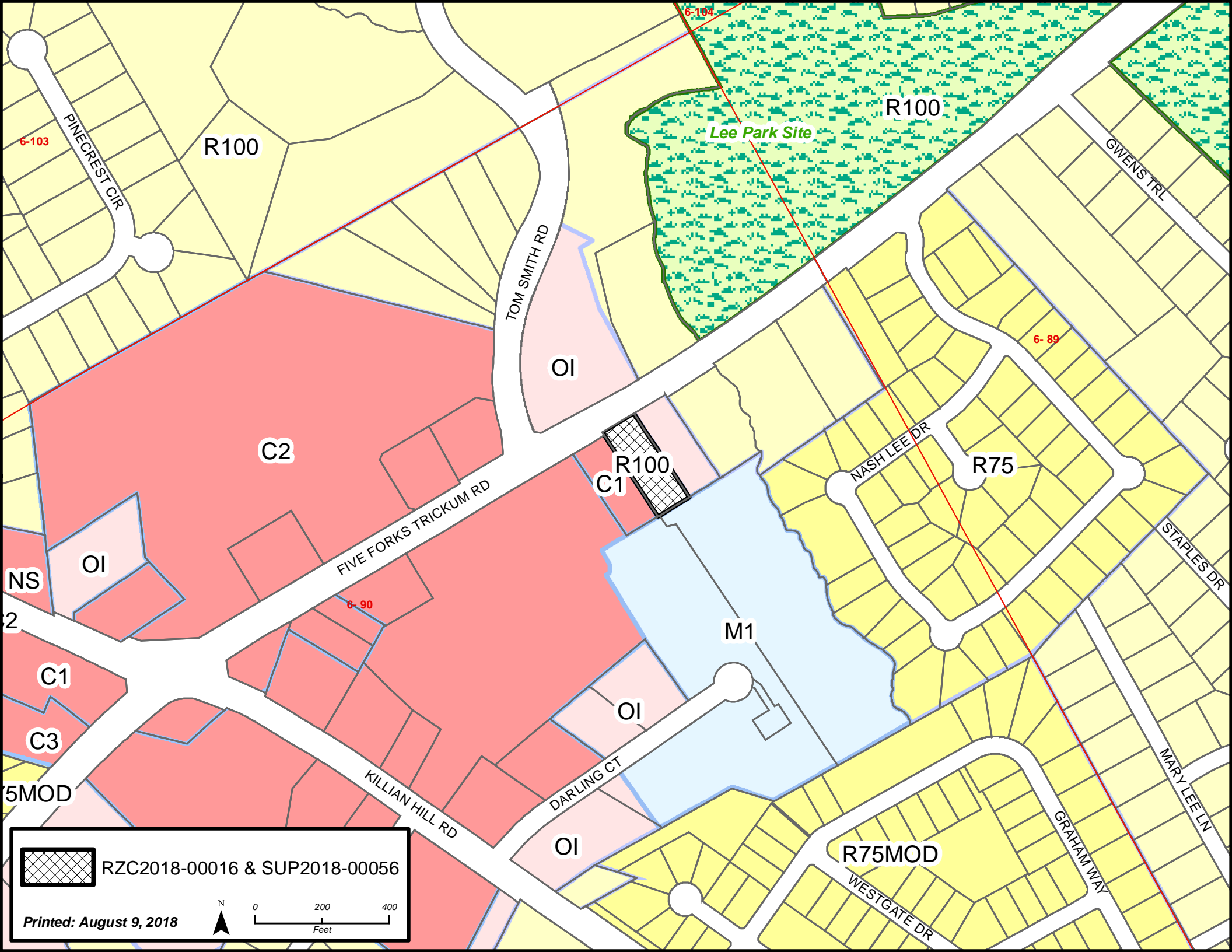




RZC2018-00016 & SUP2018-00056

Printed: August 10, 2018





6-103

R100

R100

Lee Park Site

TOM SMITH RD

OI

6-89

C2



R100
C1

NASH LEE DR

R75

FIVE FORKS TRICKUM RD

NS

OI

STAPLES DR

6-90

M1

2

C1

OI

C3

DARLING CT

75MOD


KILLIAN HILL RD

OI

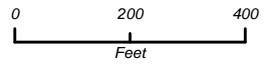
R75MOD

GRAHAM WAY

MARY LEE LN

 RZC2018-00016 & SUP2018-00056

Printed: August 9, 2018



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :RZR2018-00032
ZONING CHANGE :R-100 TO OSC
LOCATION :1600 BLOCK OF CHANDLER ROAD
 :1600-1700 BLOCKS OF SHARPTON TRAIL
MAP NUMBERS :R5169 002 & R5184 022
ACREAGE :68.26 ACRES
UNITS :150 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(3) HUNTER

FUTURE DEVELOPMENT MAP: **RURAL / ESTATE**

APPLICANT: PRIME CONSULTING, INC.
 C/O ALLIANCE ENGINEERING AND PLANNING
 4480 COMMERCE DRIVE, SUITE A
 BUFORD, GA 30518

CONTACT: MITCH PEEVY PHONE: 770.614.6511

OWNER: BILLY J. SHARPTON
 C/O ALLIANCE ENGINEERING AND PLANNING
 4480 COMMERCE DRIVE, SUITE A
 BUFORD, GA 30518

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests rezoning of 68.26 acres from R-100 (Single-Family Residence District) to OSC (Open Space Conservation District), to construct a 150-lot single-family subdivision. The subject property is located on the southwestern side of Chandler Road, at its intersection with Sharpton Trail. The site is heavily wooded, and currently contains a single residence and several accessory structures.

The net area of the subject site is 66.18-acres, as the property contains floodplain areas along the stream on the northern portion of the parcel. The proposed density of 2.41 units per acre is less than the maximum 2.5 units per acre allowed in the OSC zoning district. The submitted site plan indicates a total of 25.22-acres (approximately 36.95 percent of the gross land area) would be set aside as open space. The site plan proposes an amenity and mail kiosk area centrally located within the development. In the northern portion of the property, adjacent to the existing stream and wetland areas,

primary conservation areas are proposed. A single point of access into the development is proposed off of Chandler Road. A proposed stormwater management pond would be located in the northern portion of the development, outside of the conservation areas.

The minimum lot width for the development would be 60 feet, and a minimum of 7,500 square feet in area, which complies with zoning district requirements. The applicant has proposed homes to be a minimum size of 2,000 square feet for single-story homes and 2,400 square feet for two-story homes, with all units including two-car garages. Further, the exterior of all dwellings are proposed to consist of a mixture of brick, stone or fiber-cement siding on the front façade, with the balance of the home the same or wood, cedar shake or fiber-cement siding.

An OSC zoned development requires a form of transition when located adjacent to agricultural or single-family residential uses. The UDO (Unified Development Ordinance) provides three options, and the applicant has chosen to provide a 50-foot conservation strip adjacent to properties zoned R-100 (Single-Family Residence District). The site plan reflects a 50-foot wide stream buffer and 75-foot impervious setback along the stream, with a few properties shown to encroach within the buffer. Also reflected on the site plan is a street frontage buffer along Chandler Road and Sharpton Trail, which meets the required 50-foot width.

ZONING HISTORY:

In 1970, the subject property was zoned RA-200 (Agriculture-Residence District). In 1973, it was rezoned to R-100 per an areawide rezoning.

GROUNDWATER RECHARGE AREA:

The subject property is located within an identified Significant Groundwater Recharge Area. The development would be served by sanitary sewer, resulting in minimal impact.

WETLANDS INVENTORY:

The subject property contains areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development. The applicant/developer shall obtain all required approvals from the Gwinnett County Department of Water Resources and the U.S. Army Corps of Engineers for construction or land disturbance activities which may impact floodplain or wetland areas.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

This site appears to be heavily wooded and may include specimen trees which are required by Unified Development Ordinance Section 630-70 to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of Development Plans for review.

Section 210-50.20 of the Unified Development Ordinance requires submittal of a concept plan for review and approval of the Development Division prior to submittal and acceptance of a development permit application.

Project access and required improvements along Chandler Road and Sharpton Trail will be subject to review and approval of Gwinnett County Department of Transportation.

A 200-foot deceleration lane with a 50-foot taper is required at the project entrance.

Five-foot wide sidewalks are required along the entire frontage of Chandler Road and Sharpton Trail.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

The property appears to contain stream buffers and floodplain. The proposed conceptual plan may require revision to show the appropriate stream buffers and floodplain.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Chandler Road is a Major Collector and 40 feet of right of way is required from the centerline.

Sharpton Trail is a Local Residential Street and 25 feet of right of way is required from the centerline.

A left turn shall be provided at the project entrances.

Entrances shall be provided to the site per current development regulations.

Standard deceleration lane with appropriate taper and adequate right of way will be required.

The developer shall be limited to one curb cut.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

Minimum separation from a driveway, public road, or side street shall be provided as specified in the Gwinnett County Unified Development Ordinance.

A 5-foot sidewalk is required along the property frontage.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 10-inch water main located on the northeast right of way of Chandler Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located approximately 250 feet west of parcel R5169 002 in the right of way of Grassy Hill Court. Easement would be required.

The subject development is located within the Lower Big Haynes service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The applicant seeks rezoning from R-100 to OSC in order to develop a 150-lot single-family residential subdivision. The subject property is located along the western side of Chandler Road, extending south from Bowman Road to Sharpton Trail. The property is heavily wooded with a single existing residence, and is crossed by streams at the northern end of the site.

The 2030 Unified Plan Future Development Map indicates the property is located at the edge of the Rural/Estate Character Area, bordering the Existing/Emerging Suburban Character Area to the west. Policies for the Rural/Estate Character Area encourage agriculture, estate residential and subdivision development limited to no more than 2.0 units per acre. Although the proposed development density of 2.41 units per acre exceeds the recommendation, it is located at a transition between character areas and would be surrounded by conservation space strips, stream buffers and floodplain that may help the development blend with the surrounding area. With conditions to ensure preservation of buffers and open space, an OSC residential subdivision could be consistent with this character area.

The surrounding area is characterized by single-family residential uses on large acreage tracts and subdivision developments. The property is bordered to the west by the Wheatfield Reserve subdivision zoned R-100 and R-100 CSO. To the north is the Wheatfield Reserves open space area zoned R-100 CSO, and a single home on a large acreage lot zoned R-100. Further north are the Avington Glen and Bowman Meadows subdivisions zoned R-100 CSO. To the east across Chandler Road is a wooded undeveloped lot, zoned R-100. East of Sharpton Trail are single family homes on large lots zoned R-100. Given the established precedent for conservation subdivision development in the area, evidenced by the numerous R-100 CSO neighborhoods in the vicinity, the proposed OSC subdivision could be consistent with other subdivisions in the area.

In conclusion, the requested OSC zoning may conform to the policies of the 2030 Unified Plan that encourage low density residential development and preservation of conservation areas. Further, the inclusion of conditions maintaining open space and increasing the proposed lot size may provide the existing surrounding neighborhoods added buffering and minimize disturbance to the natural areas that benefit the community; therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS.**

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval as OSC (Open Space Conservation Subdivision), subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Single-family detached dwellings and accessory uses and structures, not to exceed 150 lots.
 - B. The minimum heated floor area per dwelling unit shall be 2,000 square feet for one-story homes and 2,400 square feet for two-story homes.
 - C. Homes shall be constructed with front facades of primarily brick or stacked stone. The balance of the home may be the same, or of fiber-cement siding or shake with a minimum three-foot high brick or stacked stone water table.
 - D. All dwellings shall have at least a double-car garage. The garage doors shall be located behind the front façade front door facing the street of access.
2. To satisfy the following site development considerations:
 - A. The development shall abide by all applicable standards of the Unified Development Ordinance, unless otherwise specified in these conditions or through approval of an administrative variance or by the Zoning Board of Appeals, as appropriate.
 - B. All primary conservation space shall remain undisturbed.
 - C. A minimum 50-foot wide conservation space strip shall be provided around the perimeter of the property.
 - D. A specimen tree concept plan and tree survey shall be required with the submittal of a development permit application.
 - E. No direct lot access shall be allowed onto Chandler Road or Sharpton Trail.
 - F. The Chandler Road frontage and project entrance shall be landscaped by the developer and maintained by the Homeowner's Association. Entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval of the Director of Planning and Development.

- G. An active amenity area shall be constructed in the center of the development as shown on the submitted site plan. Off-street unpaved trails and pedestrian connections to the conservation areas and amenity area shall be provided throughout the development. Trails and amenities shall be provided around the detention ponds. Final layout and design of these features shall be subject to the review and approval of the Director of Planning and Development.
- H. Natural vegetation shall remain on the property until the issuance of a development permit.
- I. All grassed areas on dwelling lots shall be sodded.
- J. All utilities shall be placed underground.
- K. Building lots shall not be located within any required stream buffers or accompanying impervious surface setback areas.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The request could be considered suitable at this location in light of the existing conservation subdivision developments in the area, and the preservation of a substantial portion of the site as primary and secondary conservation space.

ADVERSE IMPACTS

With the recommended conditions, potential impacts should be minimized.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

An increased impact on public facilities could be anticipated in the form of increased traffic, school enrollment, stormwater runoff and utility demand.

CONFORMITY WITH POLICIES

With conditions to ensure the preservation of conservation areas and lots sizes similar to other existing development found in the area, an OSC subdivision could be consistent with the policies of the 2030 Unified Plan that emphasizes compatible infill development.

CONDITIONS AFFECTING ZONING

The connectivity to the County's trail system, as well as the preservation of wooded areas, streams, and proposed pocket parks on the site lend supporting grounds for approval of OSC zoning for this site.

STANDARDS GOVERNING EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY, OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

THE APPLICANT BELIEVES THE PROPOSED USE IS SUITABLE.

(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

THE PROPOSED USE WILL NOT ADVERSELY AFFECT THE USE OF THE SURROUNDING PROPERTIES.

(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS A REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

THE APPLICANT BELIEVES THAT THE SUBJECT PROPERTY DOES NOT HAVE A REASONABLE ECONOMIC USE AS CURRENTLY ZONED.

(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREET, TRANSPORTATION FACILITIES, UTILITIES OR SCHOOLS:

THE PROPOSED USE WILL NOT PRODUCE AN ADVERSE AFFECT ON THE EXISTING INFRASTRUCTURE.

(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

YES, THE LAND USE PLAN STATES THE PROPERTY IS DESIGNATED AS EXISTING/EMERGING SUBURBAN.

(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

SEE LETTER OF INTENT.

RECEIVED BY

SEP 06 2018

RZR 18032

Planning & Development

Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States, and Article 1, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

.....
PLANNING DIVISION USE ONLY

CASE NUMBER _____

RECEIVED BY: _____

RECEIVED BY

SEP 08 2013

RZR 18 032

Planning & Development

REZONING APPLICANT'S LETTER OF INTENT

The Applicant, Prime Consulting, Inc., requests rezoning on 68.26 acres for the purpose of developing a Single Family detached subdivision. In order to develop the site as proposed, the Applicant respectfully requests a rezoning from R-100 to OSC.

The enclosed site plan indicates 150 units on the subject site. The site plan shows that the project will have one entrance from Chandler Road with no access to Sharpton Trail Road. The minimum heated square footage for the homes will be 2,000 sf for ranch homes and 2,400 sf for 2 story homes with a maximum height for the proposed dwellings 35'. The exterior of all dwellings will consist of a mixture of brick, stone or fiber cement siding on the front façade. The balance of the home may be the same or wood, cedar shake or fiber cement siding. Price range for the homes will be from the high \$200s to the low \$300's. Sidewalks will be installed along both sides of the interior streets as well as along the entire frontage of Chandler Road and Sharpton Trail. The applicant also plans to build a mulch trail throughout the open space area that will provide an access to the creek. The project is proposed to be a conservation subdivision due to the streams and the many large trees on the property. The minimum required open space is 17.07 acres or 25% of the property and the layout provides 26.3 acres or 38.53% of the property thus exceeding the minimum requirements.

Finally, the applicant is providing the 50 foot buffer around the property that will be owned and maintained by the home owners association. There is also a proposed cabana and pool planned for the amenity area internal to the proposed subdivision. There are many other conservation subdivisions in the immediate are and the applicant looks forward to meeting with staff and our neighbors to discuss any concerns that anyone has with the proposal.

RECEIVED BY

SEP 06 2018

RIR '18 034

Planning & Development

CHANDLER RESERVE

Character Example of Two Story Homes Architecture



Front Elevation



Rear Elevation



Left Elevation



Right Elevation

ELEVATIONS ARE AN ARTISTIC REPRESENTATION
AND MAY VARY FROM FINAL PRODUCT

RZR '18 032

RECEIVED BY

PRIME CONSULTING INC.
361 TUGGLE RD, BUFORD GA 30519

SEP 06 2018

Planning & Development

CHANDLER RESERVE

Character Example of Front Entry Homes Architecture



Front Elevation



Rear Elevation



Left Elevation



Right Elevation

ELEVATIONS ARE AN ARTISTIC REPRESENTATION
AND MAY VARY FROM FINAL PRODUCT

RZR '18 032

PRIME CONSULTING INC.
361 TUGGLE RD, BUFORD GA 30519

RECEIVED BY

SEP 06 2018

Planning & Development

CHANDLER RESERVE

Character Images



Amenities Pool/Cabana

PERSPECTIVE IS ARTISTIC
REPRESENTATION AND MAY
VARY FROM FINAL PRODUCT



Streetscape



Mail Kiosk



Lawn Benches

RZR '18 032

PRIME CONSULTING INC.
361 TUGGLE RD, BUFORD GA 30519

RECEIVED BY

SEP 06 2013

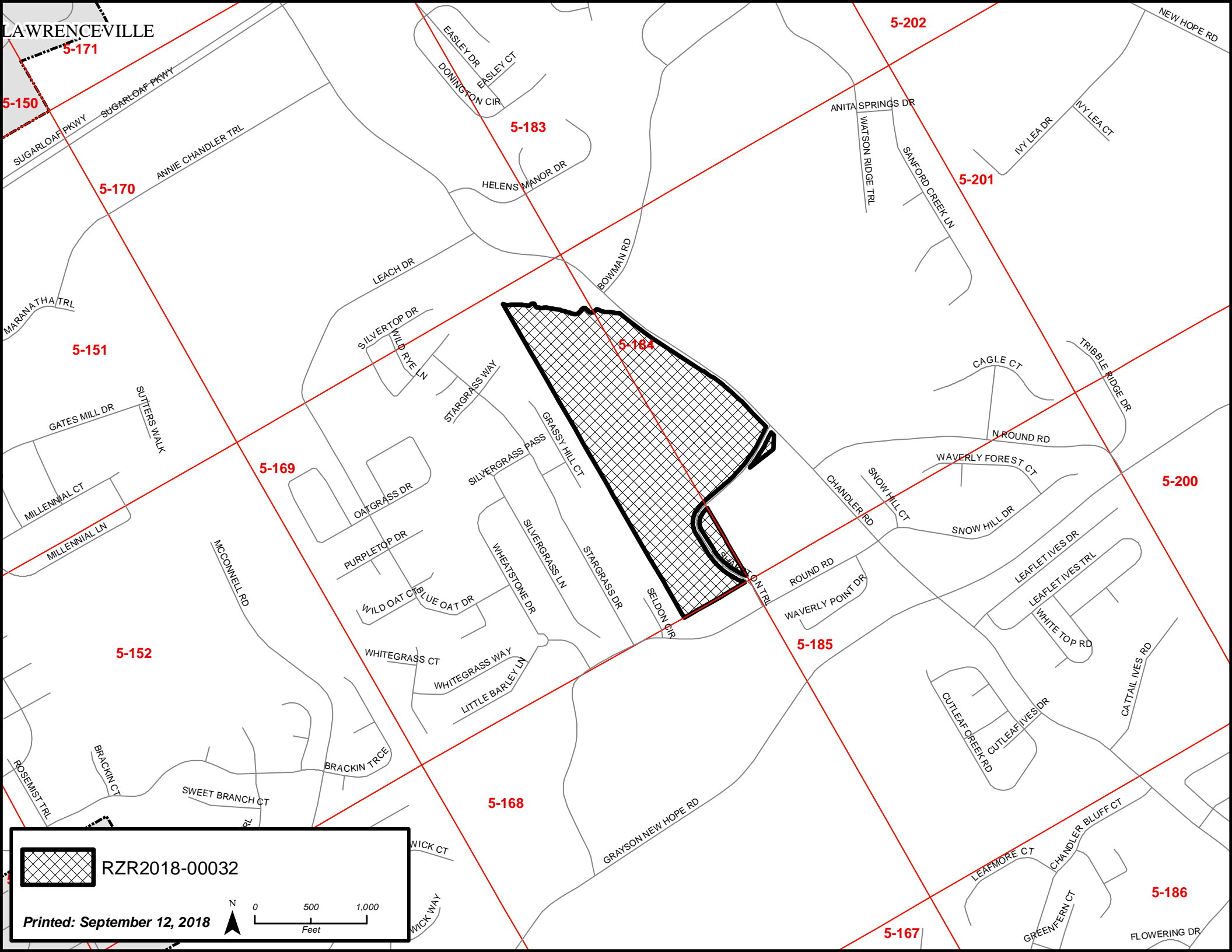
Planning & Development

**Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County, November 2018**

Case #	Schools	Current Projections									Proposed Zoning Approximate additional Student Projections from Proposed Developments
		2019-20			2020-21			2021-22			
		Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	
RZR2018-00031	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	1
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	1
	Dacula ES	1,111	1,550	-439	1,093	1,550	-457	1,108	1,550	-442	2
RZR2018-00032	Grayson HS	3,044	2,125	919	3,128	2,125	1,003	3,222	2,125	1,097	48
	Couch MS	1,080	1,150	-70	1,102	1,150	-48	1,124	1,150	-26	34
	Starling ES	1,034	1,200	-166	1,065	1,200	-135	1,097	1,200	-103	67
RZR2018-00033	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	12
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	9
	Freeman's Mill ES	864	925	-61	881	925	-44	899	925	-26	17
RZR2018-00034	Mill Creek HS	3,674	2,800	874	3,729	2,800	929	3,785	2,800	985	15
	Osborne MS	1,712	1,575	137	1,729	1,575	154	1,746	1,575	171	11
	Duncan Creek ES	1,336	1,300	36	1,376	1,300	76	1,417	1,300	117	22
RZR2018-00035	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	3
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	2
	Freeman's Mill ES	864	925	-61	881	925	-44	899	925	-26	5
RZR2018-00036	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	75
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	54
	Patrick ES	719	1,025	-306	726	1,025	-299	748	1,025	-277	106
RZR2018-00037	South Gwinnett HS	2,634	2,750	-116	2,674	2,750	-76	2,714	2,750	-36	6
	Grace Snell MS	1,254	1,200	54	1,273	1,200	73	1,292	1,200	92	4
	Rosebud ES	1,050	1,200	-150	1,040	1,200	-160	1,051	1,200	-149	8

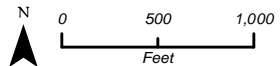
Current projections do not include new developments

LAWRENCEVILLE



RZR2018-00032

Printed: September 12, 2018



LAND LOT(S): 169, 184; DISTRICT: 5TH
 GWINNETT COUNTY, GA
 DATE: AUGUST 29, 2018

CHANDLER RESERVE

RECEIVED BY

06 2018

RZR '18032

A PORTION OF THIS PROPERTY IS LOCATED IN
 A FEMA FLOOD PLAIN AS PER FEMA PANEL
 No. 13135C0105F, DATED 09/29/2006.

Planning & Development



PROPERTY CONSERVATION SPACE	SECONDARY CONSERVATION SPACE	APPROXIMATE WETLANDS LOCATION PER U.S. FERR AND WILDFE DATA	APPROX. 158 YEAR FLOOD HAZARD AREA PER FEMA PANEL NO. 13135C0105F
SITE DATA ZONING CODE: R-12 ZONING DISTRICT: M180 TOTAL LOTS: 188 LOTS BUILDING HEIGHTS: RESIDENTIAL: 35 FT. MAX BUILDING SETBACK: 20' FRONT WITH MIN. 18' TO GARAGE, 3' SIDE, 30' REAR BUFFER: 50' CONSERVATION STRIP AS SHOWN	NET ACRES: 41.02 AC PROPOSED DENSITY: 4.61 U.S.A. NET DENSITY		

SINGLE FAMILY RESIDENTIAL LOT DATA:		CONSERVATION SPACE DATA	
TOTAL LOTS:	188 LOTS	TOTAL CONSERVATION SPACE REQUIRED:	20% OR 17.87 AC
LOT WIDTH:	80' WIDE LOTS	TOTAL CONSERVATION SPACE PROVIDED:	28.85% OR 12.52 AC
LOT SIZE:	7,850 SF MIN.	PRIMARY CONSERVATION SPACE PROVIDED:	15% OR 6.53 AC
UNIT SF:	1,480 SF MIN.	SECONDARY CONSERVATION SPACE PROVIDED:	13% OR 5.39 AC
LOT TYPE:	FRONT ENTRY	CONSERVATION SPACE PROVIDED:	18.47% OR 7.11 AC
LOT #:	1-188		
GARAGE:	2 CAR GARAGE		

FINANCING ANALYSIS	TOTAL PER UNIT	TOTAL PER PHASE	TOTAL PER SITE
LOT TYPE	2.00	1.00	1.00
GARAGE/DRIVEWAY	1.00	1.00	1.00
AREA:YD. / HA. / WEEK PARKING	1.00	1.00	1.00
TOTAL PARKING SPACES FOR RESIDENTIAL	420	420	420

PROJECT OWNERS:
 PRIME CONSULTING INC.
 381 TUGOLE RD, BUFORD GA, 30519

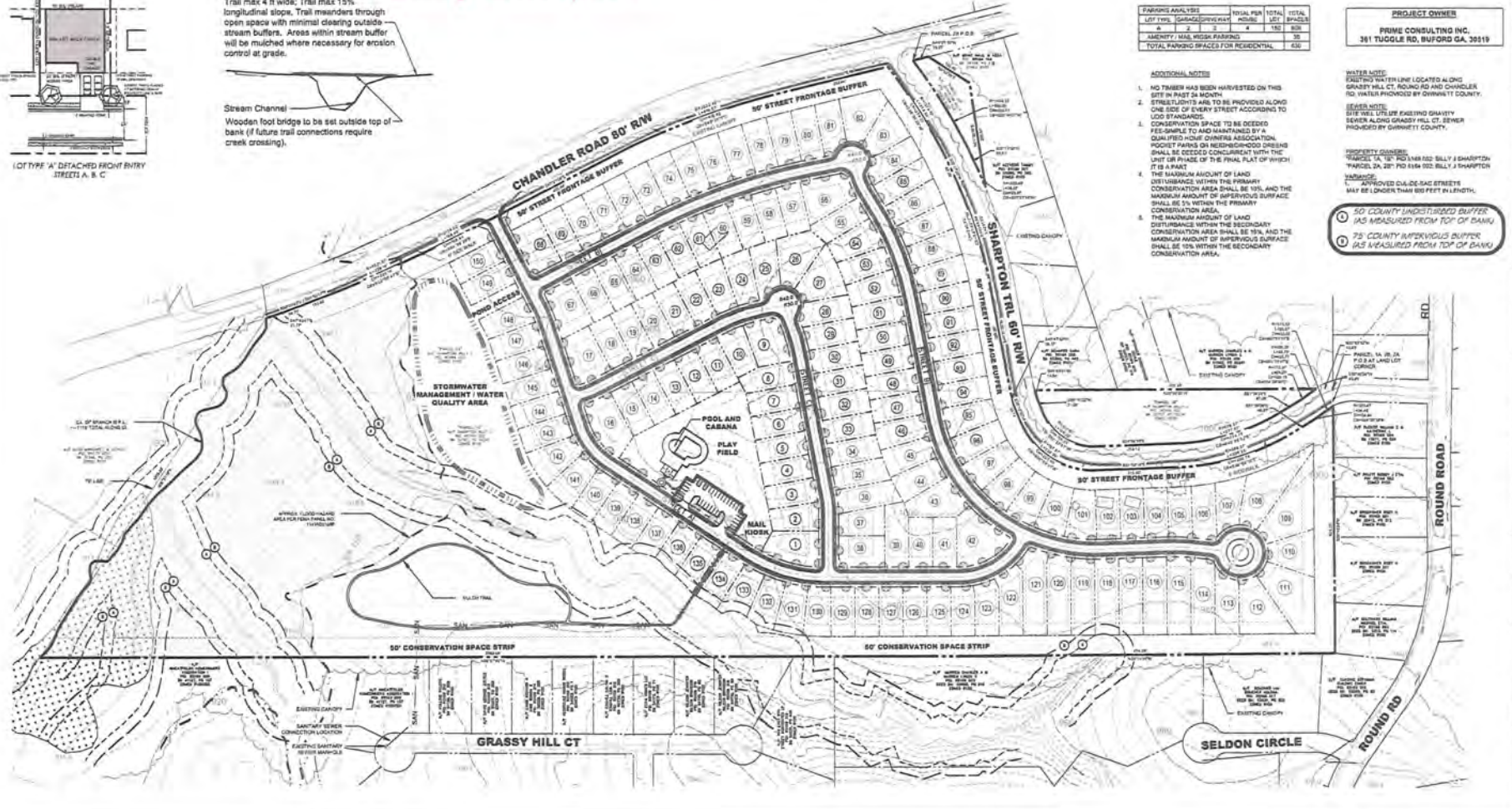
ADDITIONAL NOTES:
 1. NO TREES HAS BEEN HARVESTED ON THIS SITE IN PAST 24 MONTHS.
 2. STREETLIGHTS ARE TO BE PROVIDED ALONG ONE SIDE OF EVERY STREET ACCORDING TO LDD STANDARDS.
 3. CONSERVATION SPACE TO BE DESIGNED PER SPC 11.10.2016. OPEN SPACE TO BE MAINTAINED BY A QUALIFIED HOMEOWNERS ASSOCIATION. POCKET PARKS OR NEIGHBORHOOD DRIVING SHALL BE CEDED CONCURRENT WITH THE UNIT OR PHASE OF THE FINAL PLAN OF WHICH IT IS A PART.
 4. THE MAXIMUM AMOUNT OF LAND DISTURBANCE WITHIN THE PRIMARY CONSERVATION AREA SHALL BE 50% AND THE MAXIMUM AMOUNT OF IMPERVIOUS SURFACE SHALL BE 5% WITHIN THE PRIMARY CONSERVATION AREA.
 5. THE MAXIMUM AMOUNT OF LAND DISTURBANCE WITHIN THE SECONDARY CONSERVATION AREA SHALL BE 10% AND THE MAXIMUM AMOUNT OF IMPERVIOUS SURFACE SHALL BE 10% WITHIN THE SECONDARY CONSERVATION AREA.

WATER NOTE:
 EXISTING WATER LINE LOCATED ALONG GRASSY HILL CT, ROUND RD AND CHANDLER RD. WATER PROVIDED BY GWINNETT COUNTY.
SEWER NOTE:
 SITE WILL UTILIZE EXISTING SANITARY SEWER ALONG GRASSY HILL CT. SEWER PROVIDED BY GWINNETT COUNTY.

PROPERTY OWNER:
 PARCEL 1A: 188 RD 1588 RD: BILLY J SHARPTON
 PARCEL 2A: 20' PD 834 RD: BILLY J SHARPTON

UNDESIGNED:
 APPROVED CAL-DE-SAC STREETS MAY BE LONGER THAN 90 FEET IN LENGTH.

50' COUNTY UNDISTURBED BUFFER (AS MEASURED FROM TOP OF BANK)
75' COUNTY IMPERVIOUS BUFFER (AS MEASURED FROM TDF OF BANK)



ALLIANCE ENGINEERING & PLANNING LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING • LAND PLANNING • LANDSCAPE ARCHITECTURE
 6645 STEVENS AVE., SUITE 101, ATLANTA, GA 30355
 404.252.4211 | INFO@ALLIANCEENR.COM

Zoning Site Plan for Chandler Reserve

L.L. 184, 184, DISTRICT 5 GWINNETT COUNTY, GEORGIA

Date	Revisions

Designed by JAV
 Checked by TSM
 Project # 16033

NORTH

Scale: 1" = 120'

ZONING PLAN

8/28/2018

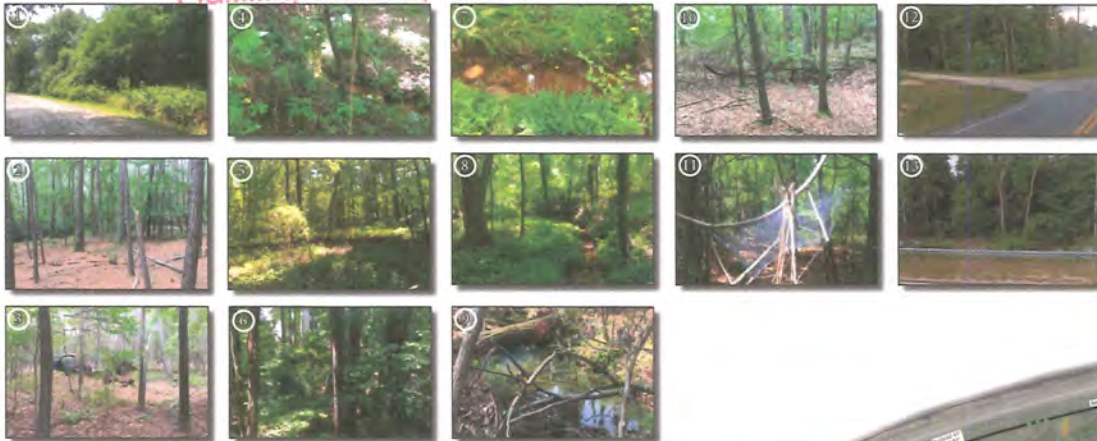
RECEIVED BY

RZR '18 032

SEP 06 2018

Planning & Development

CHANDLER RESERVE SITE ANALYSIS PLAN



Site description:

The site consists of a combination of 4 tracts of land (2 tax parcels) combining to ±68.26 acres. The site is located West of Chandler Rd and North of Round Rd SE in Gwinnett County, Georgia. The site is presently undeveloped wooded land with some single family structures remaining on site. The surrounding area is presently mostly residential. A gravel road (Sharpston Trail) separates two smaller adjoining tracts of land, which are fully wooded with no existing buildings on site. The central coordinates for the larger two connected tracts is latitude 33.550188 North and longitude -83.563168 West. A creek forms the northernmost property boundary of the site. The property is located within the Upper Oconee Watershed - Hydrologic Unit Code (HUC) 03070101.

One wetland area is identified on the Northwestern portion of the site and is within flood zone AE. This flood zone is mostly wooded and expands approximately 12 acres within the Northern boundary. Numerous small creeks flow Easterly, all together forming diverse riparian and vegetative corridors serving as a gateway for local fauna to migrate through the site.

All tracts or land are mostly wooded with coniferous, deciduous, and mixed woodland, with pockets of larger specimen sized hardwood canopy. Based on a review of topography, the site is located on a gently rolling slope, grading generally downward to the northeastern low point at the centerline of a creek +/- 912 feet above mean sea level (amsl). The topographic high point is located on the Southern portion of the site, just West of Sharpston Trail and is 1,006.8 feet (amsl). No rock outcroppings were observed on the property during the site visit.

Total combined Area:
±/-68.26 Gross Acres; ±/-62.18 Net Acres

Date of site analysis:
August 7, 2018

Historical, archeological or other significant features:
None observed on site during site investigation

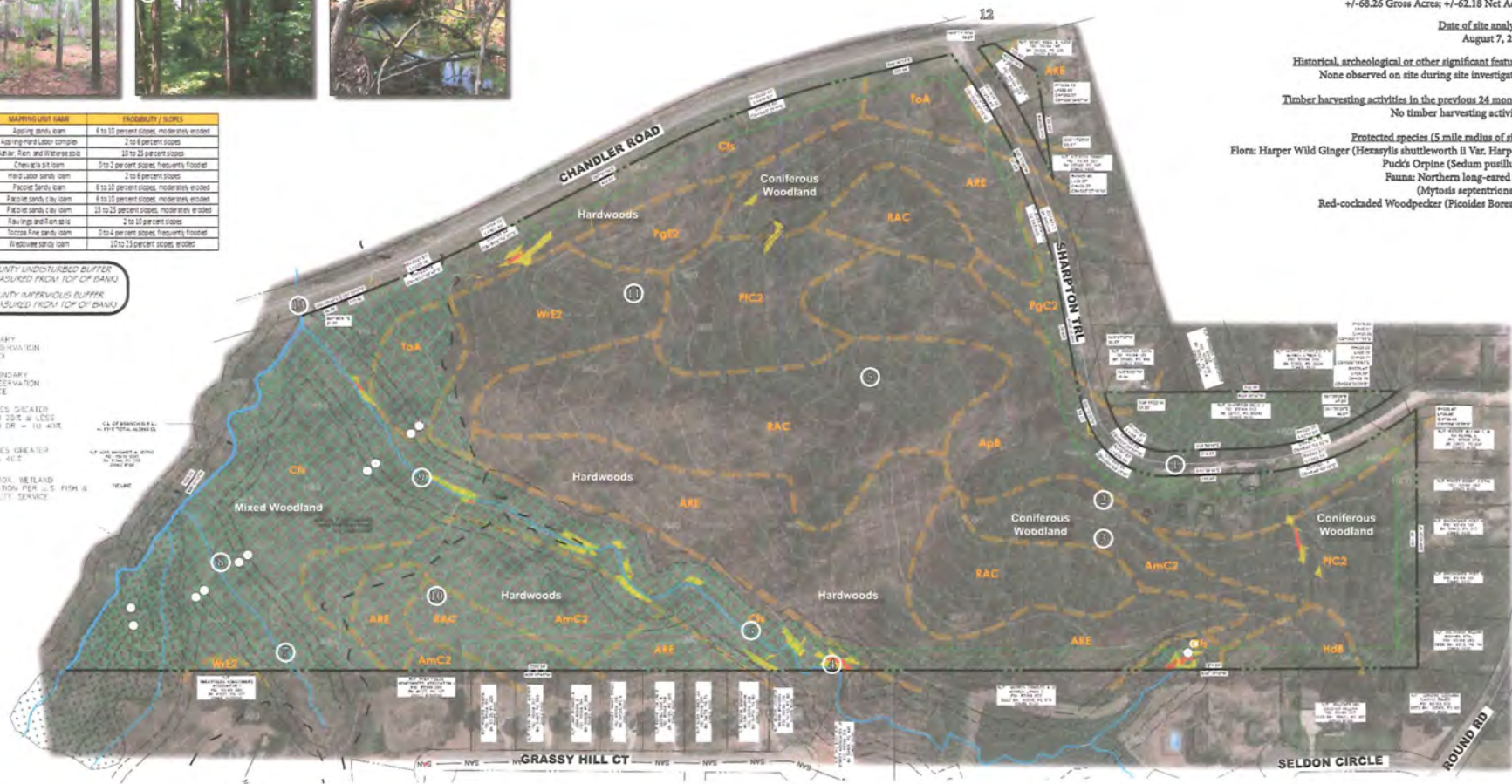
Timber harvesting activities in the previous 24 months:
No timber harvesting activities

Protected species (5 mile radius of site):
Flora: Harper Wild Ginger (*Hexaxylis shuttleworthii* Var. Harperi)
Puck's Orpine (*Sedum pusillum*)
Fauna: Northern long-eared Bat (*Myotis septentrionalis*)
Red-cockaded Woodpecker (*Picoides borealis*)

MAP SYMBOL	MAPPING LIST NAME	PRECEDENCE / SLOPE
AmC2	Aspen sandy loam	8 to 15 percent slopes, moderately eroded
AmB	Aspen mixed loam complex	2 to 6 percent slopes
AmE	Aspen, loam, and loam-sand	20 to 25 percent slopes
Cl	Chickamauga silt loam	7 to 12 percent slopes, frequently flooded
MdB	mixed loam sandy loam	2 to 6 percent slopes
Pc1	Piedmont sandy loam	8 to 15 percent slopes, moderately eroded
Pc2	Piedmont sandy clay loam	8 to 15 percent slopes, moderately eroded
Pc3	Piedmont sandy clay loam	15 to 25 percent slopes, moderately eroded
RAC	Red-wing and loam sand	7 to 12 percent slopes
ToA	Toccoa fine sandy loam	2 to 4 percent slopes, frequently flooded
WtE2	Wetmore sandy loam	10 to 15 percent slopes, eroded

- 50' COUNTY UNDISTURBED BUFFER (AS MEASURED FROM TOP OF BANK)
- 75' COUNTY IMPROVISED BUFFER (AS MEASURED FROM TOP OF BANK)

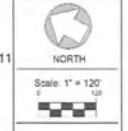
- PRIMARY CONSERVATION SPACE
- SECONDARY CONSERVATION SPACE
- SLOPES GREATER THAN 20% OR LESS THAN 10% (SLOPE)
- SLOPES GREATER THAN 40% (SLOPE)
- APPROX. WETLAND LOCATION PER U.S. FISH & WILDLIFE SERVICE



Site Analysis Plans for
Chandler Reserve
LL 184, 184-DISTRICT 5,
GWINNETT COUNTY, GEORGIA

Version	Date	Description
Issue 01	Rev 01	Issue 01
Issue 02	Rev 02	Issue 02
Issue 03	Rev 03	Issue 03
Issue 04	Rev 04	Issue 04
Issue 05	Rev 05	Issue 05
Issue 06	Rev 06	Issue 06
Issue 07	Rev 07	Issue 07

Designed by: TSM
Checked by: TSM
Project #: 17-019-119



SITE ANALYSIS



SILVERGRASS PASS


STARGRASS DR

GRASSY HILL CT

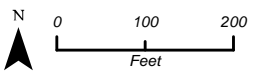
BLACKSEED DR

CHANDLER RD

STARTON TRL

 RZR2018-00032

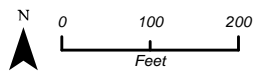
Printed: September 12, 2018





RZR2018-00032

Printed: September 12, 2018



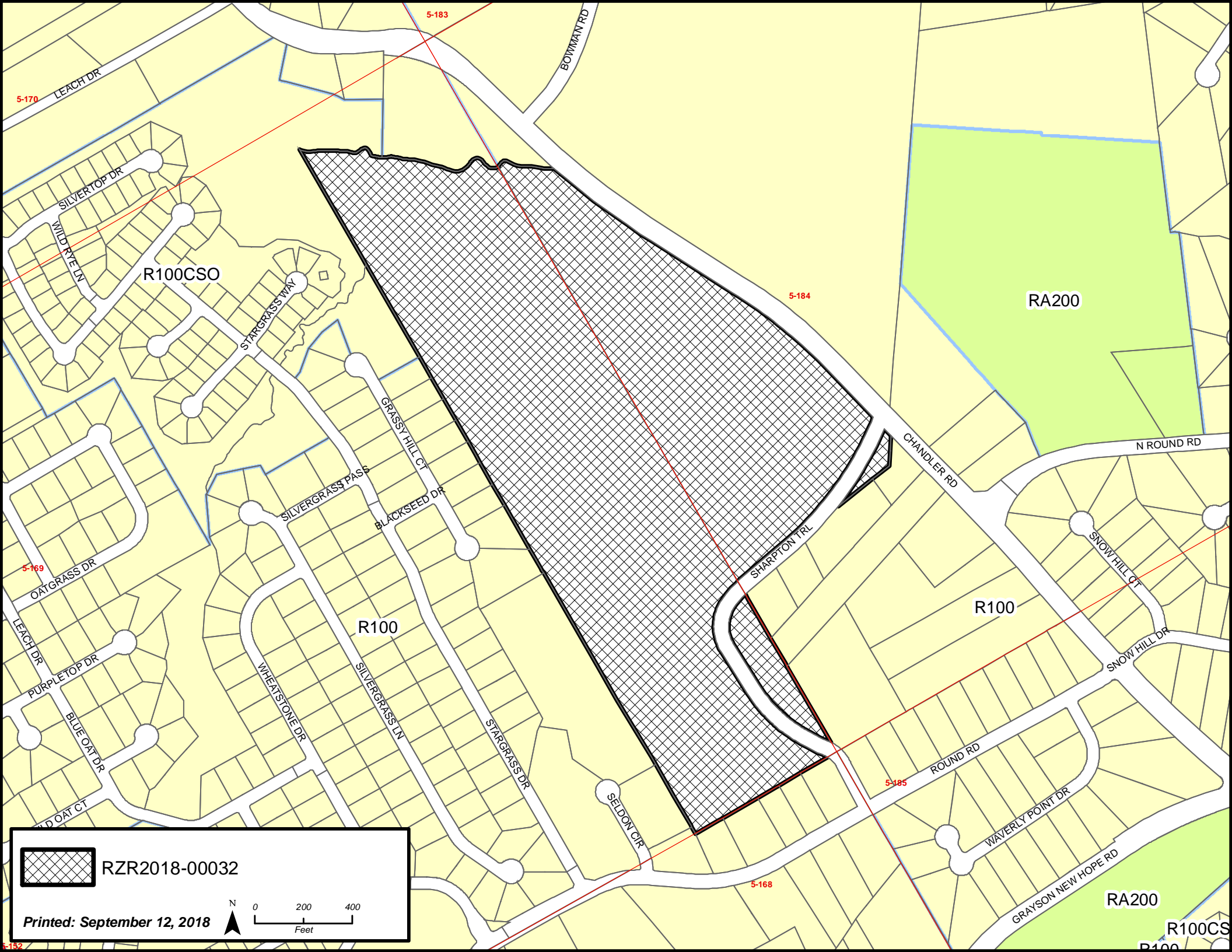


RZR2018-00032



0 200 400
Feet

Printed: September 13, 2018



5-170

5-183

5-184

5-169

5-185

5-168

 RZR2018-00032

Printed: September 12, 2018

 N

 0 200 400 Feet

R100CSO
R100

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :**RZR2018-00033**
ZONING CHANGE :RA-200 TO R-75
LOCATION :1400 BLOCK OF PROSPECT ROAD
 :1500 BLOCK OF PROSPECT CHURCH ROAD
MAP NUMBERS :R7055 003, 005, 019 & 024
ACREAGE :13.45 ACRES
UNITS :38 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(4) HEARD

CASE NUMBER :**RZR2018-00035**
ZONING CHANGE :RA-200 TO R-75
LOCATION :1300-1400 BLOCKS OF PROSPECT ROAD
MAP NUMBERS :R7055 005 & 022
ACREAGE :5.34 ACRES
UNITS :10 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(4) HEARD

FUTURE DEVELOPMENT MAP: **EXISTING / EMERGING SUBURBAN**

APPLICANT: HODGES FAMILY PROPERTIES, LLC
 C/O MAHAFFEY PICKENS TUCKER, LLP
 1550 NORTH BROWN ROAD, SUITE 125
 LAWRENCEVILLE, GA 30043

CONTACT: SHANE LANHAM PHONE: 770.232.0000

OWNERS:	DAVID A. & CONNIE DAVIS 1428 PROSPECT ROAD LAWRENCEVILLE, GA 30043	JOSEPH K. & MICHELLE DAVIS 1517 PROSPECT CHURCH ROAD LAWRENCEVILLE, GA 30043
	LILLIAN F. DAVIS 1462 PROSPECT ROAD LAWRENCEVILLE, GA 30043	KATHY D. PUCKETT 1260 PROSPECT ROAD LAWRENCEVILLE, GA 30043

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant is requesting to rezone two assembled tracts of land from RA-200 (Agriculture Residence District) to R-75 (Single-Family Residence District) for the development of two small single-family subdivisions totaling 48 lots. The combined properties total 18.79 acres and are located on both sides of Prospect Road, south of Prospect Church Road. Tract 1 (RZR2018-00033), 13.45 acres, begins at the intersection of Prospect Church Road and Prospect Road and extends along the west side of Prospect Road. Tract 2 (RZR2018-00035), 5.34 acres, lies on the east side of Prospect Road farther to the south. Both tracts are mostly wooded. Presently, Tract 1 contains three homes and Tract 2 contains one home, all of which would be removed prior to development.

The site plan indicates that the properties would be developed with 38 single-family homes on Tract 1, and 10 single-family homes on Tract 2, with all lots conforming to R-75 lot size, width and setbacks. The resulting gross and net density over both tracts would be 2.55 units per acre; reviewing each tract individually, Tract 1 shows a gross and net density of 2.82 units per acre and Tract 2 shows a density of 1.87 units per acre. Each tract would be accessed by a single street connection to Prospect Road. Each tract on the submitted site plan shows a single stormwater detention area.

The proposed minimum house size is 1,400 square feet. No house elevations have been submitted; however, the applicants' letter of intent calls for the architectural materials to be used on the dwelling units to be brick, stacked stone, cedar or cementitious shake, siding, board and batten or combinations thereof.

ZONING HISTORY:

The property has been zoned RA-200 since 1970.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

Portions of this site appear to be heavily wooded and may include specimen trees which are required by the UDO to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of Development Plans for review. Project access and required improvements along Prospect Road will be subject to review and approval of Gwinnett County Department of Transportation.

A 200-foot deceleration lane with a 50-foot taper is required at the project entrance of each Tract 1 and Tract 2.

Five-foot wide sidewalks are required along the entire frontage of Prospect Church Road and Prospect Road.

Four-foot wide sidewalks are required on both sides of interior streets.

The U.S. Postal Service requires a centralized mail delivery kiosk replacing individual mail boxes. The location and access must be approved by Gwinnett County Department of Transportation.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Prospect Road is a Major Collector and 40 feet of right of way is required from the centerline.

Prospect Church Road is a Minor Collector and 30 feet of right of way is required from the centerline.

Entrances shall be provided to the site per current development regulations.

Standard deceleration lane with appropriate taper and adequate right of way will be required.

The project entrance shall align with opposing roads or driveways in accordance with the Gwinnett County Unified Development Ordinance.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

Minimum separation from a driveway, public road, or side street shall be provided as specified in the Gwinnett County Unified Development Ordinance.

Dedicate 20-foot right of way miter at the intersection of Prospect Road and Prospect Church Road.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 12-inch water main located on the southeast right of way of Prospect Church Road and an 8-inch and 48-inch water main located on the northeast right of way of Prospect Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located approximately 150 feet north of parcel R7055 005 on parcel R7055 266. Easements would be required.

The subject development is located within the Alcovy service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity

Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The applicant is requesting to rezone an 18.79-acre property assemblage from RA-200 (Agriculture Residence District) to R-75 (Single-Family Residence District) for the development of two small single-family subdivisions. The properties are located on both

sides of Prospect Road, south of Prospect Church Road. The two assembled tracts contain a few houses that would be removed, and they are mostly wooded.

The 2030 Unified Plan Future Development Map indicates that the properties are located in the Existing/Emerging Suburban Character Area. This Character Area encourages single family residential and in-fill developments at densities and architectural character compatible with existing development in the area, with densities ranging up to 3.0 units per acre. The rezoning of these properties to R-75 with densities of 2.82 and 1.87 units per acre respectively can be seen as consistent with the policies and density limits of the 2030 Unified Plan and Future Development Map.

The larger surrounding area includes homes on acreage and numerous subdivisions in a variety of zoning districts, including R-100, R-100 MOD, R-100 CSO, R-75, R-75 MOD and R-75 CSO. Immediately bordering and across from the subject sites is Prospect Creek subdivision, zoned R-100 MOD. This neighborhood was rezoned in 1999 (RZ-99-154 & SUP-99-098) with conditions requiring a minimum house size of 1,800 to 2,000 square feet, and front facades of brick, stone or stucco. Although many older subdivisions in the vicinity are zoned R-100, the Department notes that since 2000, several R-75 subdivisions have been approved nearby on Braselton Highway, Old Peachtree Road, and Azalea Drive, and have become part of the established zoning pattern of the area. Therefore, with appropriate conditions, the requested R-75 may be suitable at this location.

In view of the elements brought forth, the Department considers the R-75 district with appropriate conditions to be compatible with the zoning and development patterns of the area and generally consistent with the recommendations of the Unified Plan with regards to density and housing style; therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval as R-75 for development of a Single-Family Subdivision, subject to the following enumerated conditions:

- I. To restrict the use of the property as follows:
 - A. Single-family detached dwellings and accessory uses, not to exceed 38 units for RZR218-00033 and 10 units for RZR2018-00035.
 - B. The minimum heated floor area per dwelling unit shall be 1,800 square feet for one-story homes and 2,000 square feet for two-story homes.
 - C. Homes shall be constructed primarily of brick or stacked stone on front facades, with accents of fiber-cement siding or shake. The balance of the home may be the same or of fiber-cement siding with a minimum 3-foot brick or stacked stone water table.
 - D. All dwellings shall have at least a double-car garage.
2. To satisfy the following site development considerations:
 - A. The development shall abide by all applicable standards of the Unified Development Ordinance, unless otherwise specified in these conditions or through approval of an administrative variance or by the Zoning Board of Appeals, as appropriate.
 - B. No direct lot access shall be allowed from Prospect Road or Prospect Church Road.
 - C. All grassed areas shall be sodded.
 - D. All utilities shall be placed underground.
 - E. Natural vegetation shall remain on the property until the issuance of a development permit.
 - F. The Prospect Road and Prospect Church Road frontages shall be landscaped by the developer and maintained by the Homeowner's Association. Entrances shall include decorative masonry entrance features. Landscape and entrance feature plans shall be subject to review and approval of the Director of Planning and Development.

- G. A specimen tree concept plan and tree survey shall be required prior to the submittal of a development permit application.
 - H. For RZR2018-00033, a pocket park shall be added in the center of the development. Final layout shall be subject to the review and approval of the Director of Planning and Development.
3. Abide by the following requirements, dedications and improvements:
- A. For RZR2018-00033, dedicate 20-foot right of way miter at the intersection of Prospect Road and Prospect Church Road.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The proposed construction of single-family subdivisions within the R-75 zoning classification may be considered suitable at this location.

ADVERSE IMPACTS

With the recommended conditions including home sizes and construction materials comparable to other nearby developments, potential impacts on neighboring properties could be minimized.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

An increase in utilities usage, traffic, stormwater runoff, and school system impacts could be anticipated from this request.

CONFORMITY WITH POLICIES

The 2030 Unified Plan Future Development Map indicates the property is located in an Existing/Emerging Suburban Character Area. The requested R-75 zoning and density of this development may be considered compatible with this Character Area. Approval as R-75, limited to a net density of less than 3.0 units per acre, could be considered consistent with the Unified Plan's recommendations.

CONDITIONS AFFECTING ZONING

The established zoning pattern of the wider area and emergence of R-75 zoning approvals in recent years may support R-75 zoning for the subject tracts.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) Yes. The subject property is located along Prospect Road on the east side of Braselton Highway (State Route 124). Approval of the application would permit a suitable development for the area in light of the uses of nearby property. A single-family residential development would serve the demands of the market and maintain the residential character of the area.
- (B) No. Approval of the application would enhance the area and would not adversely affect adjacent and nearby properties.
- (C) No. In light of market conditions, site-specific topography, and the surrounding property uses, the property does not have reasonable economic use under its current zoning classification.
- (D) No. This property is located in an area with public water and sewer availability and convenient access to major roadways including Braselton Highway (Georgia State Route 124), Interstate 85 and University Parkway (State Route 316). Approval of the application would not cause excessive use of existing streets, transportation facilities, utilities, or schools.
- (E) Yes. The proposed development is in conformance with the policies and intent of the 2030 Land Use Plan. The Property is located in an Existing/Emerging Suburban character in between areas designated as Regional Mixed-Use and R & D Corridor character areas, which are major employment centers. Expanding housing options within close proximity to major employment centers complements existing uses in those areas.
- (F) Yes. The property's convenient location to major thoroughfares provides supporting grounds for approval of the application.

RECEIVED BY

JUL 2018

Planning & Development

0229 128 053

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) Yes. The subject property is located along Prospect Road on the east side of Braselton Highway (State Route 124). Approval of the application would permit a suitable development for the area in light of the uses of nearby property. A single-family residential development would serve the demands of the market and maintain the residential character of the area.
- (B) No. Approval of the application would enhance the area and would not adversely affect adjacent and nearby properties.
- (C) No. In light of market conditions, site-specific topography, and the surrounding property uses, the property does not have reasonable economic use under its current zoning classification.
- (D) No. This property is located in an area with public water and sewer availability and convenient access to major roadways including Braselton Highway (Georgia State Route 124), Interstate 85 and University Parkway (State Route 316). Approval of the application would not cause excessive use of existing streets, transportation facilities, utilities, or schools.
- (E) Yes. The proposed development is in conformance with the policies and intent of the 2030 Land Use Plan. The Property is located in an Existing/Emerging Suburban character in between areas designated as Regional Mixed-Use and R & D Corridor character areas, which are major employment centers. Expanding housing options within close proximity to major employment centers complements existing uses in those areas.
- (F) Yes. The property's convenient location to major thoroughfares provides supporting grounds for approval of the application.

RECEIVED BY

47 2018

Planning & Development

APR 18 035



Matthew P. Benson
 Gerald Davidson, Jr.*
 Brian T. Easley
 Kelly O. Faber
 Christopher D. Holbrook
 Nicholas N. Kemper
 Shane M. Lanham
 Austen T. Mahe

Jeffrey R. Mahaffey
 David G. McGee
 Steven A. Pickens
 Catherine V. Schutz
 Thomas A. Simpson
 Andrew D. Stancil
 R. Lee Tucker, Jr.
 *Of Counsel

LETTER OF INTENT FOR REZONING APPLICATION

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and attached Rezoning Application on behalf of the Applicant, Hodges Family Properties, LLC (the “Applicant”), for the purpose of requesting the rezoning of an approximately 18.787-acre tract of land situated along Prospect Road in central Gwinnett County (the “Property”) east of Braselton Highway (State Route 124) and north of Old Fountain Road. The Property begins at the intersection of Prospect Road and Prospect Church Road and extends southward along the west side of Prospect Road before crossing Prospect Road. The portion of the Property on the east side of Prospect Road is adjacent to the Prospect Creek subdivision zoned R-100 Modified. The Property is currently zoned RA-200.

The Applicant is requesting to rezone the Property to the R-75 zoning classification of Gwinnett County in order to develop a single-family residential community, including 48 detached residential homes. The proposed community will consist of homes at a size, quality and price point commensurate with or exceeding homes in surrounding communities. Generally, the architectural style and composition of the exterior of the homes would consist of brick, stacked stone, cedar and/or cementitious shake, siding, board and batten or combinations thereof. The proposed development would have two entrances off of Prospect Road—one for each side. Entrances would be landscaped with attractive monument signage.

RECEIVED BY
 SEP 07 2018

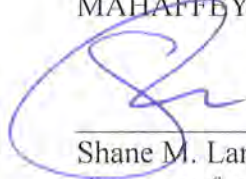
RZR 18033

The proposed development is in conformance with the policies and intent of the 2030 Land Use Plan. The Property is located in an Existing/Emerging Suburban character area between areas designated as Regional Mixed-Use and R & D Corridor character areas, which are major employment centers. Not only would the proposed development provide residential infill development that is compatible with existing development, it would also expand housing options within close proximity to major employment centers which is complementary and supportive of those areas as well.

The Applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Department of Planning & Development to answer any questions or to address any concerns relating to the matters set forth in this letter or in the Rezoning Application filed herewith. The Applicant respectfully requests your approval of this Application.

Respectfully submitted this 7th day of September, 2018.

MAHAFFEY PICKENS TUCKER, LLP



Shane M. Lanham
Attorneys for Applicant

RECEIVED BY

SEP 7 2018

Planning & Development

SEP 26 2018



Matthew P. Benson
Gerald Davidson, Jr.
Brian T. Easley
Kelly O. Faber
Christopher D. Holbrook
Nicholas N. Kemper
Shane M. Lanham
Austen T. Mabe

Jeffrey R. Mahaffey
David G. McGee
Steven A. Pickens
Catherine V. Schutz
Thomas A. Simpson
Andrew D. Stencil
R. Lee Tucker, Jr.
*Of Counsel

LETTER OF INTENT FOR REZONING APPLICATION

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and attached Rezoning Application on behalf of the Applicant, Hodges Family Properties, LLC (the “Applicant”), for the purpose of requesting the rezoning of an approximately 18.787-acre tract of land situated along Prospect Road in central Gwinnett County (the “Property”) east of Braselton Highway (State Route 124) and north of Old Fountain Road. The Property begins at the intersection of Prospect Road and Prospect Church Road and extends southward along the west side of Prospect Road before crossing Prospect Road. The portion of the Property on the east side of Prospect Road is adjacent to the Prospect Creek subdivision zoned R-100 Modified. The Property is currently zoned RA-200.

The Applicant is requesting to rezone the Property to the R-75 zoning classification of Gwinnett County in order to develop a single-family residential community, including 48 detached residential homes. The proposed community will consist of homes at a size, quality and price point commensurate with or exceeding homes in surrounding communities. Generally, the architectural style and composition of the exterior of the homes would consist of brick, stacked stone, cedar and/or cementitious shake, siding, board and batten or combinations thereof. The proposed development would have two entrances off of Prospect Road—one for each side. Entrances would be landscaped with attractive monument signage.

RECEIVED BY

NOV 17 2018

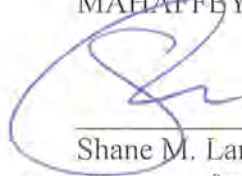
227-18-035

The proposed development is in conformance with the policies and intent of the 2030 Land Use Plan. The Property is located in an Existing/Emerging Suburban character area between areas designated as Regional Mixed-Use and R & D Corridor character areas, which are major employment centers. Not only would the proposed development provide residential infill development that is compatible with existing development, it would also expand housing options within close proximity to major employment centers which is complementary and supportive of those areas as well.

The Applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Department of Planning & Development to answer any questions or to address any concerns relating to the matters set forth in this letter or in the Rezoning Application filed herewith. The Applicant respectfully requests your approval of this Application.

Respectfully submitted this 7th day of September, 2018.

MAHAFFEY PICKENS TUCKER, LLP



Shane M. Lanham
Attorneys for Applicant

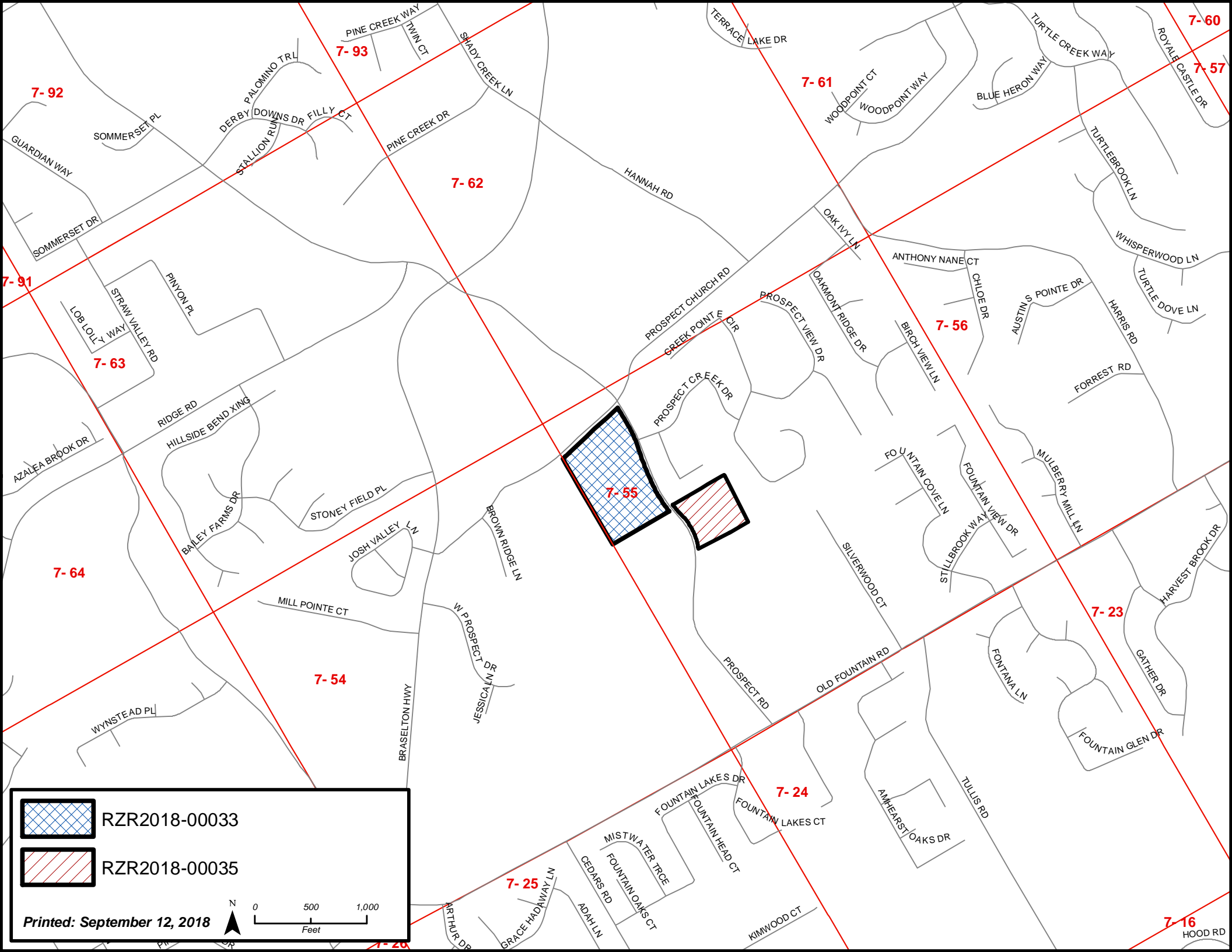
RECEIVED BY
+ 703
Planning & Development

RECEIVED

**Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County, November 2018**

Case #	Schools	Current Projections									Proposed Zoning Approximate additional Student Projections from Proposed Developments
		2019-20			2020-21			2021-22			
		Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	
RZR2018-00031	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	1
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	1
	Dacula ES	1,111	1,550	-439	1,093	1,550	-457	1,108	1,550	-442	2
RZR2018-00032	Grayson HS	3,044	2,125	919	3,128	2,125	1,003	3,222	2,125	1,097	48
	Couch MS	1,080	1,150	-70	1,102	1,150	-48	1,124	1,150	-26	34
	Starling ES	1,034	1,200	-166	1,065	1,200	-135	1,097	1,200	-103	67
RZR2018-00033	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	12
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	9
	Freeman's Mill ES	864	925	-61	881	925	-44	899	925	-26	17
RZR2018-00034	Mill Creek HS	3,674	2,800	874	3,729	2,800	929	3,785	2,800	985	15
	Osborne MS	1,712	1,575	137	1,729	1,575	154	1,746	1,575	171	11
	Duncan Creek ES	1,336	1,300	36	1,376	1,300	76	1,417	1,300	117	22
RZR2018-00035	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	3
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	2
	Freeman's Mill ES	864	925	-61	881	925	-44	899	925	-26	5
RZR2018-00036	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	75
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	54
	Patrick ES	719	1,025	-306	726	1,025	-299	748	1,025	-277	106
RZR2018-00037	South Gwinnett HS	2,634	2,750	-116	2,674	2,750	-76	2,714	2,750	-36	6
	Grace Snell MS	1,254	1,200	54	1,273	1,200	73	1,292	1,200	92	4
	Rosebud ES	1,050	1,200	-150	1,040	1,200	-160	1,051	1,200	-149	8

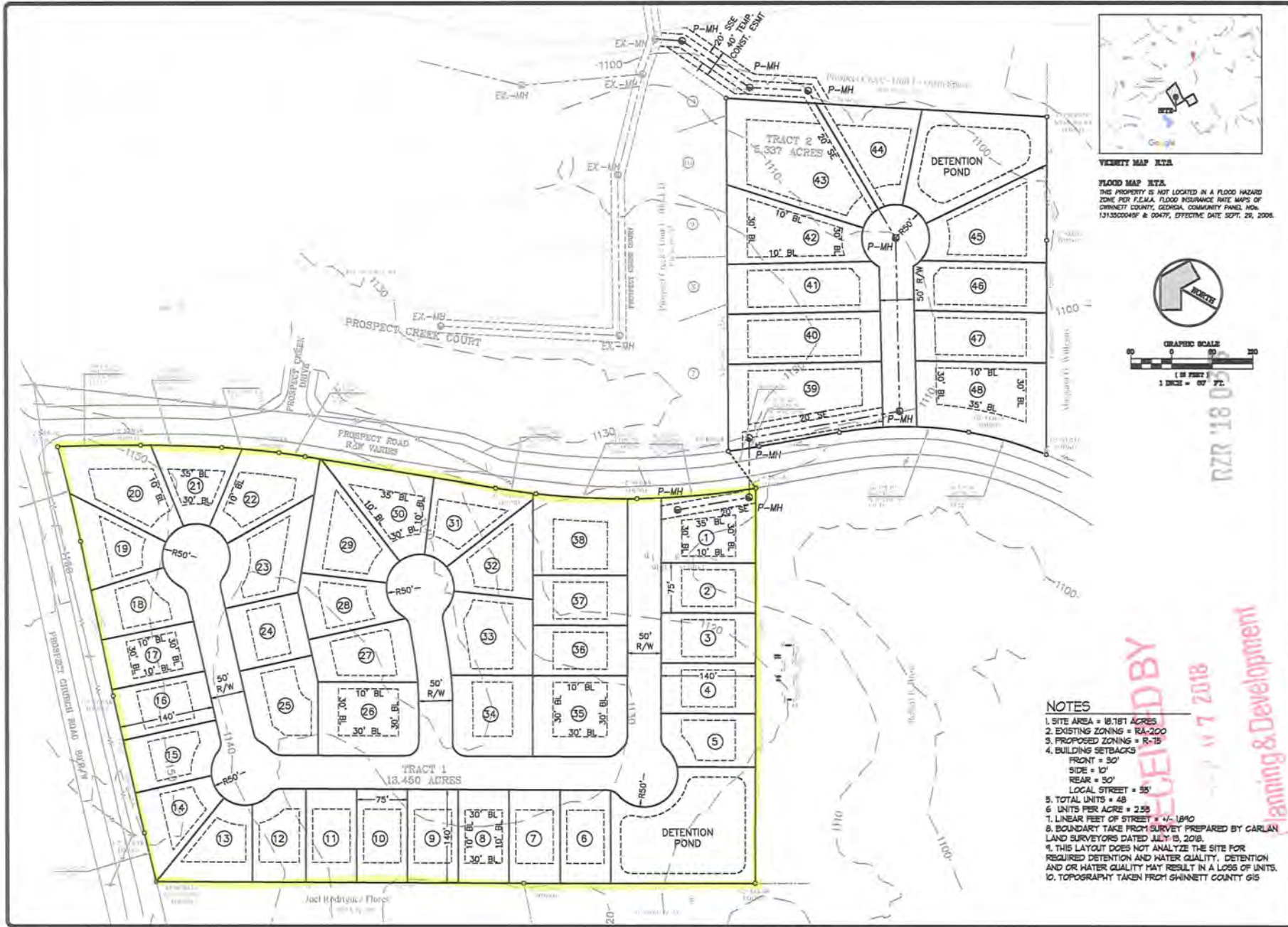
Current projections do not include new developments



-  RZR2018-00033
-  RZR2018-00035

Printed: September 12, 2018



VERITT MAP X.T.A.

FLOOD MAP X.T.A.
 THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE PER F.E.M.A. FLOOD INSURANCE RATE MAPS OF GWINNETT COUNTY, GEORGIA, COMMUNITY PANEL NO. 1313500049F & 0049T, EFFECTIVE DATE SEPT. 29, 2008.



RZR '18 05

NOTES

1. SITE AREA = 18.181 ACRES
2. EXISTING ZONING = RA-200
3. PROPOSED ZONING = R-15
4. BUILDING SETBACKS
 FRONT = 30'
 SIDE = 10'
 REAR = 50'
 LOCAL STREET = 35'
5. TOTAL UNITS = 48
6. UNITS PER ACRE = 2.58
7. LINEAR FEET OF STREET = 41,181/0
8. BOUNDARY TAKE FROM SURVEY PREPARED BY CARLAN LAND SURVEYORS DATED JULY 19, 2018.
9. THIS LAYOUT DOES NOT ANALYZE THE SITE FOR REQUIRED DETENTION AND WATER QUALITY. DETENTION AND OR WATER QUALITY MAY RESULT IN A LOSS OF UNITS.
10. PHOTOGRAPHY TAKEN FROM SHINNETT COUNTY GIS

RECEIVED BY

JUL 7 2018

Planning & Development



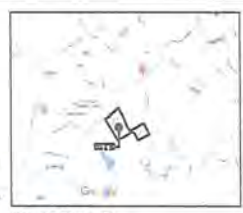
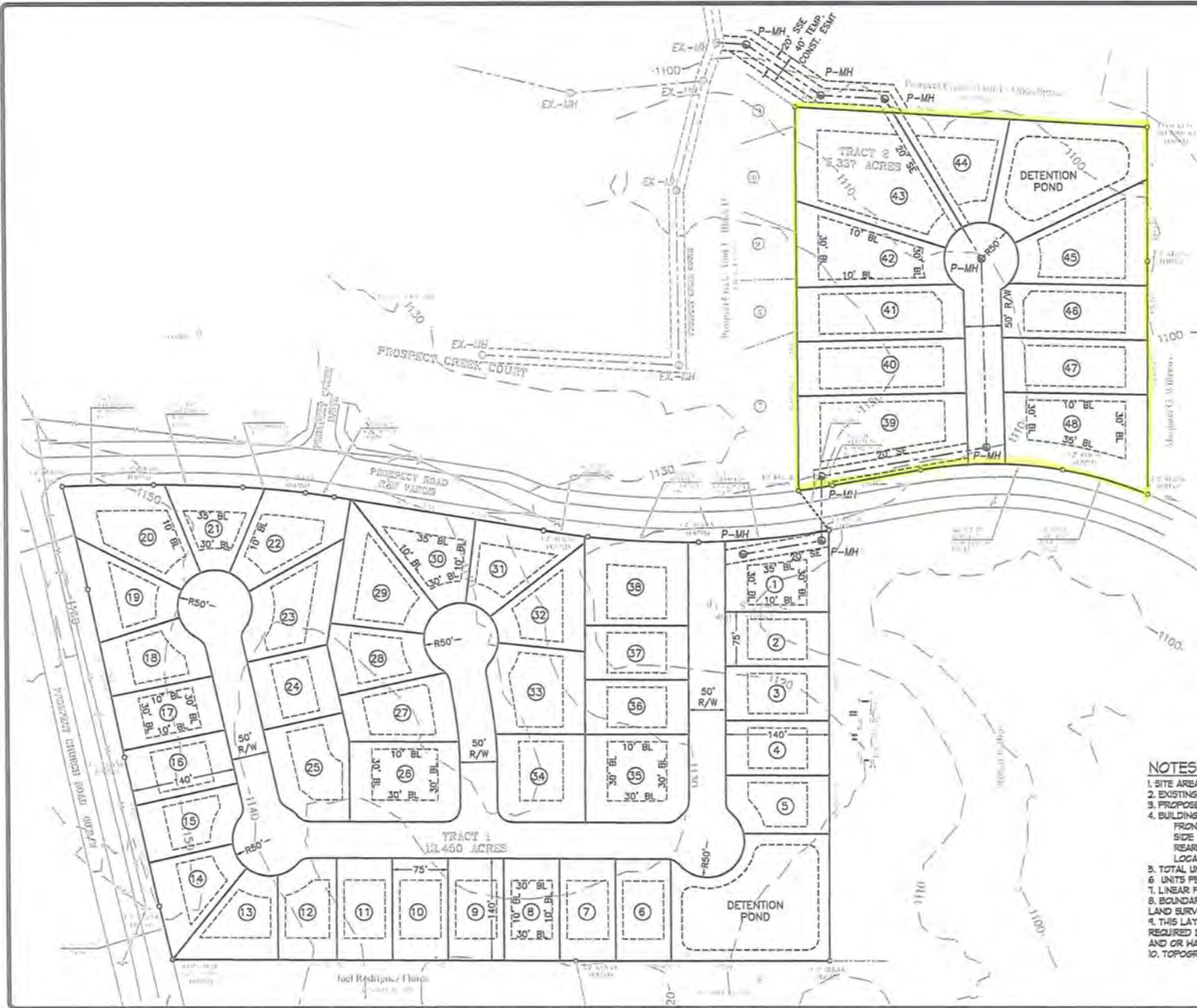
**CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE
 SITE PLANNING**
 P.O. BOX 844, BOSS
 DUBLIN, GA 31024
 (770) 271-8778 FAX
 (770) 281-0228 TOLL
 FREE
 www.daydesigngroup.com

**DAY
 DESIGN
 GROUP, Inc.**

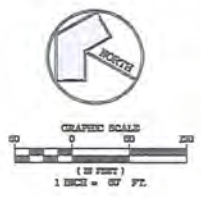
CONCEPTUAL SITE PLAN
 FOR
PROSPECT RD. TRACT
 LOCATED IN
 GWINNETT COUNTY, GEORGIA

NO.	DATE	DESCRIPTION

DATE: 05/21/18
 DRAWN BY: JAW
 JOB NO.: 18-106



FLOOD MAP RITE
 THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE PER F.E.M.A. FLOOD INSURANCE RATE MAPS OF GWINNETT COUNTY, GEORGIA. COMMUNITY PANEL NO. 131250004P & 04477, EFFECTIVE DATE 09/19/2006.



NOTES

1. SITE AREA = 16,791 ACRES
2. EXISTING ZONING = RA-200
3. PROPOSED ZONING = R-15
4. BUILDING SETBACKS
 FRONT = 30'
 SIDE = 10'
 REAR = 30'
 LOCAL STREET = 50'
5. TOTAL UNITS = 48
6. UNITS PER ACRE = 2.85
7. LINEAR FEET OF STREET = +/- 1,940
8. BOUNDARY TAKE FROM SURVEY PREPARED BY CARLAN LAND SURVEYORS DATED JULY 15, 2018.
9. THIS LAYOUT DOES NOT ANALYZE THE SITE FOR REQUIRED DETENTION AND WATER QUALITY. DETENTION AND OR WATER QUALITY MAY RESULT IN A LOSS OF UNITS.
10. TOPOGRAPHY TAKEN FROM GWINNETT COUNTY GIS

RECEIVED BY 035

SEP 07 2018

Planning & Development

CONCEPTUAL SITE PLAN
FOR
PROSPECT RD. TRACT
LOCATED IN
GWINNETT COUNTY, GEORGIA

DATE: 09/18/18
DRAWN BY: JAA
JOB NO.: 18-108

NO.	DATE	DESCRIPTION

SHEET **1** OF **1**

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SITE PLANNING
P.O. BOX 844
DUBLIN, GA 31033
(770) 271-4838
(770) 238-2505
www.daydesigngroup.com

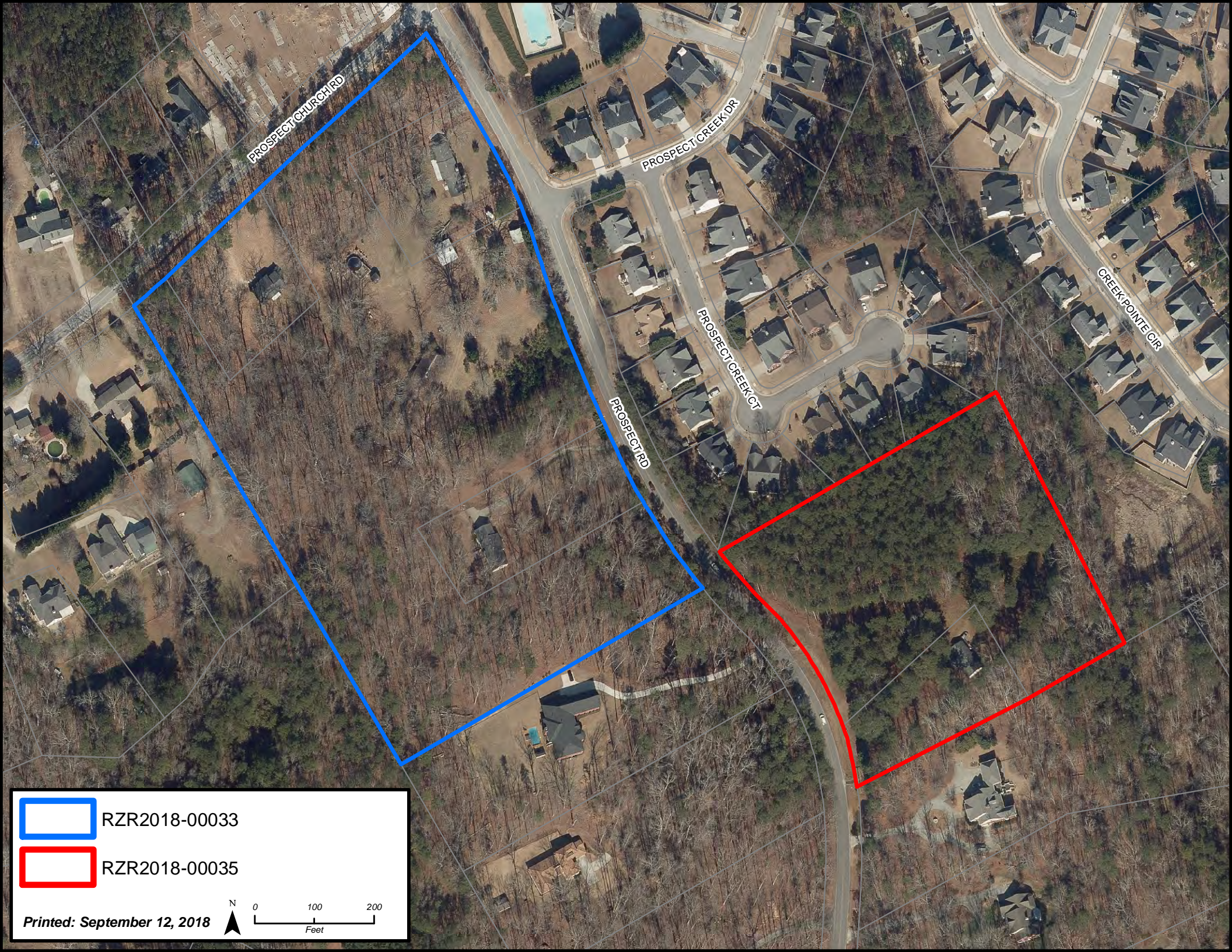
DAY
DESIGN
GROUP, Inc.



 RZR2018-00033

 RZR2018-00035

Printed: September 13, 2018  0 200 400 Feet




PROSPECT CHURCH RD


PROSPECT CREEK DR

CREEK POINTE CIR

PROSPECT CREEK CT

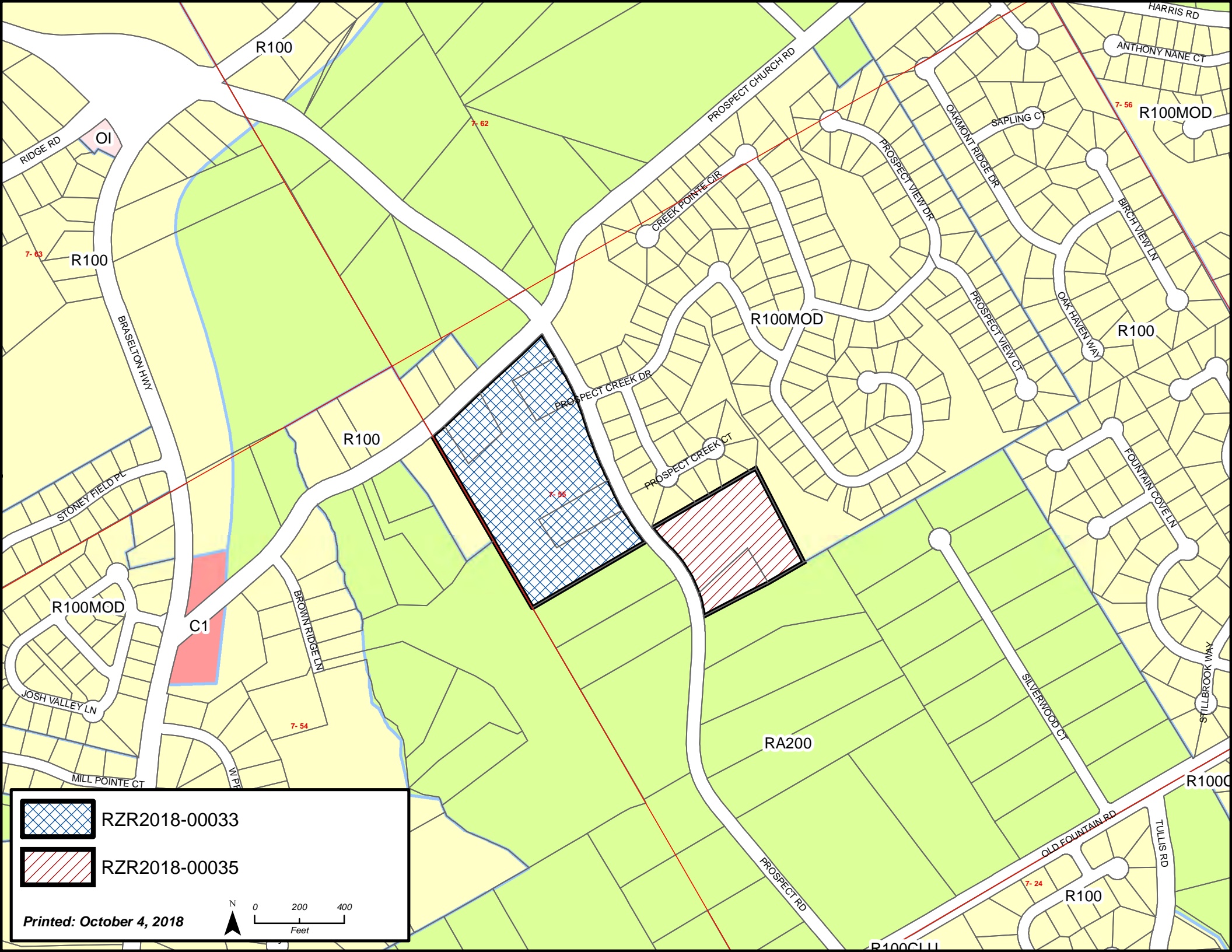
PROSPECT RD

 RZR2018-00033

 RZR2018-00035

Printed: September 12, 2018

N
0 100 200
Feet



-  RZR2018-00033
-  RZR2018-00035



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :**RZR2018-00034**
ZONING CHANGE :R-100 MOD TO OSC
LOCATION :1700 BLOCK OF HOLMAN ROAD
 :4400 BLOCK OF HOG MOUNTAIN ROAD
MAP NUMBER :R3003 042
ACREAGE :23.47 ACRES
UNITS :48 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(3) HUNTER

FUTURE DEVELOPMENT MAP: **EXISTING / EMERGING SUBURBAN**

APPLICANT: TINA CHAFIN
 C/O MAHAFFEY PICKENS TUCKER, LLP
 1550 NORTH BROWN ROAD, SUITE 125
 LAWRENCEVILLE, GA 30043

CONTACT: SHANE LANHAM PHONE: 770.232.0000

OWNER: TINA CHAFIN
 1884 SAM SNEED DRIVE
 BRASELTON, GA 30517

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests rezoning of a 23.47-acre parcel from R-100 MOD (Modified Single-Family Residence District) to OSC (Open Space Conservation District), to construct a 48-lot single-family subdivision. The property is located on the northeast side of Holman Road, just northwest of its intersection with Hog Mountain Road. The property is presently undeveloped and heavily wooded. There are documented streams on the property, with one stream crossing through the middle and the other forming the eastern boundary of the property.

The subject site contains 1.42-acres of floodplain on the property. The proposed 48-lot development would have a gross density of 2.05 units per acre and a net density of 2.11 units per acre. According to the site plan, the minimum lot width for the development would be 60 feet, with a minimum lot area of 7,500 square feet, meeting the minimum requirements for the requested zoning classification. The site plan shows that the property would be accessed via one roadway off of Holman Road. Two stormwater

management areas are shown on either side of the stream which bisects the property. A total of 9.87-acres (42 percent) of primary open space would be provided for the development, with no secondary open space indicated.

The applicant has proposed a minimum dwelling size of 1,400 square feet, and all units would include two-car garages. Submitted elevations indicate homes would be fiber-cement siding, with only a minor brick accent on the front facade.

An OSC-zoned development requires a form of transition when located adjacent to agricultural or single-family residential uses. The Unified Development Ordinance (UDO) provides three options, and the applicant has chosen to provide a minimum 50-foot conservation space strip around the perimeter of the property. The site plan reflects a 50-foot undisturbed stream buffer and 75-foot impervious setback along the stream located in the middle of the property, although it appears both proposed new lots and the stormwater management areas encroach within the impervious setback. Also reflected on the submitted site plan is the required 50-foot street frontage buffer along Holman Road.

ZONING HISTORY:

In 1970, the property was zoned RA-200 (Agriculture-Residence District). In 2006, the parcel was part of a larger assemblage approved as R-100 MOD (RZR-06-020), which was never developed.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property contains areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development. The applicant/developer shall obtain all required approvals from the Gwinnett County Department of Water Resources and the U.S. Army Corps of Engineers for construction or land disturbance activities which may impact floodplain or wetland areas.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

This site appears to be heavily wooded and may include specimen trees which are required by Unified Development Ordinance Section 630-70 to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of development plans for review.

No Existing Features Analysis Plan for this site has been provided for review.

Section 210-50.20 of the Unified Development Ordinance requires submittal of a concept plan for review and approval of the Development Division prior to submittal and acceptance of a development permit application.

Project access and required improvements along Holman Road and Hog Mountain Road will be subject to review and approval of Gwinnett County Department of Transportation.

A 200-foot deceleration lane with a 50-foot taper is required at the project entrance.

Five-foot wide sidewalks are required along the entire frontage of Holman Road and Hog Mountain Road.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

The property appears to contain stream buffers and floodplain. The proposed conceptual plan may require revision to show the appropriate stream buffers and floodplain.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Holman Road is a Minor Collector and 30 feet of right of way is required from the centerline.

Entrances shall be provided to the site per current development regulations.

Standard deceleration lane with appropriate taper and adequate right of way will be required.

The developer shall be limited to one curb cut.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

Minimum separation from a driveway, public road, or side street shall be provided as specified in the Gwinnett County Unified Development Ordinance.

Intersection cul-de-sac to meet Gwinnett County DOT standards.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of an 8-inch water main located on the northeast right of way of Holman Road and an 8-inch water main located in the northwest right of way of Hog Mountain Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located on parcel R3003 042.

The subject development is located within the Mulberry service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The applicant requests rezoning from R-100 MOD (Modified Single-Family Residence District) to OSC (Open Space Conservation District), to construct a 48-lot single-family subdivision. The property is located on the northeast side of Holman Road, and is presently undeveloped and heavily wooded. There are documented streams on the property, with one stream crossing through the middle and the other forming the eastern boundary of the property.

The 2030 Unified Plan Future Development Map indicates the property is located within an Existing/Emerging Suburban Character Area. Policies for this Character Area encourage single-family residential uses, and the preservation and protection of environmental features. With conditions to ensure the quality of development and its compatibility with the surrounding area, an OSC subdivision at a net density of 2.11 units per acre could be consistent with these policies and map designation.

Developments in the immediate area consist of single-family subdivisions and homes on large acreage tracts. To the northwest of the subject property is the Brentwood Place subdivision, zoned R-100. To the north and east of the property are large acre residential properties zoned R-100 and RA-200. To the southwest, across Holman Road, is the Holman Place subdivision, zoned R-100 MOD. In light of continuing a development pattern of low-density, single-family subdivisions with preservation of natural amenities and open space, an OSC subdivision, conditioned to protect the environmental features, could be consistent with similar subdivisions in the area.

The Department notes that the current zoning on the site from 2006 (RZR-06-020) included conditions for homes to be a minimum of 2,000-2,200 square feet, with three or four-sided brick construction. Given that these requirements were established through the public hearing process and were designed to ensure compatibility with the surrounding area, the Department has included the same standard in our recommended conditions attached to this report.

In summary, the proposed OSC development could be consistent with the policies of the 2030 Unified Plan and existing single-family residential development in the area. The OSC zoning district lends itself to preservation and protection of stream buffers and other sensitive areas, which may be appropriate for this tract; therefore, the Planning Department recommends **APPROVAL WITH CONDITIONS**.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval as OSC (Open Space Conservation Subdivision), subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Single-family detached dwellings and accessory uses and structures, not to exceed 48 lots.
 - B. The minimum heated floor area per dwelling unit shall be 2,000 square feet for one-story homes and 2,200 square feet for two-story homes.
 - C. The first three homes on either side of the subdivision entrance street shall be constructed of four-sides brick, stacked stone or a combination thereof with minor architectural accents of stucco, cedar shake or fiber-cement siding. All other homes shall be a minimum of three-sides brick, stacked stone or a combination thereof, with minor architectural accents of stucco, cedar shake or fiber cement siding (rear elevations for these homes may also be of the same materials).
 - D. All homes shall have at least a double-car garage. At least 50% of homes with front entry garages shall have the garage doors shall be located behind the building plane of the front façade.
2. To satisfy the following site development considerations:
 - A. The development shall abide by all applicable standards of the Unified Development Ordinance, unless otherwise specified in these conditions or through approval of an administrative variance or by the Zoning Board of Appeals, as appropriate.
 - B. All primary conservation space shall remain undisturbed.
 - C. Building lots shall not be located within any required stream buffers or accompanying impervious surface setback areas.
 - D. Natural vegetation shall remain on the property until the issuance of a development permit.
 - E. The Holman Road street frontage and project entrance shall be landscaped by the developer and maintained by the Homeowner's Association. Entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval of the Director of Planning and Development.

- F. A pocket park or designated secondary open space shall be added in the center of the development, and unpaved pedestrian connections to the primary conservation areas shall be provided throughout the development. Trails and amenities shall be provided around the detention ponds. Final layout and design of these features shall be subject to the review and approval of the Director of Planning and Development.
 - G. A specimen tree concept plan and tree survey shall be required with the submittal of a development permit application.
 - H. No direct lot access shall be allowed to Holman Road.
 - I. All grassed areas on dwelling lots shall be sodded.
 - J. All utilities shall be placed underground.
3. To abide by the following requirements, dedications and improvements:
- A. Provide a 10-foot wide paved pedestrian/bike path within the right-of-way of Hog Mountain Road. Submit plans for review and approval of the Department of Community Service.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING EXERCISE OF THE ZONING

SUITABILITY OF USE

The OSC request could be considered suitable at this location in light of existing R-100 MOD subdivision developments in the area, and the preservation of a substantial portion of the site as primary conservation space.

ADVERSE IMPACTS

With the recommended conditions, potential impacts should be minimized.

REASONABLE ECONOMIC USE AS ZONED

The subject property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

An increased impact on public facilities could be anticipated in the form of increased traffic, school enrollment, stormwater runoff and utility demand.

CONFORMITY WITH POLICIES

The request could be considered consistent with policies of the 2030 Unified Plan, which encourage single-family residential uses and protection of environmental features.

CONDITIONS AFFECTING ZONING

The preservation of streams and wooded areas on the site, and with incorporation of recommended conditions to provide amenities within the development, lend supporting grounds for approval of OSC zoning for this site.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Please see attached

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) Yes. The subject property is located along Holman Road just north of its intersection with Hog Mountain Road. Approval of the application would permit a suitable development for the area in light of the uses of nearby property. A single-family residential development would serve the demands of the market and maintain the residential character of the area.
- (B) No. Approval of the application would enhance the area and would not adversely affect adjacent and nearby properties.
- (C) No. In light of market conditions, site-specific topography, and the surrounding property uses, the property does not have reasonable economic use under its current zoning classification.
- (D) No. This property is located in an area with public water and sewer availability and convenient access to major roadways including Braselton Highway (Georgia State Route 124). Approval of the application would not cause excessive use of existing streets, transportation facilities, utilities, or schools.
- (E) Yes. The proposed development is in conformance with the policies and intent of the 2030 Land Use Plan. The Property is located in an Existing/Emerging Suburban character for which the 2030 Plan encourages residential development that is compatible with existing land uses.
- (F) Yes. The property's convenient location to schools, parks, and major thoroughfares provides additional supporting grounds for approval of the application.



Matthew P. Benson
 Gerald Davidson, Jr.*
 Brian T. Easley
 Kelly O. Faber
 Christopher D. Holbrook
 Nicholas N. Kemper
 Shane M. Lanham
 Austen T. Mabe

Jeffrey R. Mahaffey
 David G. McGee
 Steven A. Pickens
 Catherine V. Schutz
 Thomas A. Simpson
 Andrew D. Stancil
 R. Lee Tucker, Jr.
 *Of Counsel

LETTER OF INTENT FOR REZONING APPLICATION

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and attached Rezoning Application (the “Application”) on behalf of Tina Chafin (the “Applicant”) for the purpose of rezoning to the OSC zoning classification an approximately 23.467-acre tract of land (the “Property”) situated along Holman Road just north of its intersection with Hog Mountain Road in northern Gwinnett County. The Property is currently zoned R-100 Modified.

The Applicant proposes to develop a single-family residential community including 48 detached single-family homes. The proposed development would have a net density of approximately 2.11 units per acre, which well below the maximum allowed density of 2.74 units per acre prescribed for the OSC zoning classification (including density bonuses) in the Gwinnett County Unified Development Ordinance (the “UDO”). The proposed development’s gross density is even lower at approximately 2.05 units per acre. The proposed single-family community would consist of homes at a size, quality, and price-point commensurate with or exceeding homes in the surrounding area. The proposed development would also be compatible with existing single-family communities along Holman Road, Hog Mountain Road, and Braselton Highway (State Route 124). The proposed homes would include two-car garages and covered entrances as well as other attractive architectural elements. The homes in the proposed development would contain a minimum of 1,400 square feet of heated floor area and building facades would be constructed primarily of brick, stone, board and batten, and/or fiber-cement

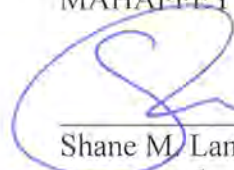
shake or siding. As encouraged by the UDO, the proposed OSC development would provide substantial buffering around the perimeter of the Property as well as additional buffering preserved by the Applicant as conservation space. Additional conservation space located in the middle of the Property would provide an active amenity for residents which and promote a healthy lifestyle.

In addition to being an attractive development that is compatible with homes in the surrounding area, the proposed development will preserve significant amounts of green space. Specifically, the proposed development would preserve approximately 11.12 acres of land as primary and secondary conservation space which is almost half of the entire Property and just under double what is required under the UDO. The low density of the proposed development and the substantial conservation space required by the OSC zoning classification work to preserve the suburban residential character of the area which is encouraged by the Gwinnett County 2030 Unified Plan.

The Applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Department of Planning & Development to answer any questions or to address any concerns relating to the matters set forth in this letter or in the Rezoning Application filed herewith. The Applicant respectfully requests your approval of this Application.

Respectfully submitted this 7th day of September, 2018.

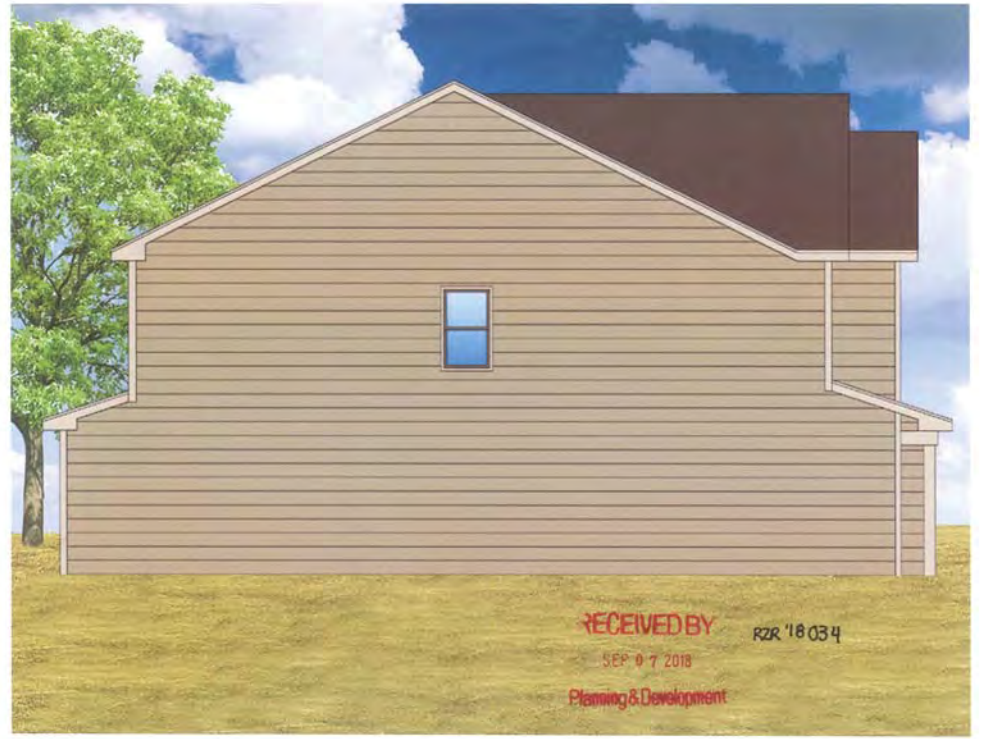
MAHAFFEY PICKENS TUCKER, LLP



Shane M. Lanham
Attorneys for Applicant

RECEIVED BY
DATE
Gwinnett County

8/28/2018



CASE NUMBER RZR-06-020
GCID 2006-0850

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

<u>Present</u>	<u>VOTE</u>
Charles Bannister, Chairman	<u>AYE</u>
Lorraine Green, District 1	<u>AYE</u>
Albert Nasuti, District 2	<u>AYE</u>
Michael Beaudreau, District 3	<u>AYE</u>
Kevin Kenerly, District 4	<u>AYE</u>

On motion of COMM. KENERLY, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from RA-200 to R-75 CSO (APPROVED AS R-100 MOD) by GP ENTERPRISES INC. for the proposed use of SINGLE-FAMILY CONSERVATION SUBDIVISION on a tract of land described by the attached legal description, which

is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on JUNE 27, 2006 and objections were filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners this the 27TH day of JUNE, 2006, that the aforesaid application to amend the Official Zoning Map from RA-200 to R-75 CSO is hereby **APPROVED AS R-100**

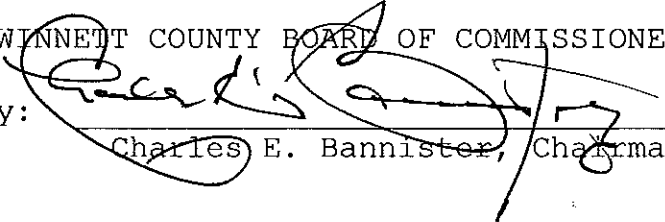
MODIFIED subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Single-family dwellings and accessory uses.
 - B. The minimum heated floor area per dwelling unit shall be 2,000 square feet for one-story homes and 2,200 square feet for two-story homes.
 - C. The first three homes on either side of the subdivision entrance street as well as homes abutting or along Hog Mountain Road shall be constructed of four-sides brick, stacked stone or a combination thereof with minor architectural accents of stucco, cedar shake or fiber cement siding. All other homes shall be a minimum of three sides brick, stacked stone or a combination thereof with minor architectural accents of stucco, cedar shake or fiber cement siding.
 - D. All homes shall have two car garages.

- 2. To satisfy the following site development considerations:
 - A. Provide a brick or stacked stone subdivision entrance feature with landscaping.
 - B. All grassed areas on dwelling lots shall be sodded.
 - C. Provided underground utilities.

- 3. To abide by the following requirements, dedications and improvements:
 - A. Provide a 10-foot wide paved pedestrian/bike path within the right-of-way of Hog Mountain Road. Submit plans for review and approval of the Department of Community Service.
 - B. The entrance shall be provided on Holman Road subject to review and approval of the Department of Transportation.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: 
Charles E. Bannister, Chairman

Date Signed: 7/13/06

ATTEST:

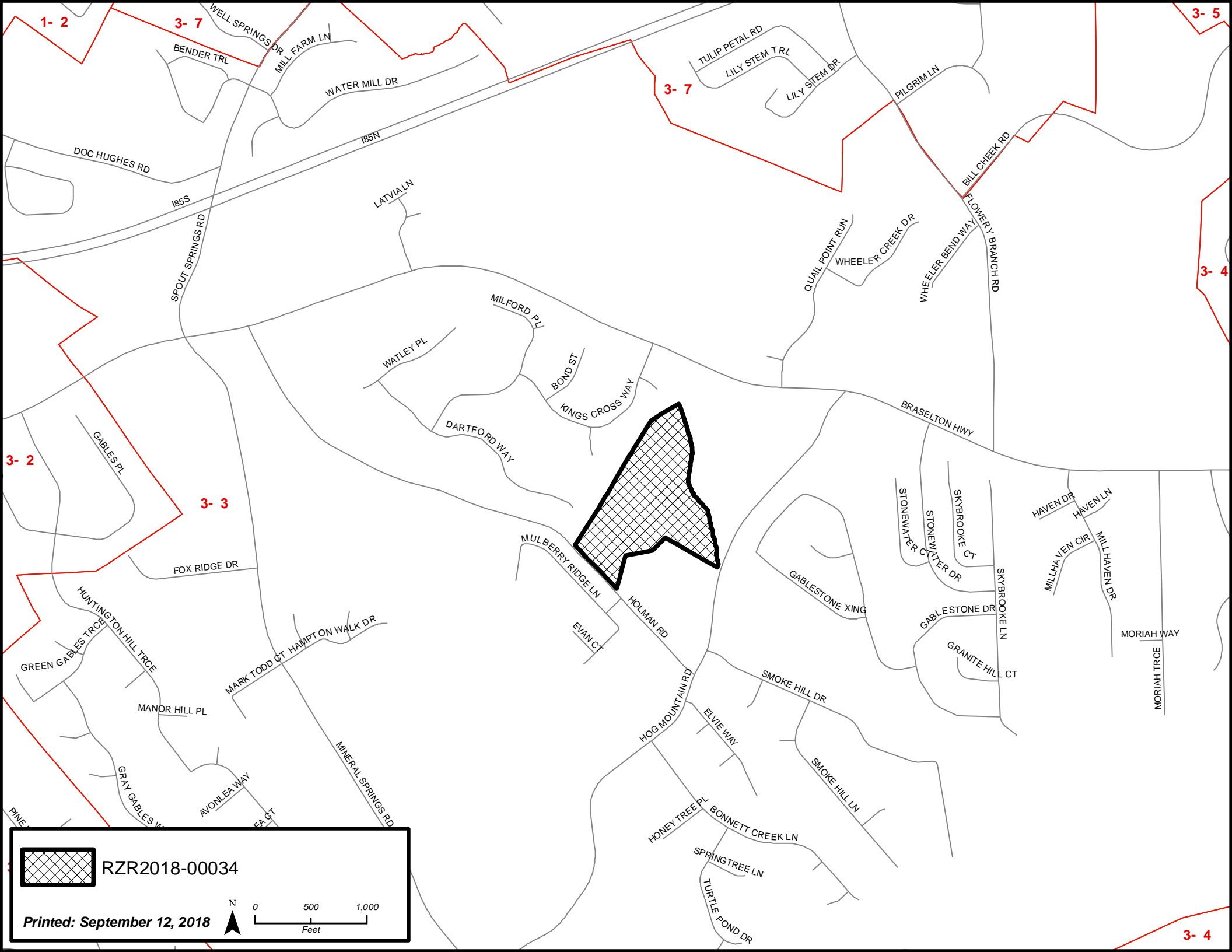

County Clerk/Deputy County Clerk



Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County, November 2018

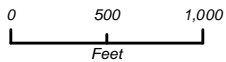
Case #	Schools	Current Projections									Proposed Zoning Approximate additional Student Projections from Proposed Developments
		2019-20			2020-21			2021-22			
		Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	
RZR2018-00031	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	1
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	1
	Dacula ES	1,111	1,550	-439	1,093	1,550	-457	1,108	1,550	-442	2
RZR2018-00032	Grayson HS	3,044	2,125	919	3,128	2,125	1,003	3,222	2,125	1,097	48
	Couch MS	1,080	1,150	-70	1,102	1,150	-48	1,124	1,150	-26	34
	Starling ES	1,034	1,200	-166	1,065	1,200	-135	1,097	1,200	-103	67
RZR2018-00033	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	12
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	9
	Freeman's Mill ES	864	925	-61	881	925	-44	899	925	-26	17
RZR2018-00034	Mill Creek HS	3,674	2,800	874	3,729	2,800	929	3,785	2,800	985	15
	Osborne MS	1,712	1,575	137	1,729	1,575	154	1,746	1,575	171	11
	Duncan Creek ES	1,336	1,300	36	1,376	1,300	76	1,417	1,300	117	22
RZR2018-00035	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	3
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	2
	Freeman's Mill ES	864	925	-61	881	925	-44	899	925	-26	5
RZR2018-00036	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	75
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	54
	Patrick ES	719	1,025	-306	726	1,025	-299	748	1,025	-277	106
RZR2018-00037	South Gwinnett HS	2,634	2,750	-116	2,674	2,750	-76	2,714	2,750	-36	6
	Grace Snell MS	1,254	1,200	54	1,273	1,200	73	1,292	1,200	92	4
	Rosebud ES	1,050	1,200	-150	1,040	1,200	-160	1,051	1,200	-149	8

Current projections do not include new developments



RZR2018-00034

Printed: September 12, 2018

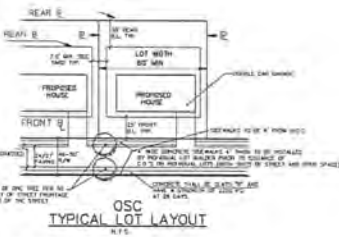


- LEGEND**
- 1. ALL RIGHTS RESERVED
 - 2. EASEMENTS
 - 3. EASEMENTS
 - 4. EASEMENTS
 - 5. EASEMENTS
 - 6. EASEMENTS
 - 7. EASEMENTS
 - 8. EASEMENTS
 - 9. EASEMENTS
 - 10. EASEMENTS
 - 11. EASEMENTS
 - 12. EASEMENTS
 - 13. EASEMENTS
 - 14. EASEMENTS
 - 15. EASEMENTS
 - 16. EASEMENTS
 - 17. EASEMENTS
 - 18. EASEMENTS
 - 19. EASEMENTS
 - 20. EASEMENTS
 - 21. EASEMENTS
 - 22. EASEMENTS
 - 23. EASEMENTS
 - 24. EASEMENTS
 - 25. EASEMENTS
 - 26. EASEMENTS
 - 27. EASEMENTS
 - 28. EASEMENTS
 - 29. EASEMENTS
 - 30. EASEMENTS
 - 31. EASEMENTS
 - 32. EASEMENTS
 - 33. EASEMENTS
 - 34. EASEMENTS
 - 35. EASEMENTS
 - 36. EASEMENTS
 - 37. EASEMENTS
 - 38. EASEMENTS
 - 39. EASEMENTS
 - 40. EASEMENTS
 - 41. EASEMENTS
 - 42. EASEMENTS
 - 43. EASEMENTS
 - 44. EASEMENTS
 - 45. EASEMENTS
 - 46. EASEMENTS
 - 47. EASEMENTS
 - 48. EASEMENTS
 - 49. EASEMENTS
 - 50. EASEMENTS
 - 51. EASEMENTS
 - 52. EASEMENTS
 - 53. EASEMENTS
 - 54. EASEMENTS
 - 55. EASEMENTS
 - 56. EASEMENTS
 - 57. EASEMENTS
 - 58. EASEMENTS
 - 59. EASEMENTS
 - 60. EASEMENTS
 - 61. EASEMENTS
 - 62. EASEMENTS
 - 63. EASEMENTS
 - 64. EASEMENTS
 - 65. EASEMENTS
 - 66. EASEMENTS
 - 67. EASEMENTS
 - 68. EASEMENTS
 - 69. EASEMENTS
 - 70. EASEMENTS
 - 71. EASEMENTS
 - 72. EASEMENTS
 - 73. EASEMENTS
 - 74. EASEMENTS
 - 75. EASEMENTS
 - 76. EASEMENTS
 - 77. EASEMENTS
 - 78. EASEMENTS
 - 79. EASEMENTS
 - 80. EASEMENTS
 - 81. EASEMENTS
 - 82. EASEMENTS
 - 83. EASEMENTS
 - 84. EASEMENTS
 - 85. EASEMENTS
 - 86. EASEMENTS
 - 87. EASEMENTS
 - 88. EASEMENTS
 - 89. EASEMENTS
 - 90. EASEMENTS
 - 91. EASEMENTS
 - 92. EASEMENTS
 - 93. EASEMENTS
 - 94. EASEMENTS
 - 95. EASEMENTS
 - 96. EASEMENTS
 - 97. EASEMENTS
 - 98. EASEMENTS
 - 99. EASEMENTS
 - 100. EASEMENTS

- GENERAL NOTES**
- PARCEL LAYOUT IN PURSUANCE OF THE**
- TOTAL ACRES: 23.487 ACRES
 - TOTAL NUMBER OF LOTS: 48
 - PROPOSED ZONING: OPEN SPACE CONSERVATION (OSC)
 - PAUL REQUIREMENTS:
 - OSC FRONT - 25 FEET
 - OSC REAR - 30 FEET
 - OSC MIN 7.5 FEET
 - MINIMUM LOT WIDTH - 60 FEET
 - MINIMUM LOT AREA - 7,500 SQ FT
 - MAXIMUM DENSITY - 2.5 UNITS PER ACRE
 - MINIMUM HEATED FLOOR AREA - 1,400 SQ FT
 - MINIMUM PERCENT COMMON AREA/OPEN SPACE - 25%
 - MAXIMUM BUILDING HEIGHT - 35 FEET
5. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN A DESIGNATED FLOOD HAZARD ARE PER FEMA PANEL 13130C 0229D DATED MARCH 4, 2013.
6. MATS PROVIDED BY CONNETT COUNTY.
7. ALL LOTS TO BE SERVED BY CONNETT COUNTY APPROVED SEPTIC SYSTEMS.
8. BOUNDARY TAKEN FROM SURVEY BY LAND DEVELOPMENT SURVEYORS, INC.

BLOCK & LOT CHART

BLOCK	NO. OF LOTS
A	48
TOTAL	48



- NOTES**
- UNDERGROUND UTILITIES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT.
 - CONCRETE TREES PER CONNETT COUNTY S.D. 16.1.
 - ALL GRASSY AREAS TO BE SEEDING.
 - MAXIMUM BUILDING HEIGHT IS 35'.
 - MINIMUM DRILLING SIZE 1.400 SQ. FEET.
 - MINIMUM LOT WIDTH 60'.

OSC
MAXIMUM DENSITY 2.5 UNITS PER ACRE WITH 25% OPEN SPACE PLUS OPEN SPACE BONUS

OPEN SPACE CALCULATIONS

TOTAL ACRES	23.487 AC
MIN OPEN SPACE REQUIRED (0.25 x 23.487)	5.872 AC
TOTAL OPEN SPACE PROVIDED	11.12 AC
STONY AND OTHER EXEMPTIONS	1.25 AC
CREDIBLE OPEN SPACE PROVIDED	9.87 AC
PERCENT OPEN SPACE PROVIDED	42%
DENSITY BONUS	0.24 UNITS PER ACRE
MAXIMUM DENSITY WITH BONUS	2.74 UNITS PER ACRE

DENSITY CALCULATIONS

TOTAL ACRES	23.487 ACRES
DENSITY 2.74 UNITS/AC	64.37 UNITS
NET ACRES	23.487 ACRES
(OVER FLOODPLAIN)	23.487 ACRES
NET DENSITY	2.74 UNITS/AC (NET)



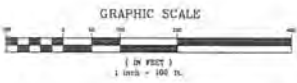
RZR 16034



RECEIVED BY
2018
Land Development

LOT CHART

LOT	ACRES	AREA	PERCENT
1	0.100	4360	1.86%
2	0.100	4360	1.86%
3	0.100	4360	1.86%
4	0.100	4360	1.86%
5	0.100	4360	1.86%
6	0.100	4360	1.86%
7	0.100	4360	1.86%
8	0.100	4360	1.86%
9	0.100	4360	1.86%
10	0.100	4360	1.86%
11	0.100	4360	1.86%
12	0.100	4360	1.86%
13	0.100	4360	1.86%
14	0.100	4360	1.86%
15	0.100	4360	1.86%
16	0.100	4360	1.86%
17	0.100	4360	1.86%
18	0.100	4360	1.86%
19	0.100	4360	1.86%
20	0.100	4360	1.86%
21	0.100	4360	1.86%
22	0.100	4360	1.86%
23	0.100	4360	1.86%
24	0.100	4360	1.86%
25	0.100	4360	1.86%
26	0.100	4360	1.86%
27	0.100	4360	1.86%
28	0.100	4360	1.86%
29	0.100	4360	1.86%
30	0.100	4360	1.86%
31	0.100	4360	1.86%
32	0.100	4360	1.86%
33	0.100	4360	1.86%
34	0.100	4360	1.86%
35	0.100	4360	1.86%
36	0.100	4360	1.86%
37	0.100	4360	1.86%
38	0.100	4360	1.86%
39	0.100	4360	1.86%
40	0.100	4360	1.86%
41	0.100	4360	1.86%
42	0.100	4360	1.86%
43	0.100	4360	1.86%
44	0.100	4360	1.86%
45	0.100	4360	1.86%
46	0.100	4360	1.86%
47	0.100	4360	1.86%
48	0.100	4360	1.86%



ENGINEER
LAND DEVELOPMENT ENGINEERING, INC.
260 AMBERLY HILLS TRAIL
Dacula, GA 3009
PHONE: (678) 442-8540
CONTACT: KENNETH H. HARWELL

PROJECT NAME
HOLLMAN ROAD TRACT
LOCATED IN LAND DEVELOPMENT PARCELS 042
CONNETT COUNTY, GEORGIA

CLIENT NAME

LAND DEVELOPMENT ENGINEERING, INC.
260 AMBERLY HILLS TRAIL, Dacula, GA 3009
(678) 442-8540 FAX: (678) 442-8541



STAMP

KHH
DRAWN BY
9/6/18
DATE
13-006
JOB NUMBER

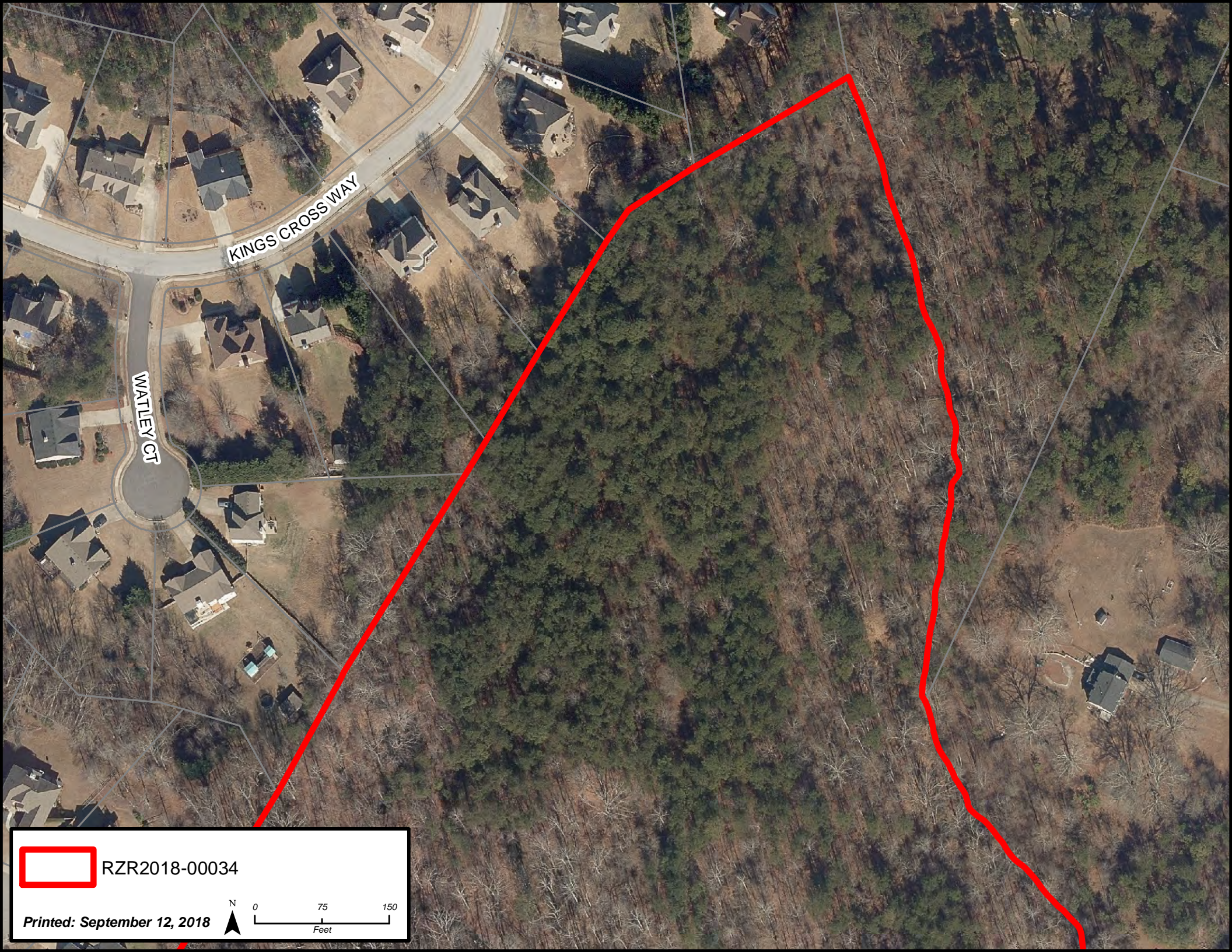
REZONING
EXHIBIT #1-OSC

SHEET TITLE

7

SHEET NUMBER

D. LARLEY, L.D.S.



KINGS CROSS WAY

WATLEY CT

 RZR2018-00034

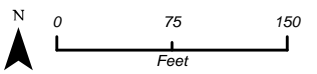
Printed: September 12, 2018

N
0 75 150
Feet



RZR2018-00034

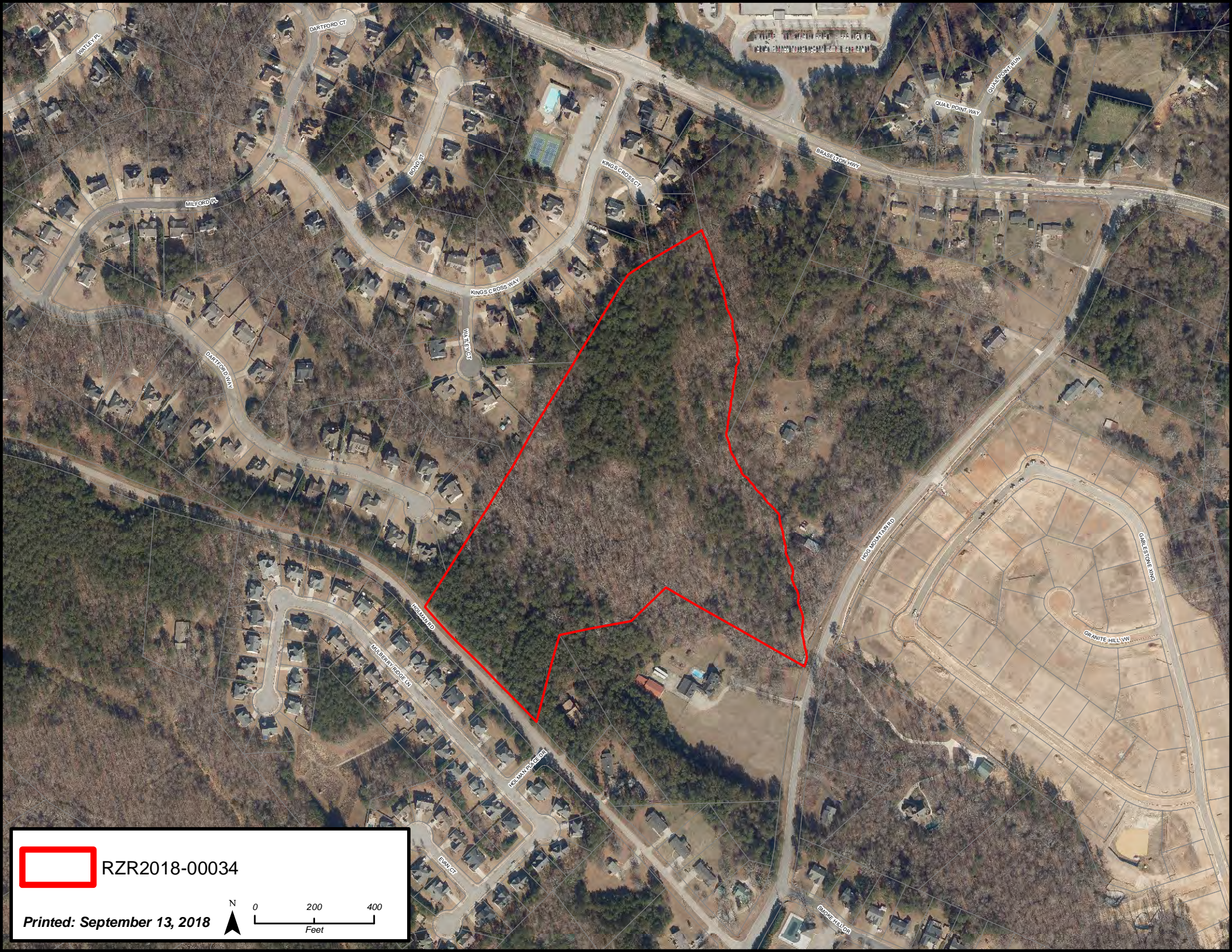
Printed: September 12, 2018



MULBERRY RD

HOLMAN RD

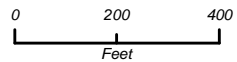
HOG MOUNTAIN RD

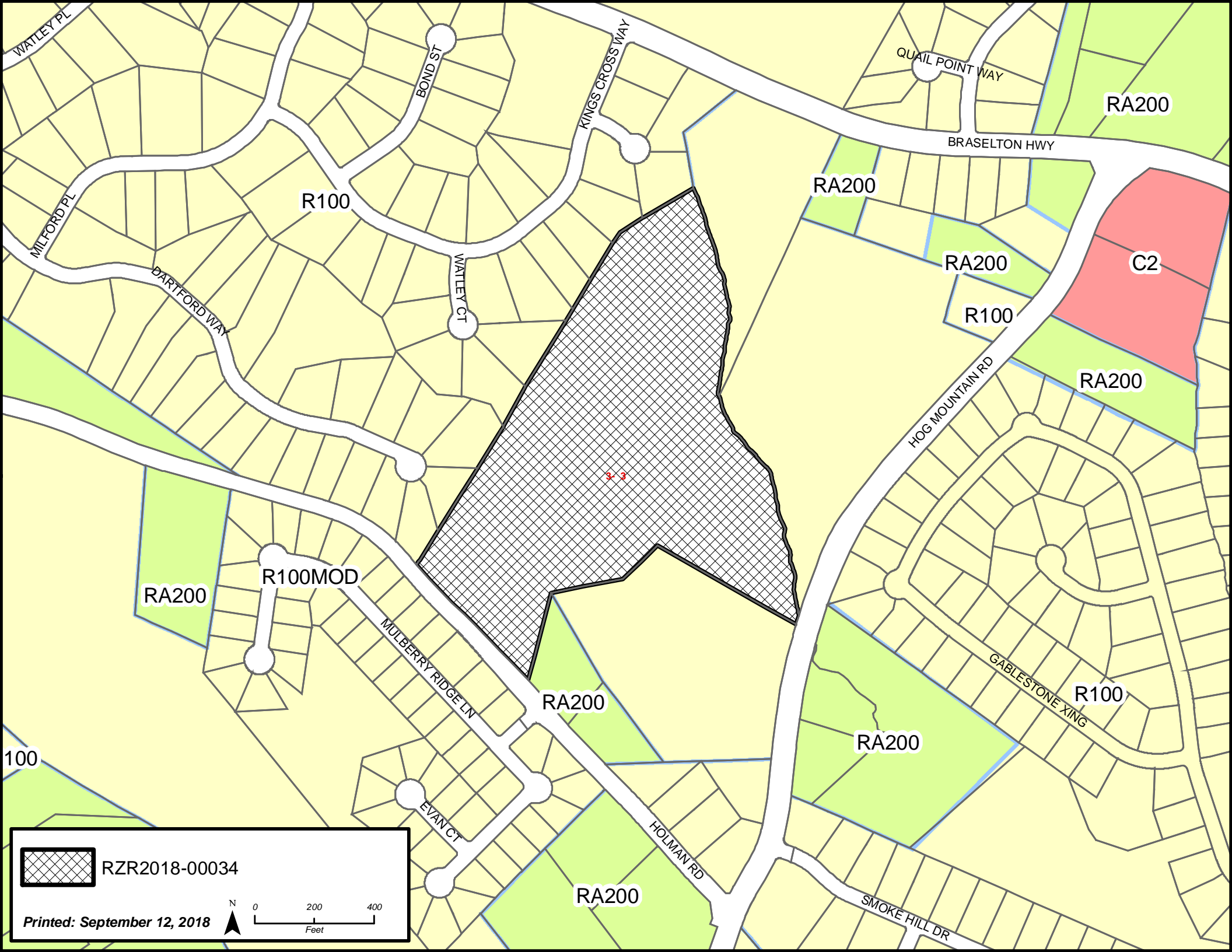


RZR2018-00034



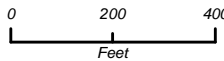
Printed: September 13, 2018





RZR2018-00034

Printed: September 12, 2018



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :**RZR2018-00037**
ZONING CHANGE :R-100 & C-2 TO OSC
LOCATION :4500 BLOCK OF ROSEBUD ROAD
MAP NUMBERS :R4275 001 & 033
ACREAGE :14.55 ACRES
UNITS :19 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY SUBDIVISION
COMMISSION DISTRICT :(3) HUNTER

FUTURE DEVELOPMENT MAP: **RURAL / ESTATE**

APPLICANT: ALPHONSA HOMES INC.
12 KILGORE DRIVE SE
MABLETON, GA 30126-1935

CONTACT: JOS KANNUKKADEN PHONE: 404.663.6217

OWNER: ALPHONSA HOMES INC.
12 KILGORE DRIVE SE
MABLETON, GA 30126-1935

DEPARTMENT RECOMMENDATION: **DENIAL**

PROJECT DATA:

The applicant requests rezoning of a 14.55-acre parcel assemblage from R-100 (Single-Family Residence District) and C-2 (General Business District) to OSC (Open Space Conservation District), to construct a 19-lot single-family subdivision. The subject property is located on the eastern side of Rosebud Road, north of its intersection with Centerville-Rosebud Road. Currently, the property is wooded with an existing barn, shed and pond on the northernmost parcel. It is noted that a portion of this property lies within Walton County.

The net area of the subject site is 10.64-acres, as the property contains floodplain areas along the stream on the northern portion of the parcel. The proposed density of 1.8 units per acre is less than the maximum 2.5 units per acre allowed in the OSC zoning district. The submitted site plan indicates a total of 7.6-acres (approximately 52.2 percent of the gross land area for primary conservation space) would be set aside as primary open space. At the northern portion of the property, adjacent to the existing stream and floodplain, primary conservation areas are proposed. Secondary conservation space is shown as stormwater infiltration areas in two central community

areas. A single point of access into the development is proposed off of Rosebud Road. The Department notes that the internal street design does not meet County standards, and that the majority of the lots are proposed to be accessed via a narrow private driveway. This site configuration would require numerous variances from zoning requirements and modifications or waivers of the development regulations.

The lot width for the development would be 60 feet, a minimum 7,500 square feet in area, which complies with the zoning district requirements. The applicant has proposed homes to be a minimum size of 1,400 square feet. Further, the submitted elevations indicate fiber-cement siding would be used on the front, side and rear of all dwellings. The homes are depicted as rear entry, with no front facing garage doors.

An OSC zoned development requires a form of transition when located adjacent to agricultural or single-family residential uses. The UDO (Unified Development Ordinance) provides three options, and the applicant has chosen to provide a 50-foot conservation strip adjacent to properties zoned R-100 (Single-Family Residence District). The applicant has shown 40-feet of conservation space behind lots one, two, and three, which does not meet the conservation strip requirement. The site plan reflects a 50-foot wide stream buffer and 75-foot impervious setback along the stream. Also reflected on the site plan is a 50-foot street frontage buffer along Rosebud-Grayson Road, which meets the required 50-foot width. A stormwater detention pond would be provided adjacent to the existing stream and lot 17.

ZONING HISTORY:

In 1970, the subject property was zoned RA-200 (Agriculture-Residence District). In 1973, the property was rezoned to R-100 and C-2 per an areawide rezoning. In 1999, a portion of the C-2 property was rezoned to R-100, pursuant to RZ-127-99.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property contains areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development. The applicant/developer shall obtain all required approvals from the Gwinnett County Department of Water Resources and the U.S. Army Corps of Engineers for construction or land disturbance activities which may impact floodplain or wetland areas.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

This site appears to be heavily wooded and may include specimen trees which are required by Unified Development Ordinance Section 630-70 to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of Development Plans for review.

No Existing Features Analysis Plan for this site has been provided for review.

Project access and required improvements on Rosebud Road will be subject to review and approval of Gwinnett County Department of Transportation.

A 200-foot deceleration lane with a 50-foot taper is required at the project entrance.

Four-foot wide sidewalks are required adjacent to both sides of all interior streets including turnarounds.

The U.S Postal service requires a centralized mail delivery kiosk replacing individual mail boxes which must be located outside of right of way. Location and access must be approved by Gwinnett County Department of Transportation.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

The property appears to contain stream buffers and floodplain. The proposed conceptual plan may require revision to show the appropriate stream buffers and floodplain.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Rosebud Road is a Minor Arterial and 40 feet of right of way is required from the centerline, with 50 feet required within 500 feet of a major intersection.

Entrances shall be provided to the site per current development regulations.

Standard deceleration lane with appropriate taper and adequate right of way will be required.

The developer shall be limited to one curb cut.

The project entrance shall align with opposing roads or driveways in accordance with the Gwinnett County Unified Development Ordinance.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

Interior roads to meet Gwinnett County roadway standards.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 12-inch water main located on the east right of way of Rosebud Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of a 48-inch sanitary sewer main located approximately 130 feet north of parcel R4275 033 in the right of way of Rosebud Road. Easement may be required.

The subject development is located within the Lower Big Haynes service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The applicant requests rezoning of a 14.55-acre parcel assemblage from R-100 (Single-Family Residence District) and C-2 (General Business District) to OSC (Open Space Conservation District), to construct a 19-lot single-family subdivision. The subject property is located on the eastern side of Rosebud Road, north of its intersection with

Centerville-Rosebud Road. Currently, the site is wooded with an existing barn, shed and pond on the northernmost parcel. A portion of this property lies within Walton County.

The 2030 Unified Plan Future Development Map indicates the property is located within a Rural/Estate Character Area. Policies for this Character Area encourage agriculture, estate residential, and public open space, parks, recreation and conservation. Within the Rural/Estate Character Area, all new residential development should not exceed 2.0 dwelling units per acre and in-fill residential development should be consistent with the character of existing abutting densities. Although the development generally meets the density recommendation for the character area, the project layout and street design do not meet minimum County standards. Given these site design deficiencies, the Department considers the request to be inconsistent with County policies for design conformance and cannot support the rezoning as proposed.

This segment of Rosebud Road is developed with homes on acreage. The property is bordered on the north and east by large acreage estate properties with single homes all of which are zoned RA-200 or R-100. To the west across Rosebud Road is the St. Thomas Syro-Malabar Catholic Diocese Church and a single family residence zoned R-100. To the south is a wooded lot zoned C-2 at the intersection of Rosebud Road and Centerville-Rosebud Road. A small, sparsely developed commercial node is at the intersection of Rosebud Road and Centerville-Rosebud Road containing a convenience store and antique shop. Although a properly designed OSC layout could be suitable, the proposed design does not meet many County standards regarding lots, street and internal design. For these reasons, the rezoning request is not supported as it is currently being proposed.

In conclusion, the requested OSC layout is not consistent with County design standards or, consequently, with policies of the Unified Plan; therefore, the Department of Planning and Development recommends **DENIAL** of the request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Note: The following conditions are provided as a guide should the Board choose to approve the request.

Approval as OSC (Open Space Conservation Subdivision), subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Single-family detached dwellings and accessory uses and structures, not to exceed 19 lots.
 - B. The site layout, lot dimensions, road frontage and alley/street design shall be permitted as shown on the submitted site plan.
 - C. The minimum heated floor area per dwelling unit shall be 2,000 square feet for one-story homes and 2,200 square feet for two-story homes.
 - D. Homes shall be constructed with front facades of primarily brick or stacked stone. The balance of the home may be the same, or of fiber-cement siding or shake with a minimum three-foot high brick or stacked stone water table.
 - E. All dwellings shall have at least a double-car garage. All garages shall be rear entry, with alley access.
2. To satisfy the following site development considerations:
 - A. Provide a centrally located open space/pocket park within the development. Open Space to include a community park green space located centrally to the homes within the development. Design and location of green space to subject to review and approval of the Director of Planning and Development.
 - B. All primary conservation space shall remain undisturbed.
 - C. A minimum 50-foot wide conservation space strip shall be provided around the perimeter of the property.
 - D. No direct lot access shall be allowed onto Rosebud Road.

- E. The Rosebud Road frontage and project entrance shall be landscaped by the developer and maintained by the Homeowner's Association. Entrance shall include a decorative masonry entrance feature. Landscape and entrance feature plans shall be subject to review and approval of the Director of Planning and Development.
- F. Natural vegetation shall remain on the property until the issuance of a development permit.
- G. All grassed areas on dwelling lots shall be sodded.
- H. All utilities shall be placed underground.
- I. Building lots shall not be located within any required stream buffers or accompanying impervious surface setback areas.
- J. A specimen tree concept plan and tree survey shall be required with the submittal of a development permit application.
- K. Detention pond(s) shall be fenced with a black vinyl-coated chain link fence a minimum of four feet in height, and shall be fully screened from view of adjacent residences with a double staggered row of evergreens.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The proposed OSC project with non-conforming lot and street design may not be suitable in light of the conforming single-family developments in the surrounding area.

ADVERSE IMPACTS

Potential impacts could be anticipated from establishing a precedent for non-conforming subdivision development in the area.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

An increased impact on public facilities could be anticipated in the form of increased traffic, school enrollment, stormwater runoff and utility demand.

CONFORMITY WITH POLICIES

The 2030 Unified Plan Future Development Map indicates that the site is located in the Rural Estate Character Area. Although the development generally meets the density recommendation for the character area, the project layout and street design do not meet minimum County standards or policies regarding development conformance.

CONDITIONS AFFECTING ZONING

Although a properly designed OSC layout could be suitable, the proposed design does not meet many County standards regarding lots, street and internal design. For these reasons, the rezoning request is not supported as it is currently being proposed.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

The proposed zoning of OSC is suitable in view of the use and development of adjacent and nearby properties.

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

This proposed rezoning will not adversely affect the existing use or usability of adjacent or nearby property.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The property does have current economic use as residential but is limited due to stream buffers and flood plain.

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The proposed rezoning will not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. This proposed development would create a low density, pedestrian friendly, community.

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed rezoning is in conformity with the policy and intent of the land use plan.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

There are existing or changing conditions affecting the use and development of the property which gives supporting grounds for either approval

or disapproval of the proposed rezoning. The property has extensive areas that are in stream buffers and flood plain zones thus limiting the area that can be developed.

4570 & 4592 Rosebud Rd.

Alphonsa Homes Inc.
12 Kilgore Dr. SE
Mableton, Ga. 30126-1935

Gwinnett Department of Planning and Development
Planning Division
446 W. Crogan St.
Lawrenceville, Georgia 30046
678-518-6000 Of

RE: Letter of Intent
Subject Parcels 4/275/001&003
August 30th, 2018

To Whom It May Concern,

Enclosed is an application for a rezoning of the above referenced subject properties for a proposed seniors only residential development. The subject properties are zoned R-100(parcel 001) and C2/R100(parcel 033). The adjacent parcels are zoned C2, R100. A portion of Parcel 001 in the southeastern corner (1.44 acres) lies in Walton County and adjoins Walton County Zoning classifications A2 and R1. This Walton County area has just been granted rezoning to RND on 08-07-18 (pending Gwinnett County Rezone to OSC). RND is Walton County's version of the Gwinnett OSC zoning and the same Rezoning concept plan by Bullard Land Planning was submitted and approved by Walton County.

This rezoning application would request a change in zoning to OSC for all of parcel 001 and all of parcel 033 that lies to the east and south of two R100 parcels that will be subdivided from the overall parcel. These 2 new parcels that will front Rosebud Road are currently zoned R100 and would require no zoning change.

This site is perfectly suited and well-adapted for this zoning classification change to an Open Space Conservation District (OSC). The site is bordered on the north by Brushy Fork Creek and is bisected north to south by one of its tributaries. It is a heavily wooded site and would largely remain that way by the minimal area of disturbance that this attached Rezoning Concept Plan would propose. This plan would also create a close-knit community feel with a design that will encourage easily walkable areas and use of conservation and recreational opportunities.

Sincerely,

Jos Kannakkaden
Owner and Applicant

08/30/18

RECEIVED
AUG 30 2018
PLANNING & DEVELOPMENT

RECEIVED BY

SEP 07 2018

Planning & Development

RZR '18 037



RECEIVED BY

SEP 07 2018

RZR 18037

Planning & Development



RECEIVED BY

SEP 07 2013

Planning & Development

RZR 18 037



RZR 18 033
RECEIVED BY
SEP 07 2011
Planning & Development



RZR '18 037

RECEIVED BY

SEP 07 2013

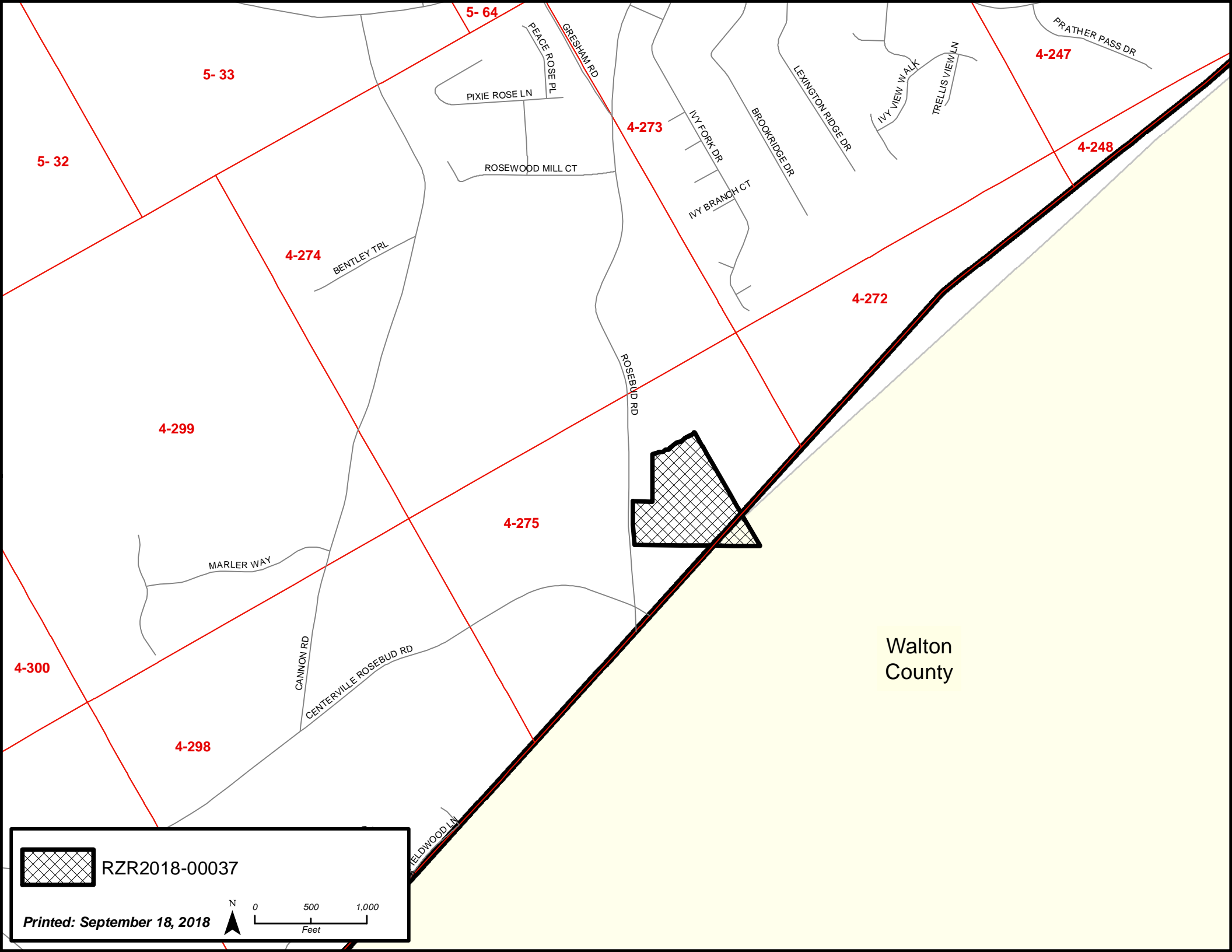
Planning & Design



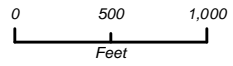
Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County, November 2018

Case #	Schools	Current Projections									Proposed Zoning Approximate additional Student Projections from Proposed Developments
		2019-20			2020-21			2021-22			
		Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	
RZR2018-00031	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	1
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	1
	Dacula ES	1,111	1,550	-439	1,093	1,550	-457	1,108	1,550	-442	2
RZR2018-00032	Grayson HS	3,044	2,125	919	3,128	2,125	1,003	3,222	2,125	1,097	48
	Couch MS	1,080	1,150	-70	1,102	1,150	-48	1,124	1,150	-26	34
	Starling ES	1,034	1,200	-166	1,065	1,200	-135	1,097	1,200	-103	67
RZR2018-00033	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	12
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	9
	Freeman's Mill ES	864	925	-61	881	925	-44	899	925	-26	17
RZR2018-00034	Mill Creek HS	3,674	2,800	874	3,729	2,800	929	3,785	2,800	985	15
	Osborne MS	1,712	1,575	137	1,729	1,575	154	1,746	1,575	171	11
	Duncan Creek ES	1,336	1,300	36	1,376	1,300	76	1,417	1,300	117	22
RZR2018-00035	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	3
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	2
	Freeman's Mill ES	864	925	-61	881	925	-44	899	925	-26	5
RZR2018-00036	Mountain View HS	2,650	2,300	350	2,703	2,300	403	2,757	2,300	457	75
	Twin Rivers MS	2,071	2,150	-79	2,133	2,150	-17	2,176	2,150	26	54
	Patrick ES	719	1,025	-306	726	1,025	-299	748	1,025	-277	106
RZR2018-00037	South Gwinnett HS	2,634	2,750	-116	2,674	2,750	-76	2,714	2,750	-36	6
	Grace Snell MS	1,254	1,200	54	1,273	1,200	73	1,292	1,200	92	4
	Rosebud ES	1,050	1,200	-150	1,040	1,200	-160	1,051	1,200	-149	8

Current projections do not include new developments



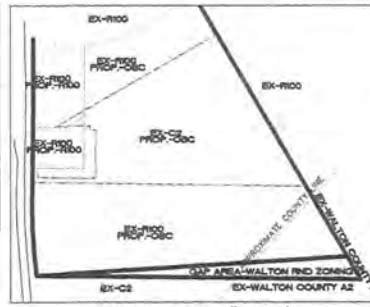
RZR2018-00037



Printed: September 18, 2018

LOT	AREA
1	7745
2	7582
3	7665
4	7765
5	7505
6	8396
7	8739
8	10274
9	7535
10	7571
11	7512
12	8798
13	17617
14	10186
15	7729
16	7510
17	9812
18	9134
19	9107

LOT	AREA
20	26292
21	49856



- VARIANCE # 1:**
ALLOW VARIANCE FROM GWINNETT COUNTY UDO (OSC ZONING) REQUIREMENTS RELATING TO ALLOW 10' ALLEY DRIVE IN 50 FOOT STREET FRONTAGE BUFFER.
- VARIANCE # 2:**
ALLOW VARIANCE FROM GWINNETT COUNTY UDO REQUIREMENTS RELATING TO REDUCE TRANSITIONAL BUFFER AT SOUTHWEST PROPERTY LINE BETWEEN OSC AND C2 ZONING TO 10 FEET.
- VARIANCE # 3:**
ALLOW VARIANCE FROM GWINNETT COUNTY UDO REQUIREMENTS RELATING TO ALLOW STORMWATER DETENTION POND WALL IN 75 FOOT IMPERVIOUS BUFFER.
- VARIANCE # 4:**
ALLOW VARIANCE FROM GWINNETT COUNTY UDO REQUIREMENTS (OSC ZONING) RELATING TO ALLOW 3 FOOT FRONT SETBACKS ON LOTS 4-16.
- VARIANCE # 5:**
ALLOW VARIANCE FROM GWINNETT COUNTY UDO REQUIREMENTS (OSC ZONING) RELATING TO ALLOW 5 FOOT SIDE SETBACKS ON LOTS SHOWN ON LOTS 4-16.
- VARIANCE # 6:**
ALLOW VARIANCE FROM GWINNETT COUNTY UDO REQUIREMENTS (OSC ZONING) RELATING TO ALLOW TRANSITIONAL BUFFER OF 30' BETWEEN LOTS 1,3 AND 3 (OSC ZONING) AND R100 ZONING.

SITE INFORMATION

EXISTING ZONING: C2/R-100
 PROPOSED ZONING: OSC/R-100
 TOTAL AREA: 16.30 ACRES
 TOTAL AREA PROPOSED BY REZONING:
 OSC - 14.55 ACRES
 R-100 - 1.75 ACRES
 TOTAL LOTS: 19 (OSC), 2 (R-100)
 MAXIMUM NET DENSITY = 2.5
 NET DENSITY PROVIDED = 14.54 ACRES - 3.90 ACRES (50% OF FLOODPLAIN AREA) = 10.64 ACRES
 19 UNITS/10.64 ACRES = 1.8 UNITS/ACRE
 PROPOSED HOUSE SIZES = 1400-1600 SQ.FT.
SETBACKS
 FRONT = 25', SIDE = 7.5', REAR = 30'
 MINIMUM HEATED FLOOR AREA = 1400 SQ.FT.
 MINIMUM % COMMON AREA = 25%
 MINIMUM LOT WIDTH = 60'

CONSERVATION AREAS

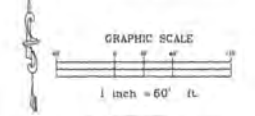
PRIMARY CONSERVATION SPACE
 7.60 ACRES = 52.2%
 CONSISTS OF FLOODPLAIN AREA, STREAMS AND STREAM BUFFER AREAS AND 50 FOOT CONSERVATION SPACE STRIP

SECONDARY CONSERVATION SPACE
 0.30 ACRES = 2.1%
 CONSISTS OF RESIDENTIAL COMMUNITY AREAS

REZONING PLAN

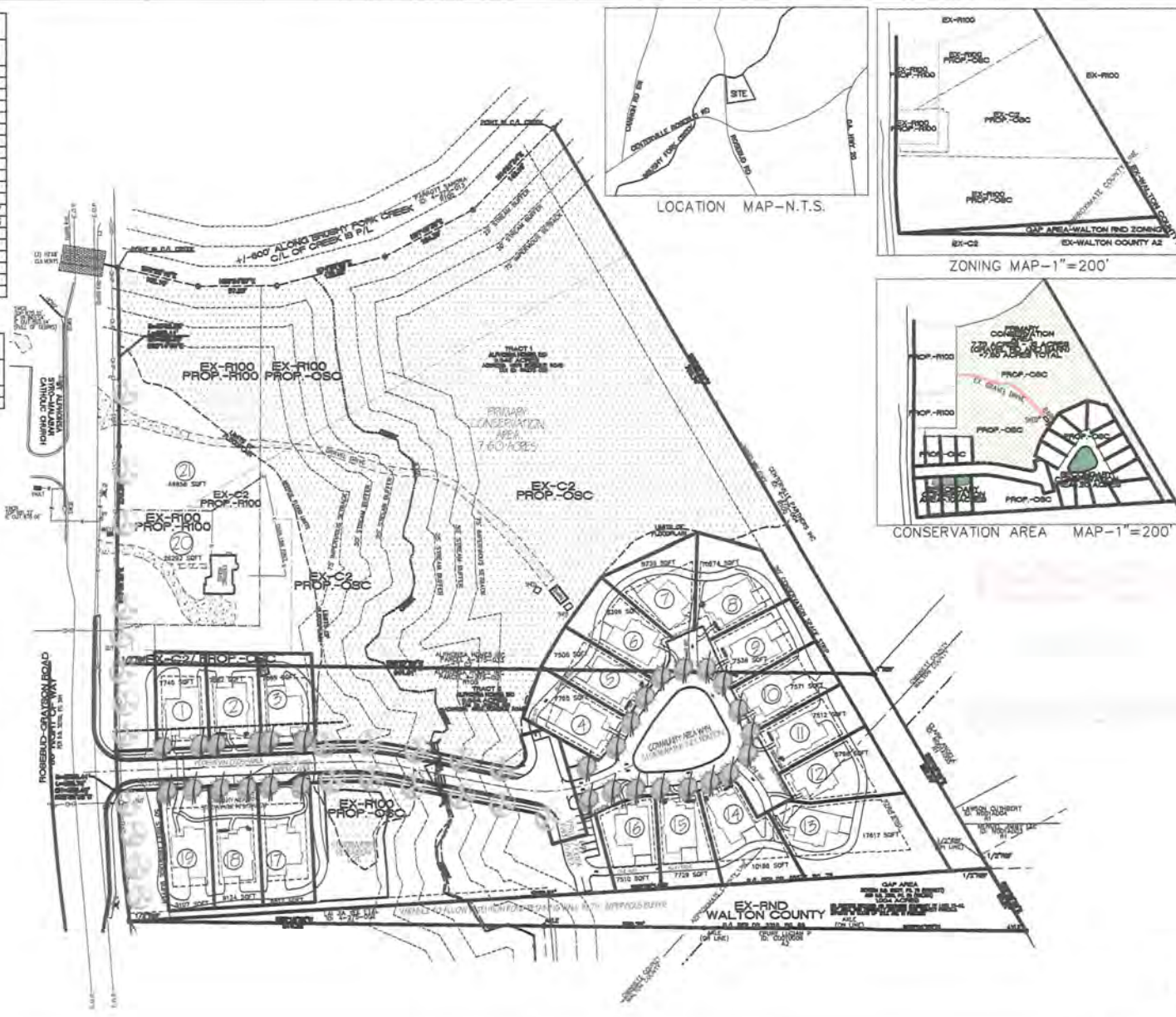
FOR:
 4570, 4685 ROSEBUD RD, LOGANVILLE GEORGIA
 4TH DISTRICT, LAND LOT 275, PARCELS 1 & 33
 GWINNETT COUNTY, GEORGIA

OWNER & DEVELOPER:
ALPHONSA HOMES INC.
 12 KILCORE DR SE
 MABLETON, GA. 30126-1936
 CONTACT: JOS KANNUKKADEN
 PHON: 404-863-6217
 EMAIL: jkaden@gmail.com



DESIGNER:
BULLARD
LAND PLANNING, INC
 3790 CLAYTONVILLE DRIVE
 SNELLVILLE, GEORGIA 30039
 CONTACT PERSON: BOBBY BULLARD
 (678) 544-1293 ~ (770) 978-8857 FAX
 email: bpbobby@blltrouth.net
 87 024 17-02 - 0204, SOUTH WE 9-16-11

NOT FOR FINAL RECORDING





Walton
County

 RZR2018-00037

Printed: September 18, 2018

N
0 75 150
Feet



CENTERVILLE ROSEBUD RD

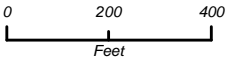
ROSEBUD RD

Walton
County

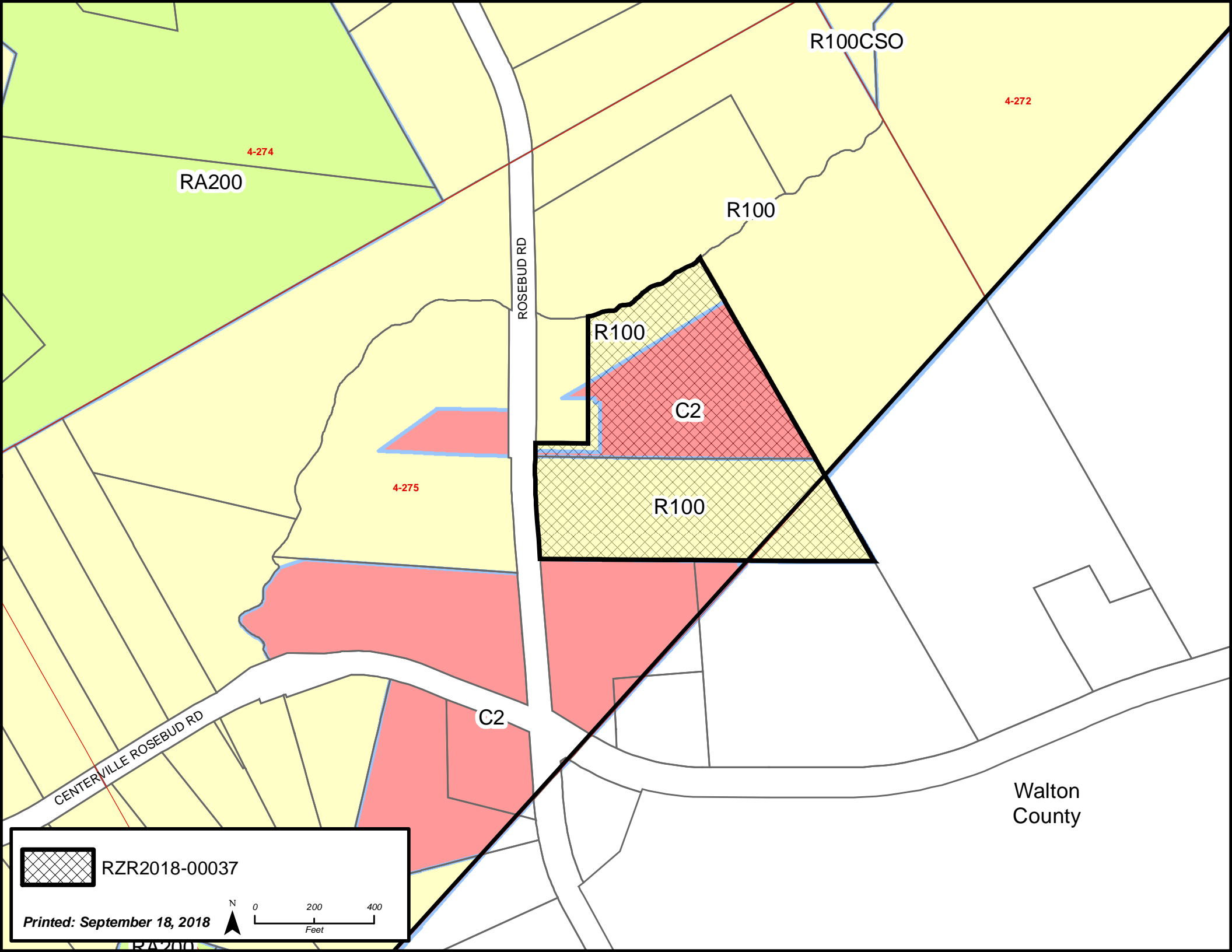


RZR2018-00037

N



Printed: September 18, 2018



R100CSO

4-272

RA200

4-274

R100

ROSEBUD RD

R100

C2


4-275

R100

C2

CENTERVILLE ROSEBUD RD

Walton
County

 RZR2018-00037

Printed: September 18, 2018

N
0 200 400
Feet

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :RZC2018-00019
ZONING CHANGE :R-100 TO C-2
LOCATION :5300 BLOCK OF SUGARLOAF PARKWAY
:1500 BLOCK OF ATKINSON ROAD
MAP NUMBERS :R7043 136 & 138
ACREAGE :1.49 ACRES
SQUARE FEET :6,000 SQUARE FEET
PROPOSED DEVELOPMENT :CONVENIENCE STORE W/FUEL PUMPS
(BUFFER REDUCTION)
COMMISSION DISTRICT :(1) BROOKS

FUTURE DEVELOPMENT MAP: **EXISTING / EMERGING SUBURBAN**

APPLICANT: MOHAMAD SAMNANI
2051 SUGAR VALLEY LANE
LAWRENCEVILLE, GA 30043

CONTACT: MOHAMAD SAMNANI PHONE: 678.469.1570

OWNER: LARRY HUDSON
3852 STARLIGHT TRAIL
DOUGLASVILLE, GA 30135

DEPARTMENT RECOMMENDATION: **DENIAL**

PROJECT DATA:

The subject property contains 1.49 acres and is located at the southern corner of the Sugarloaf Parkway and Atkinson Road intersection. Currently zoned R-100 (Single-Family Residence District), the applicant is requesting C-2 (General Business District) zoning in order to construct a 6,000-square foot retail center. The site is currently wooded and drops sharply in elevation toward the south.

The retail center would include a convenience store with eight fuel pump islands and a restaurant. Based upon building elevations and photos included with the application, the proposed building would include architectural treatments of brick, stacked stone and stucco on the front and sides, with concrete block comprising the rear. The submitted site plan proposes two curb cuts to serve the property: one on Sugarloaf Parkway and a second on Atkinson Road. The planned number of parking spaces meets the parking requirements for the proposed commercial uses. No stormwater detention facilities are shown on the property. The site plan does not show the required 75-foot

wide buffer along the south property line adjacent to single-family residential zoning; therefore, the applicant is requesting a buffer reduction from 75-feet to 0-feet.

ZONING HISTORY:

The subject property has been zoned R-100 since 1970.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

This site appears to be heavily wooded and may include specimen trees which are required by Unified Development Ordinance Section 630-70 to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of Development Plans for review.

Project access and required improvements along Atkinson Road will be subject to review and approval of Gwinnett County Department of Transportation.

A 200-foot deceleration lane with a 50-foot taper is required at the project entrance.

A 5-foot wide sidewalk is required along the entire frontage of Atkinson Road.

Parking lots and interior driveways shall be in accordance with Chapter 240 of the Unified Development Ordinance.

A 75-foot natural, undisturbed buffer adjacent to residentially-zoned property is required.

Section 610-20.4B of the Unified Development Ordinance requires an additional 5-foot setback for all structures adjacent to the required buffer.

The required 10-foot landscape strip adjacent to street right-of-way appears to be encroached upon by proposed parking and interior driveways. Plans shall be revised to show no encroachments into the 10-foot landscape strips.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

The property appears to contain stream buffers and floodplain. The proposed conceptual plan may require revision to show the appropriate stream buffers and floodplain.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Sugarloaf Parkway is a Principal Arterial and 60 feet of right-of-way is required from the centerline, with 75 feet required within 500 feet of a major intersection.

Atkinson Road is a Major Collector and 40 feet of right-of-way is required from the centerline.

Entrances shall be provided to the site per current development regulations.

Standard deceleration lane with appropriate taper and adequate right-of-way will be required.

The project entrance shall align with opposing roads or driveways in accordance with the Gwinnett County Unified Development Ordinance.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

Minimum separation from a driveway, public road, or side street shall be provided as specified in the Gwinnett County Unified Development Ordinance.

Improvements appear to be within right-of-way of the Atkinson Road former alignment.

Five-foot sidewalk required along property frontage of Sugarloaf Parkway and Atkinson Road.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 12-inch water main located on the southwest right-of-way of Sugarloaf Parkway and a 12-inch water main located on the southeast right-of-way of Atkinson Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 18-inch sanitary sewer main located on parcel R7043 136 and an 18-inch and 8-inch sanitary sewer main located on parcel R7043 138.

The subject development is located within the Beaver Ruin service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the

Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit civil site drawings to Building Plan Review for review and approval.
2. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for each building for review and approval by Building Plan Review.
3. Each building shall comply with the height and area limitations of Table 503 and the fire resistive and horizontal separation requirements of Table 601 and 602 of the 2012 International Building Code with Georgia state amendments based on occupancy group classification, type of construction, and location of each building from property lines and other buildings.
4. Architectural design of the proposed building shall incorporate the requirements of the Gwinnett County Unified Development Ordinance, Architectural Design Standards, Design Category 1.
5. Upon completion of plan review approvals, the applicant shall obtain a building permit for each building and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.¹

For assistance, you may contact this office at 678.518.6000 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The subject property contains 1.49 acres located at the southern corner of the Sugarloaf Parkway and Atkinson Road intersection. The applicant is requesting to rezone the property from R-100 to C-2 in order to construct a retail center. The property is currently wooded and undeveloped.

The 2030 Unified Plan Future Development Map indicates that the property lies within an Existing/Emerging Suburban Character Area. Policies for this Character Area encourage infill development which is compatible with adjacent and surrounding land uses. In staff's opinion, the requested rezoning for a strip retail center with a convenience store with fuel pumps and a restaurant may be too intense at this location. Neighboring uses do not include similar retail development, but are limited to low intensity office and residential developments. As such, this project may not be consistent with 2030 Unified Plan policies that encourage the protection of existing single-family neighborhoods.

The surrounding area is primarily characterized by residential and office uses at the intersection of Sugarloaf Parkway and Atkinson Road. General commercial/retail uses are located further north at Duluth Highway. Directly across Atkinson Road are professional office buildings located in The Ember Business Center. Across Sugarloaf Parkway from Ember Business Center is undeveloped floodplain in commercial zoning. Abutting the subject site to the south are the Glynwater subdivision and Willow Pointe subdivisions, zoned R-ZT and developed with single-family detached residences. Staff recognizes that the subject property is adjacent to the Sugarloaf Parkway, but suggests that it may be more suitable for a transitional use such as an office development, rather than the proposed convenience store. The approval of such an intense commercial uses on the subject site may set a precedent for similar commercial developments along this portion of Atkinson Road and Sugarloaf Parkway, disconnected from the established commercial nodes.

In conclusion, the requested C-2 zoning to develop a convenience store with fuel pumps, a restaurant and other retail uses, may not be considered an appropriate transitional development and may result in negative impacts on surrounding and adjacent residential properties. In addition, this request may not be compatible with the existing adjoining single-family residences or consistent with the policies of the 2030 Unified Plan. Therefore, staff recommends **DENIAL** of this request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

NOTE: The following conditions are provided as a guide should the Board of Commissioners choose to approve this request.

Approval of C-2 (General Business District), subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Retail and service-commercial, office and accessory uses. The following uses shall be prohibited:
 - adult bookstores or entertainment
 - automotive parts stores
 - bars serving alcohol
 - contractors offices
 - dance clubs
 - drive-thru restaurants or facilities
 - emission inspection stations
 - equipment rental
 - extended stay hotels or motels
 - liquor stores
 - massage parlors
 - night clubs
 - recovered materials processing facilities
 - smoke shops/novelty stores
 - taxidermists
 - tattoo parlors
 - yard trimmings composting facilities
 - B. Hours of operation shall be limited to between 6:00 a.m. and 11:00 p.m.
 - C. Building height shall be limited to one story.
 - D. Buildings shall be of a brick, stacked stone and/or glass finish on all sides. Masonry materials shall be of a natural color and shall not be painted. Final building elevations shall be submitted for review by the Director of Planning and Development.
 - E. Gasoline canopy support columns shall be brick or stacked stone matching the exterior of the proposed building. The vertical façade panels of the canopy roof shall incorporate a continuous vertical change of plane (either projecting or

recessed). The change of plane shall have a minimum offset of one inch and a minimum vertical height of six inches. The offset plane shall have a contrasting color.

2. To satisfy the following site development considerations:
 - A. The development shall abide by all applicable standards of the Unified Development Ordinance, unless otherwise specified in these conditions or through approval of a variance by the Zoning Board of Appeals.
 - B. Provide a ten-foot wide landscaped strip along the rights-of-way of Sugarloaf Parkway and Atkinson Road.
 - C. Provide a 20-foot wide landscape buffer along the southern (rear) property line outside of utility easements. The buffer design shall be subject to the review and approval of the Director of Planning and Development.
 - D. Submit a Specimen Tree Concept Plan and Tree Survey prior to submittal and acceptance of a development permit application, subject to the review and approval of the Director of Planning and Development.
 - E. Ground signage shall be limited to one monument-type sign, to be located on Sugarloaf Parkway, and shall be subject to review and approval by the Director of Planning & Development. The sign shall include a minimum two-foot high brick or stacked stone base, complementing the building's architectural treatment. The masonry base shall extend at least the full width of the sign cabinet, and the sign cabinet shall be fully recessed and surrounded by the same materials. Ground signage shall not exceed eight feet in height.
 - F. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance, and shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.
 - G. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state or federal law. Flashing or blinking signs and exposed neon or LED signs shall be prohibited. Exposed or visible lighting strips mounted on the building or around window frames shall be prohibited.
 - H. Dumpsters shall be screened by a 100% opaque brick or stacked stone wall with an opaque metal gate enclosure. Hours of dumpster pick-up shall be limited to between 7:00 a.m. and 7:00 p.m.

- I. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent properties or rights-of-way.
- J. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
- K. Peddlers and/or parking lot sales shall be prohibited.
- L. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The requested C-2 zoning for the development of a convenience store with fuel pumps and a restaurant at this location may be incompatible with the established residential and low intensity office uses at this intersection.

ADVERSE IMPACTS

Adverse impacts on adjacent and nearby residential properties in the form of increased traffic, noise and light could be anticipated from this request.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

An increase in traffic, utility demand and stormwater runoff could be anticipated as a result of this request.

CONFORMITY WITH POLICIES

The proposed development may not be consistent with the policies of the 2030 Unified Plan which discourage infill development that may not be compatible with adjacent and nearby single-family residential uses.

CONDITIONS AFFECTING ZONING

Neighboring commercial tracts are developed with low intensity professional office uses, or are located in undevelopable floodplain areas. General commercial/retail uses are located further north at Duluth Highway, suggesting that the requested development may represent an incompatible commercial encroachment.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes, the proposed Rezoning Application will permit a use that is suitable in view of the use and development of adjacent and nearby property.

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No, the proposed Rezoning Application will not adversely affect the existing use or usability of any of the nearby properties.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Due to the size, location, layout and dimensions of the subject property, the Applicant submits that the property does not have reasonable economic use as currently zoned.

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

No, the proposed rezoning will not result in an excessive or burdensome use of the infrastructure systems.

Recent and continuing improvements to the transportation network in the area allow and contemplate developments of this nature.

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Yes, the proposed Rezoning Application is in conformity with the policy and intent of the land use plan.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Applicant submits that the residential and commercial development in the area provides additional support of this Application.

Also see letter of Intent.

RECEIVED BY

01/01/2018

RZC 18019

LETTER OF INTENT FOR REZONING APPLICATION

The Applicant Mohamad Samnani, request rezoning on 1.49 acres tract located at 5390 Sugarloaf Pkwy, Lawrenceville, GA, for the purpose of developing Gas Station with Convenience store and retail space. To develop the site as proposed, the applicant respectfully requests a rezoning from R100 to C-2. The subject property is situated at the intersection of Sugarloaf Pkwy and Atkinson Rd.

The property is surrounded by commercial and residential properties. Both sides of the property are surrounded by commercial properties with office complex and health care clinics. The front of the property has a huge apartment complex and back of the property has residential housings. Property is adjacent to Gwinnett technical college. Property is also just a mile away from Sugarloaf Mill Mall.

With property being surrounded by populated area, it has a great need for a gas station and other retail services. There are many Gas Station on the north bound side of the sugarloaf parkway with none being on the south bound of the sugarloaf parkway. There is no gas station on Sugarloaf Parkway from Peachtree industrial all the way to Lawrenceville Hwy which is about 8 miles. Sugarloaf Parkway intersects the major interstate highway I85 and the Gas Station will fall on the coming home side of the traffic. There are no Gas Station on either side of the Sugarloaf Parkway between 316 and I85. As you can see there is a great need for a Gas Station on this Parkway to serve the resident in the area and traveling on the Parkway.

Applicant leaves only a mile away from the property and is very familiar with the surrounding area. Applicant also owns a Gas Station and is very experience in the business. Applicant understands the need of the surrounding area and has decided upon this venture. Retail space will feature a restaurant and/or dry-cleaning pick-up station as there is a great need for this. The building will have surrounding brick and stone wall with glass store front. It will have 8 MPDs, 16 pumps to dispense. It will be constructed using modern and attractive design and will follow all the standard of Gwinnett County to create a pleasant appearance of the area.

Gas station will be open for 6am to 11pm weekdays and 6am to 12pm weekends. It will employ 3 full-time and 2 part-time employees. The restaurant will employ 2 full-time and 4 part-time employees.

The applicant welcomes the Gwinnett county of planning and development department to answer any questions or concerns with regards to this letter and the rezoning application. With due respect, the applicant requests the approval of this application.

RECEIVED BY

OCT 01 2018

Planning & Development

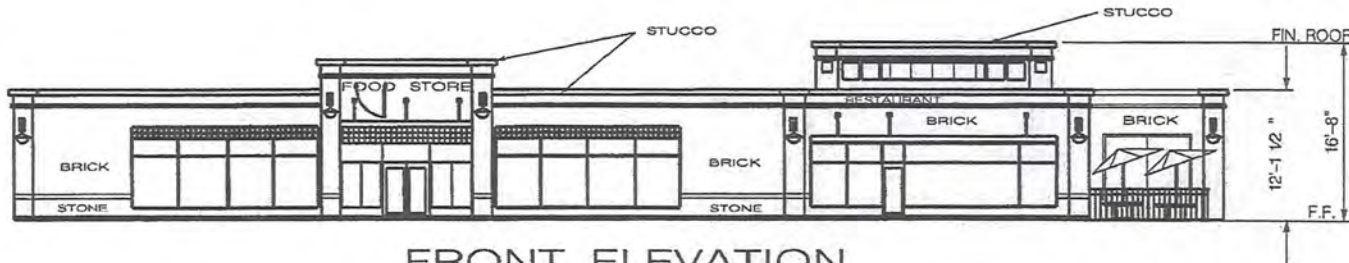
RZC '18 019



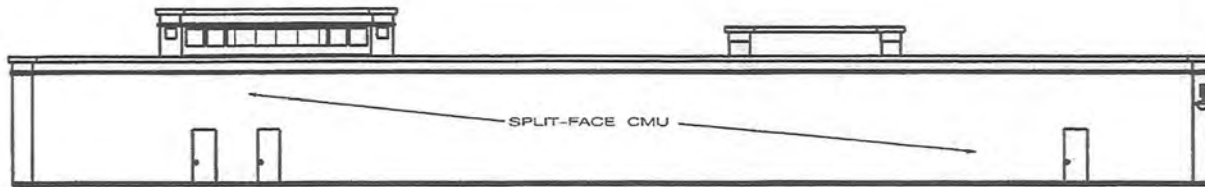
Example of what proposed gas station would look like.

RECEIVED BY
Planning & Development
10/2/2018

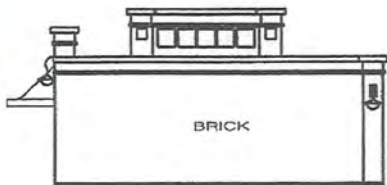
RZC2018-00019



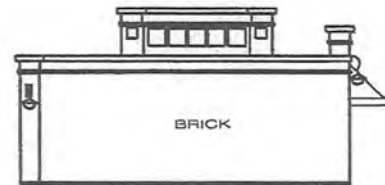
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

RECEIVED BY

OCT 01 2018

Planning & Development

RZC '18 019

GASOLINE/RESTAURANT AT SUGARLOAF & ATKINSON ROAD

LOCATION: CORNER OF SUGARLOAF AND ATKINSON ROAD, LAWRENCEVILLE, GA.



DATE	BY	REVISION
A1		
YDG-02		

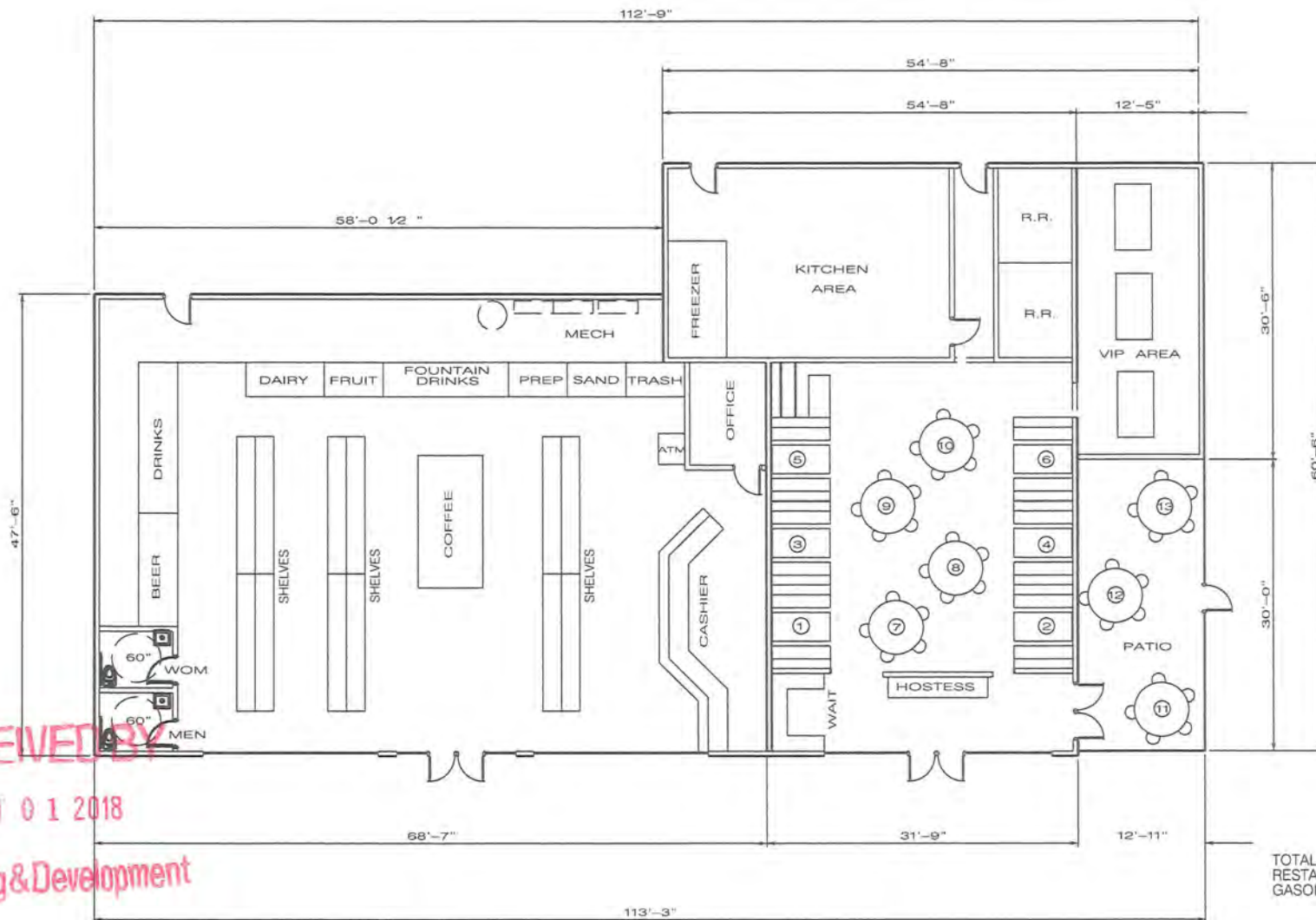
PRELIMINARY
NOT FOR CONSTRUCTION

COPYRIGHTED 2018

RECEIVED BY
MAY 01 2018
Planning & Development

RZC 18 019

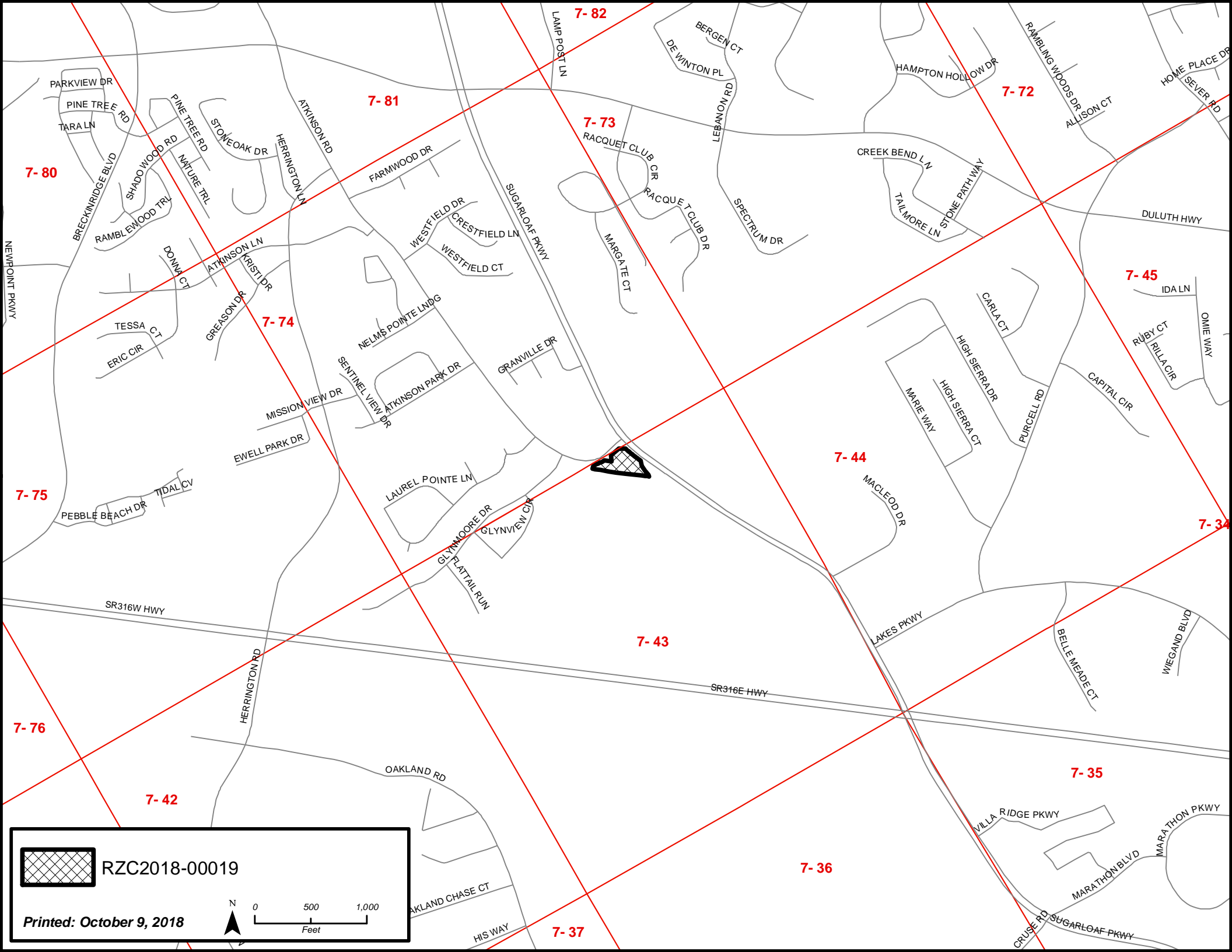
PROPOSED FLOOR PLAN SCALE: 1/8" = 1'-0"



TOTAL AREA =
RESTAURANT: 3000 S.F.
GASOLINE STATION: 3200 S.F.

PRELIMINARY
NOT FOR CONSTRUCTION
ISSUE DATE:
COPYRIGHTED 2018

GASOLINE/RESTAURANT AT SUGARLOAF & ATKINSON ROAD
LOCATION: CORNER OF SUGARLOAF AND ATKINSON ROAD LAWRENCEVILLE GA.
YDG
YDG
A1
YDG-02



7-80

7-81

7-82

7-72

7-73

7-74

7-45

7-75

7-44

7-34

7-43

7-76

7-42

7-35

7-36

7-37

 RZC2018-00019

Printed: October 9, 2018

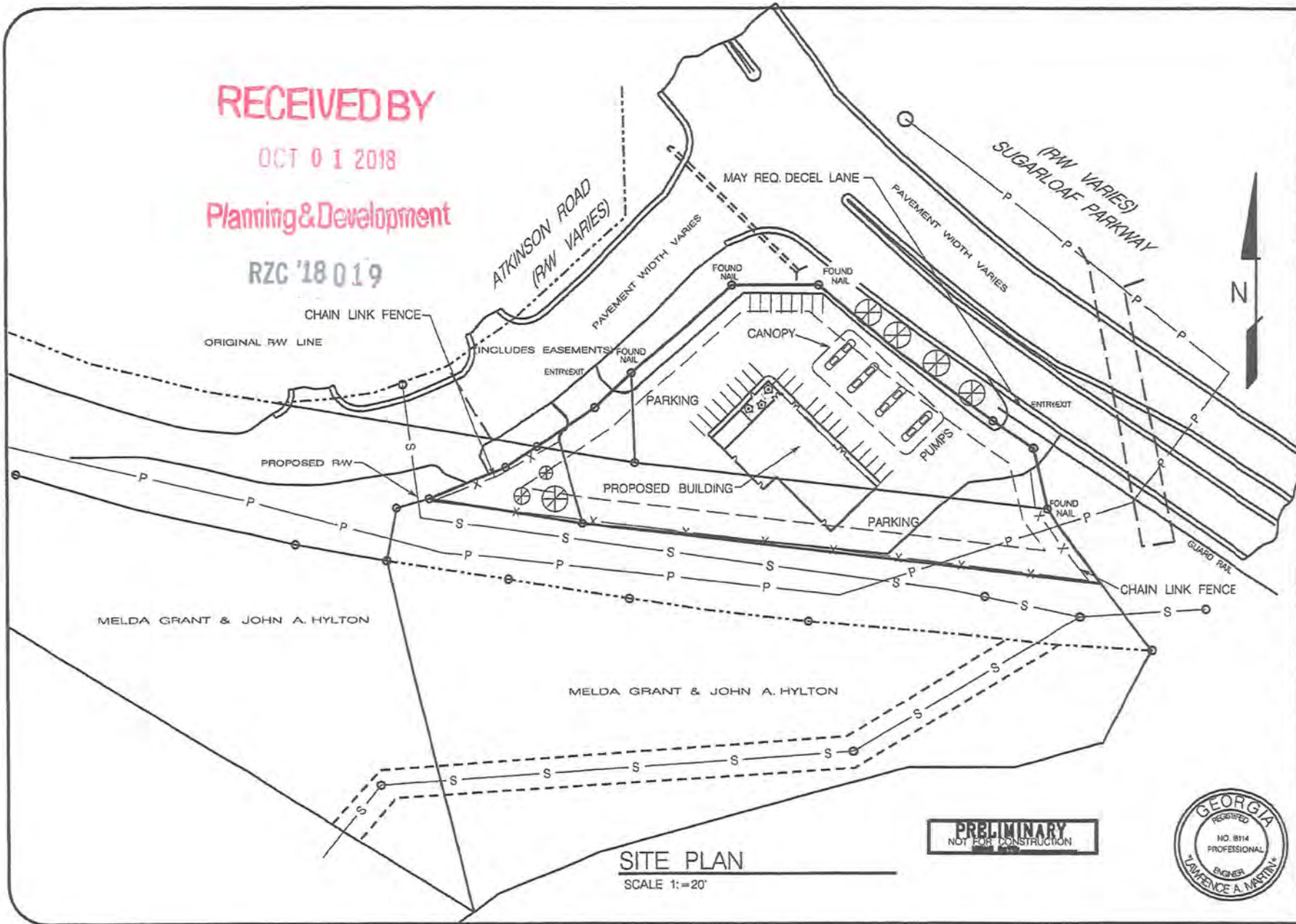
N
0 500 1,000
Feet

RECEIVED BY

OCT 01 2018

Planning & Development

RZC '18 019



SITE PLAN
SCALE 1"=20'

PRELIMINARY
NOT FOR CONSTRUCTION



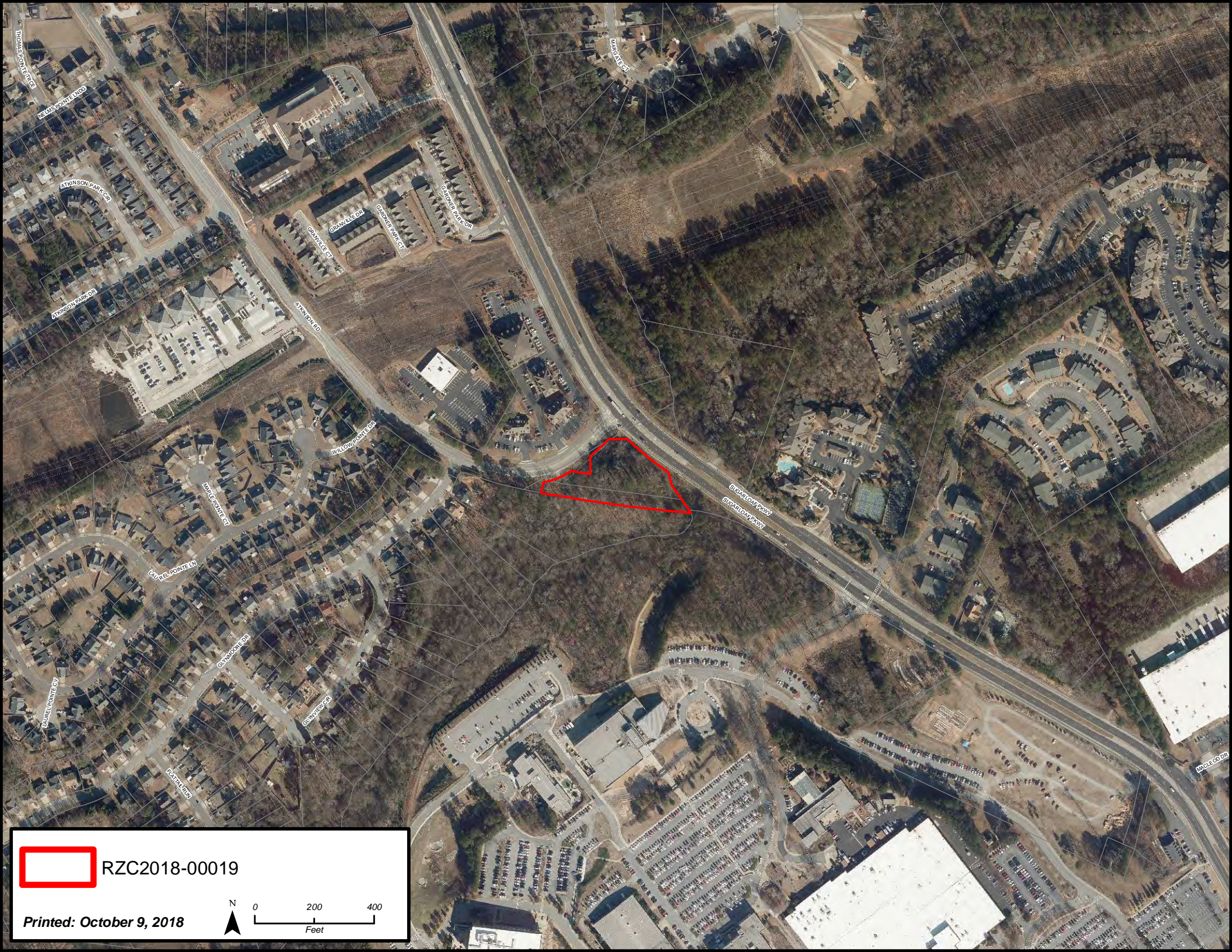
CONCEPTUAL GASOLINE STATION WITH RESTAURANT

LOCATION: SUGARLOAF PARKWAY AND ATKINSON ROAD



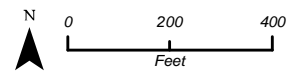
YDG Engineering Group, Inc. 2708 Telephone Dr. Duluth, Ga. 30097

DATE	NO.
10/1/18	170
AS4	170
3 of 5	
YDG-08	



RZC2018-00019

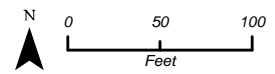
Printed: October 9, 2018

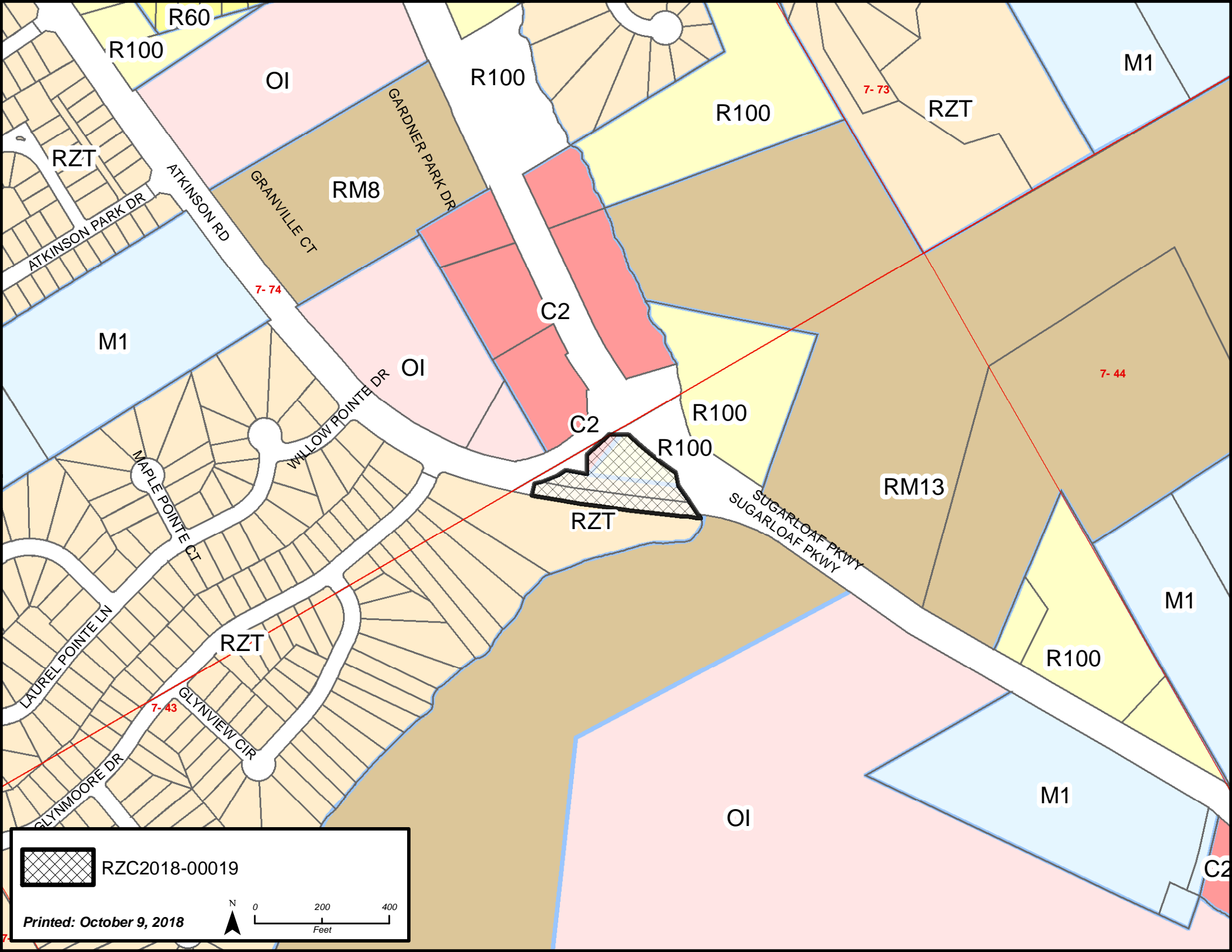





 RZC2018-00019

Printed: October 9, 2018





 RZC2018-00019



Printed: October 9, 2018

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER	:RZC2018-00020
ZONING CHANGE	:O-I & R-100 TO C-2
LOCATION	:4100 BLOCK OF CENTERVILLE HIGHWAY :4100 BLOCK OF ANDERSON LIVSEY LANE :4400 BLOCK OF CASTLE GATE DRIVE
MAP NUMBERS	:R6005 073 & 269
ACREAGE	:2.58 ACRES
SQUARE FEET	:10,500 SQUARE FEET
PROPOSED DEVELOPMENT	:COMMERCIAL RETAIL (BUFFER REDUCTION)
COMMISSION DISTRICT	:(3) HUNTER

FUTURE DEVELOPMENT MAP: **EXISTING/ EMERGING SUBURBAN**

APPLICANT: SUSAN ALIAS
470 CHANDLER POND DRIVE
LAWRENCEVILLE, GA 30043

CONTACT: COLIN EDWARDS PHONE: 404.242.7462

OWNER: SUSAN ALIAS
470 CHANDLER POND DRIVE
LAWRENCEVILLE, GA 30043

DEPARTMENT RECOMMENDATION: **DENIAL**

PROJECT DATA:

The applicant requests rezoning from O-I (Office-Institutional District) and R-100 (Single-Family Residence District) to C-2 (General Business District) to allow the development of commercial retail building. The subject property contains 2.58 acres located to the northeast of the Centerville Highway and Castle Gate Drive intersection with additional frontage along Anderson Livsey Lane. The site is currently undeveloped. There are no buildings currently on the property.

The applicant intends to construct a 10,500 square foot retail building. The site plan proposes a single access point along Castle Gate Drive, with no direct access to either Centerville Highway or Anderson Livsey Lane. The site plan includes the maximum number of parking spaces allowed for the proposed commercial use, a total of 52 spaces. The development is proposed to be serviced by a closed system septic tank. A stormwater detention area is shown southwest corner of the site along Centerville Highway.

The proposed C-2 zoning requires a minimum 75-foot- buffer to adjacent residential developments; the submitted site plan proposes reduction of the buffer areas from 75 feet to 50 feet adjacent to RA-200 zoning along the north property line.

ZONING HISTORY:

In 1970, both of the subject parcels were zoned as R-100 (Single-Family Residence District). The rezoning case, RZC-01-017, requested that the southern parcel, R6005 073, be rezoned from R-100 to C-1 (Neighborhood Business District); the rezoning was approved as O-I with a Special Use Permit for a Daycare Center (Buffer Reduction) in 2001.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

This site appears to be heavily wooded and may include specimen trees which are required by Unified Development Ordinance Section 630-70 to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of Development Plans for review.

Project access and required improvements along Castle Gate Drive will be subject to review and approval of Gwinnett County Department of Transportation.

Site plan must be revised to show 15-foot front building setback along Anderson Livsey Lane, Castle Gate Drive and Centerville Highway.

Location of the septic system, detention pond and access easement must be relocated outside of the 10-foot landscape strip required adjacent to all street right-of-way for non-residential developments.

Section 610-20.4B of the Unified Development Ordinance requires an additional 5-foot setback for all structures adjacent to the 75 foot required buffer.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Centerville Highway is a Principal Arterial and 60 feet of right-of-way is required from the centerline, with 75 feet required within 500 feet of a major intersection.

Centerville Highway is a State Route and Georgia D.O.T. right-of-way requirements govern.

Anderson Livsey Road and Castle Gate Drive are Local Streets and 30 feet of right-of-way is required from the centerline.

Entrances shall be provided to the site per current development regulations.

Standard deceleration lane with appropriate taper and adequate right-of-way will be required.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

Minimum separation from a driveway, public road, or side street shall be provided as specified in the Gwinnett County Unified Development Ordinance.

A 5-foot sidewalk is required along the property frontage of Anderson Livsey Road and Castle Gate Drive.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 6-inch water main located on the west right-of-way of Anderson Livsey Lane.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located approximately 900 feet south on Round Stone Trail. The nearest gravity sewer is approximately 1,600 feet south on Telida Trail. Easement would be required.

The subject development is located within the Norris Lake service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit civil site drawings to Building Plan Review for review and approval.
2. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for each building for review and approval by Building Plan Review.
3. Each building shall comply with the height and area limitations of Table 503 and the fire resistive and horizontal separation requirements of Table 601 and 602 of the 2012 International Building Code with Georgia state amendments based on occupancy group classification, type of construction, and location of each building from property lines and other buildings.
4. Architectural design of the proposed building shall incorporate the requirements of the Gwinnett County Unified Development Ordinance, Architectural Design Standards, Design Category 3.
5. Upon completion of plan review approvals, the applicant shall obtain a building permit for each building and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6000 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The 2.58 acre site is located to the northeast corner of the Centerville Highway and Castle Gate Drive intersection. The applicant requests rezoning from R-100 (Single-Family Residence District) and O-I (Office-Institutional District) to C-2 (General Business District) in order to develop a retail center. The site is currently undeveloped.

The 2030 Unified Plan Future Development Map indicates that the property lies within an Existing/Emerging Suburban Character Area. This Character Area encourages neighborhood-serving retail at key nodes while protecting the character of existing neighborhoods. The location of the subject property is not at an identified commercial node. The established commercial nodes along this segment of Centerville Highway are located to the north at Johnson Drive and to the south at Lee Road. Since the subject property is disconnected from these commercial areas, rezoning the two parcels to C-2 may not be consistent with the 2030 Unified Plan's stated policies to protect the character of existing neighborhoods in rezoning actions. Additionally, a previous rezoning case, RZC-01-017, requested that the southern parcel, R6005 073, be rezoned from R-100 to C-1 was not granted; the rezoning was approved as O-I in 2001.

The subject property is surrounded by residential zoning districts in every direction. A wooded, undeveloped RA-200 lot borders the north of the subject property. The properties to the west, across Centerville Highway, are mostly undeveloped RA-200 and R-100 lots. The Centerville Park Site is also west of the property. To the east across Anderson Livsey Lane are single-family residences zoned R-100 and RA-200. A garden center zoned RA-200 with an approved special use permit as a special events facility operates directly across from the subject property on Anderson Livsey Lane; this small scale use is of low intensity compared to potential C-2 uses. The parcel directly across from the subject property on Castle Gate Drive to the south had a rezoning case, RZC-08-053, which requested rezoning from RA-200 to C-2 and was denied. Given these factors, the Department could not support rezoning of the subject tracts to C-2. The subject property may be more suitable for residential use or office development as currently zoned.

The requested zoning of C-2 may not be consistent with the Gwinnett County 2030 Unified Plan Future Development Map recommendation for the Existing/Emerging Suburban Character Area, and may bring uses that are too intense for this area. In addition, both the subject property and the opposite corner parcel have both been denied commercial zoning in the past. Therefore, the Department recommends **DENIAL** of this request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

NOTE: The following conditions are provided as a guide should the Board of Commissioners choose to approve this request.

Approval of C-2 (General Business District), subject to the following enumerated conditions:

1. To restrict the use of the property as follows:

A. Retail and service-commercial, office and accessory uses. The following uses shall be prohibited:

- adult bookstores or entertainment
- automotive parts stores
- billboards or oversized signs
- contractors offices
- convenience stores and gasoline pumps
- dance clubs
- drive-thru restaurants or facilities
- emission inspection stations
- equipment rental
- fortune telling, palm or physic reading
- funeral homes
- hotels or motels, bed & breakfast inns
- kennels or pet boarding
- liquor stores
- massage parlors
- night clubs or lounges
- pawn shops
- smoke shops/novelty stores
- taxidermists
- tattoo parlors
- title loan facilities

B. Hours of business operation shall be limited to between 8:00 a.m. and 10:00 p.m.

C. Buildings shall be constructed of four sides brick or stone (stucco may only be used as an accent material). Non-stucco masonry finishes shall not be painted. The building shall be designed to have a storefront façade design facing all three public street frontages (to include windows and functioning or faux door

openings). Final building elevations shall be submitted to the Director of Planning and Development for review and approval.

D. Building height shall be limited to one story.

2. To satisfy the following site development considerations:

A. The development shall abide by all applicable standards of the Unified Development Ordinance, unless otherwise specified in these conditions or through approval of a variance by the Zoning Board of Appeals.

B. Provide a ten-foot wide landscaped strip adjacent to all abutting rights-of-way.

C. Provide a 50-foot wide natural buffer adjacent to the rear property line. The buffer shall be enhanced where sparsely vegetated with a double row of evergreens to create an effective visual screen.

D. Submit a Specimen Tree Concept Plan and Tree Survey prior to submittal and acceptance of a development permit application, subject to the review and approval of the Director of Planning and Development.

E. Ground signage shall be limited to a single monument-type sign, and shall be subject to review and approval by the Director of Planning and Development. The sign shall include a minimum two-foot high brick or stacked stone base, complementing the building's architectural treatment. The masonry base shall extend at least the full width of the sign cabinet, and the sign cabinet shall be fully recessed and surrounded by the same materials. Ground signage shall not exceed eight-feet in height.

F. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance, and shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.

G. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state or federal law. Flashing or blinking signs and exposed neon or LED signs shall be prohibited. Exposed or visible lighting strips mounted on the building or around window frames shall be prohibited.

H. Billboards or oversized signs shall be prohibited.

- I. Dumpsters shall be screened by a 100% opaque brick or stacked stone wall with an opaque metal gate enclosure. Hours of dumpster pick-up shall be limited to between 7:00 a.m. and 7:00 p.m.
- J. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent properties or rights-of-way.
- K. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.
- L. Peddlers and/or parking lot sales shall be prohibited.
- M. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The requested C-2 zoning for the retail development at this location may be incompatible with the established residential and institutional uses in this area of Centerville Highway.

ADVERSE IMPACTS

Adverse impacts on adjacent and nearby residential properties in the form of increased traffic, noise and light could be anticipated from this request.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

An increase in traffic, utility demand and stormwater runoff could be anticipated as a result of this request.

CONFORMITY WITH POLICIES

The proposed development may not be consistent with the policies of the 2030 Unified Plan which encourage commercial development at established, designated commercial nodes, and discourage mid-block commercial spot zoning.

CONDITIONS AFFECTING ZONING

The Board of Commissioners has denied commercial zoning requests at both corners of this intersection in the past, in 2001 and again in 2008, suggesting that the current request is also unsuitable.

REZONING APPLICANTS RESPONSE

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) Whether a proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property:

The property is surrounded on three sides by roads and to the North by heavily wooded raw land that sits up a 40 ft embankment. The main road is Centerville Hwy SW/State Route 124 which carries 29,800 vpd. The property is currently densely covered with woods and vegetation. The residential across Anderson Livesy Ln to the East will be unable to see the project due to densely wooded buffers along that road preserving privacy. The entrance will come off of Castlegate Dr. bordering the site to the South. Land across Castlegate Dr is raw land that has been cleared in the past but is undeveloped. The development of this site for retail should have no negative impact on adjacent owners. The future land use plan designation for the area is Existing/Emerging Suburban. It supports commercial and retail locations at intersections that are adequately buffered from surrounding single family residential. The proposed site and layout qualifies for all those requirements.

- (B) Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property:

Same answer as (A) above.

- (C) Whether the property to be affected by a proposed rezoning has reasonable economic use as currently zoned:

Property is currently split zoned O&I and R100. It was once intended for the house structure to serve the community as a daycare under the O&I zoning. The house structure was destroyed and demolished and the daycare never opened. The property is not suitable for residential or agriculture uses due to its frontage on Hwy 124 and the 29,800 vpd passing right in front of it.

- (D) Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

The proposed retail center will play off existing traffic patterns in the area as a convenient stop for residents already travelling this corridor or living in the immediate area. Hwy 124 currently has ample deceleration lanes and left turn lanes in place to handle proper turning movements. The site will be low impact on utilities as it is served by septic taking up no sewer capacity, and retail uses are generally marginal users of water. Rezoning will have no impact on schools.

- (E) Whether the proposed rezoning is in conformity with the policy and intent of the land use plan:

RECEIVED BY
OCT 03 2018
Planning & Development

R7C 18 020

The future land use plan designation for the area is Existing/Emerging Suburban. It supports commercial and retail locations at intersections that are adequately buffered from surrounding single family residential. The proposed site and layout qualifies for all those requirements.

Further the site will comply with the Centerville/Hwy 124 Overlay District with enhanced architecture, lighting, signage, streetscape, and sidewalks.

- (F) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning:

The 4-lane expansion/relocation of Hwy 124 occurred in 2001. GDOT published traffic counts from 2001 were 17,300 vpd. The latest GDOT published traffic counts from 2016 are 29,800 vpd up 4,100 vpd from 2015. This area of Hwy 124 along the Dekalb Co line continues to see increased traffic but has no retail to serve the surrounding neighborhoods. Residents currently have to travel a minimum of 2 miles in either direction (Dekalb County to the South, Wal-Mart to the North) for any kind of neighborhood retail uses.

RECEIVED BY

OCT 03 2018

Planning & Development

RAC-18-020

Zoning Letter of Intent

Proposed Development

2.58

Our request is to rezone +/- 2.63 acres of raw land located on the NW corner of Hwy 124 and Castle Gate Drive. The request is for two parcels owned by the same owner that are currently zoned R100 and O&I. We are proposing to rezone the entire tract to C2 for retail development.

The building will be roughly 10,500 sf and consist of four sides brick and would not exceed 20 ft in height at its highest point. Brick would be a khaki color with a dark accented knee wall or "skirt" around the base of the building front and sides to provide accent elements to the architectural design. The site would comply with the Centerville/Highway 124 Corridor Overlay district for both architecture and design.

The property is bordered on three sides by roads and was a bit of an orphaned tract once Hwy 124 was relocated to the west in 2000. Now the tract fronts on Hwy 124, Castle Gate Dr, and Anderson Livesy Ln. The development will face Hwy 124 to be visible to the 29,800 vpd travelling that route per 2016 GDOT traffic counts. Hwy 124 current has left hand turn lanes and deceleration lanes to Castle Gate Dr where the project will have its full curb cut. The project will play off existing traffic patterns for local residents going to work, school and church but will reduce some trips due to shopping nodes in Centerville 2 miles north and Dekalb County 1.5 miles south.

The site is currently covered with thick vegetation and trees. Buffers to the rear and side will shield current houses on Anderson Livesy Ln from seeing the project and development will not adversely impact what they view today. Shoebox downcast lighting will be featured to prevent light pollution to neighbors across Anderson Livesy Ln.

Future Land Use

The site is designated in the Future Land Use Map (FLUM) as character area of Existing/Emerging Suburban Sector. This area of Gwinnet County has seen traffic increase from 16,700 vpd upon the highways relocation in year 2000, to the 29,800 vpd per 2016 counts. These traffic increases are a result of two cycles of residential growth in the county and as Hwy 124 continues to be an artery connecting Dekalb County/I-20 and Snellville. Commercial and retail are designated at acceptable intersections adequately buffered from surrounding single family residential. The proposed use and corner in question meet the criteria set forth in the FLUM and will fill a void in retail on this southern tip of Gwinnett County.

Proposed Restrictions from C2 zoning's Permitted Uses

The applicant is willing to restrict the following permitting uses from being allowed on the property under the C2 zoning:

- Kennel or Pet Boarding
- Bed and Breakfast Inn
- Billboard or Oversized Sign
- Convenience Store (with or without fuel pumps)
- Emissions Inspection Station
- Funeral Home
- Hotel or Motel
- Lounge or Night Club
- Palm/Psychic Reading and Fortune Telling
- Pawn Shop
- Precious Metals Dealer
- Shooting Range

RECEIVED BY

OCT 03 2018

Planning & Development

RZC 18 020

- Smoke Shop or Novelty Shop
- Title Loan Facility

RECEIVED BY

OCT 03 2018

Planning & Development

RZC '18 020

The Shoppes of Snellville Proposed Elevation



RECEIVED BY

OCT 03 2018

Planning & Development

RZC '18 020

CASE NUMBER RZC-01-017

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

<u>Present</u>	<u>VOTE</u>
Wayne Hill, Chairman	<u>AYE</u>
Marcia Neaton-Griggs, District 1	<u>AYE</u>
Patti Muise, District 2	<u>AYE</u>
John Dunn, District 3	<u>AYE</u>
Kevin Kenerly, District 4	<u>AYE</u>

On motion of COMM. DUNN, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from

R-100 to C-1

by PATRICIA OGLESBY for the proposed use of

DAYCARE CENTER (REDUCTION IN BUFFERS) on a

tract of land described by the attached legal description, which

is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on JULY 24, 2001 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners this the 24TH day of JULY, 2001, that the aforesaid application to amend the Official Zoning Map from R-100 to C-1 (APPROVED AS O-I WITH A SUP) is hereby APPROVED AS O-I WITH A SPECIAL USE PERMIT subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. A congregate child daycare center within the existing structure, with no exterior modifications to the structure other than normal maintenance. The addition as shown on the plan submitted February 2, 2001 shall be allowed, however, it shall be constructed of the same color brick as the house and be designed to have a residential appearance and blend in with the house. Architectural elevations for any building addition should be submitted for review by the Director of Planning and Development.
2. To satisfy the following site development considerations:
 - A. Maintain a 50-foot buffer adjacent to any residential zoning, except for existing encroachments.

- B. Provide a ten-foot wide landscaped strip outside the dedicated rights-of-way of Centerville Highway, Castlegate Drive and Anderson-Livsey Lane.
- C. No exit/entrances shall be allowed onto Centerville Highway or Anderson-Livsey Lane.
- D. Dumpsters or trash receptacles shall be screened by a brick wall. Hours of dumpster pick-up shall be limited to between the hours of 7:00 am and 7:00 pm.
- E. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to reflect into adjacent residential properties.
- F. Bring the existing structure into compliance with all applicable codes prior to the issuance of a Certificate of Occupancy.
- G. Limited to a single monument ground sign for the overall development, 6 foot high with a maximum area of 60 square feet.

WINNETT COUNTY BOARD OF COMMISSIONERS

By:

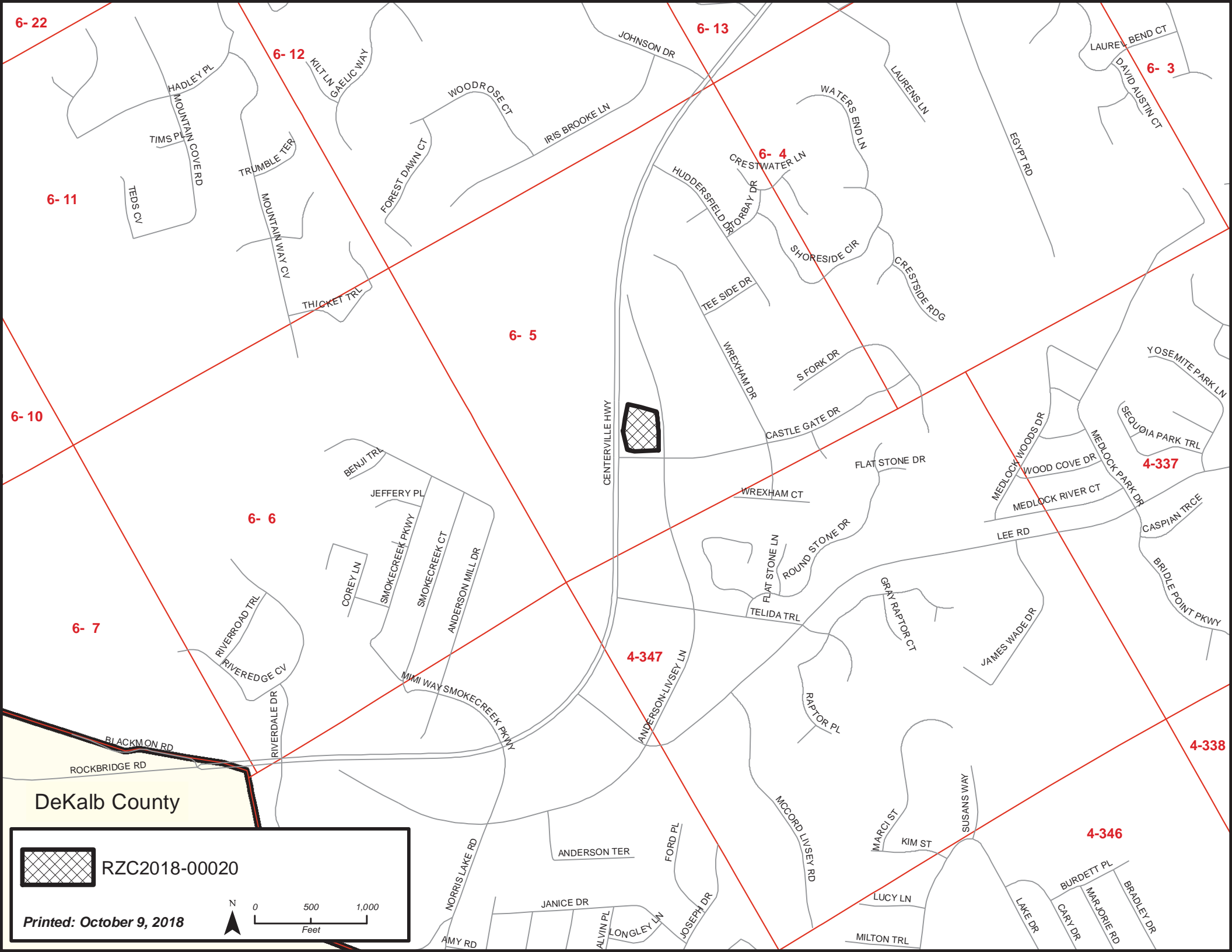
F. Wayne Hill, Chairman

Date Signed:

aug 8, 2001

ATTEST:

Brenda Maddox
County Clerk



6-22

6-13

6-3

6-11

6-12

6-4

6-5

6-10

6-6

4-337

6-7

4-347

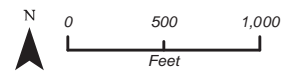
4-338

4-346

DeKalb County

 RZC2018-00020

Printed: October 9, 2018



PRELIMINARY SITE PLAN

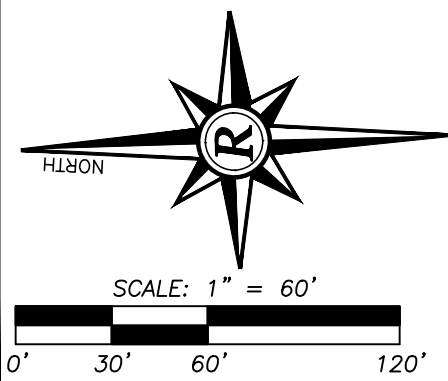
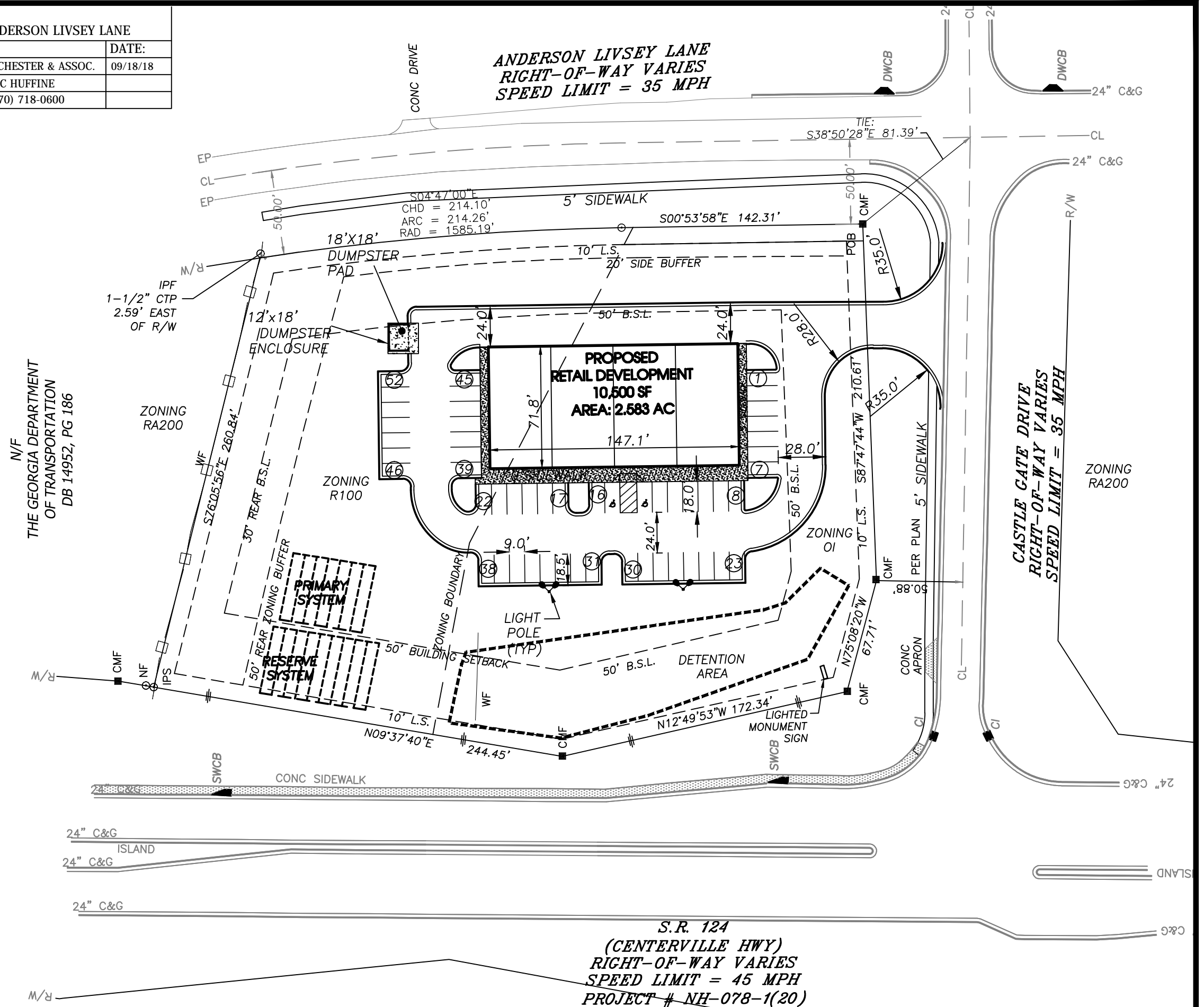
COUNTY, STATE - STREET:
 GWINNETT COUNTY, GA - ANDERSON LIVSEY LANE

APPLICANT		DESIGNER		DATE:
BLDG/SALES SF: 10,500	NAME: SUSAN ALIAS	COMPANY: ROCHESTER & ASSOC.	09/18/18	
ACREAGE: 2.583	PHONE #: (678) 557-0162	NAME: ERIC HUFFINE		
PARKING SPACES: 52		PHONE #: (770) 718-0600		

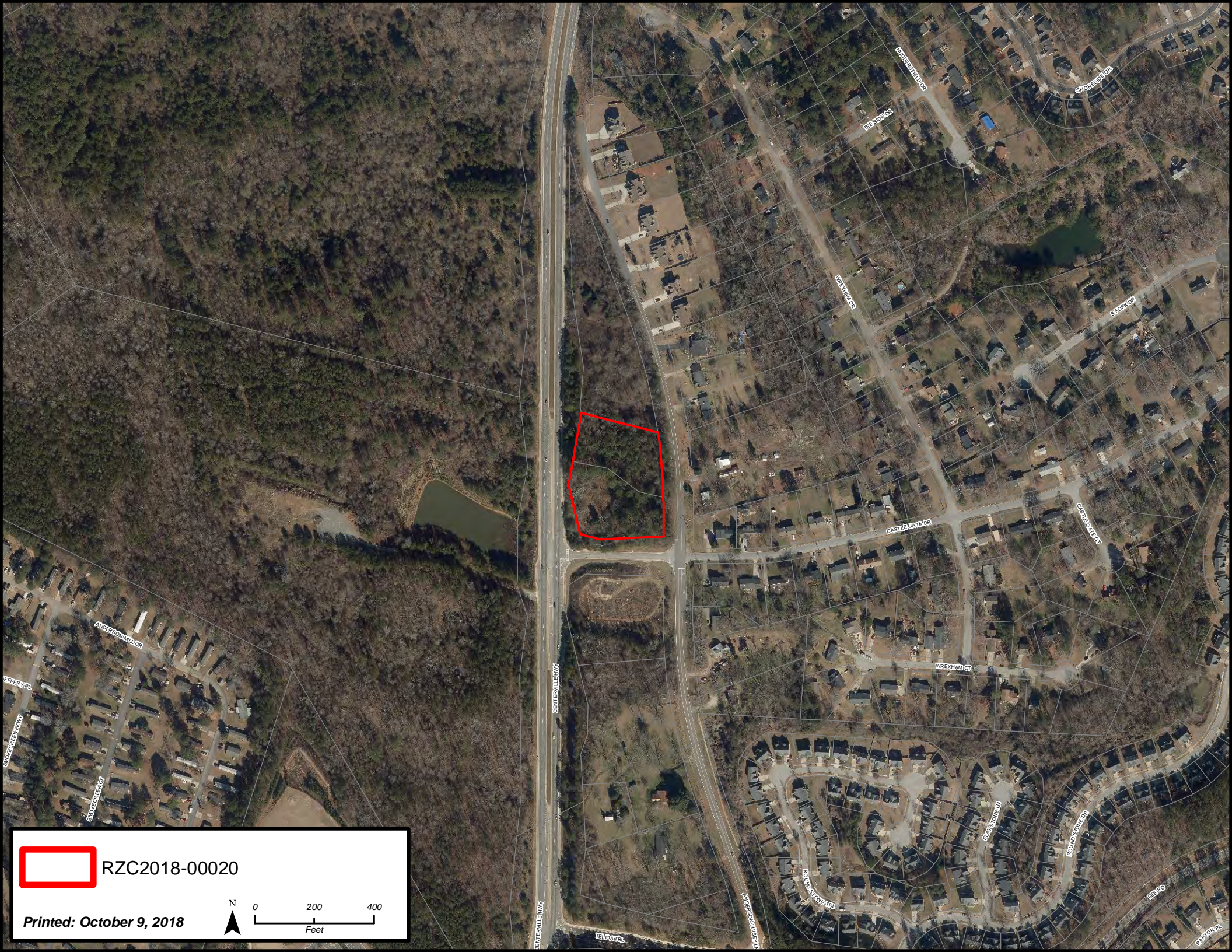
NOTES:

ZONING: EXISTING O1 & R100
 REQUIRED C2

1. PARKING SPACES REQUIRED: 21
 PARKING SPACES PROVIDED: 52
2. SITE CONFIGURATION REQUIRES THE DELIVERY DOOR TO BE MOVED TO THE REAR OF THE BUILDING.
3. THERE ARE NO FLOOD PLAINS OR EASEMENTS ON THE PROPERTY

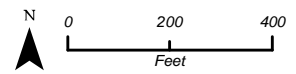


**S.R. 124
 (CENTERVILLE HWY)
 RIGHT-OF-WAY VARIES
 SPEED LIMIT = 45 MPH
 PROJECT # NH-078-1(20)**



RZC2018-00020

Printed: October 9, 2018



GENERVILLE HWY

GENERVILLE HWY

TELEGRAPH

ANDERSON LANE

WREXHAM DR

CASTLE GATE DR

WREXHAM CT

WREXHAM DR

TELEGRAPH

CASTLE GATE DR

ROUNDSTONE DR

ROUNDSTONE DR

LEE RD

WASTON PL

6 FORK DR

SHORE DR

SHORE DR

SHORE DR

ANDERSON DR

EFFERY PL

SHORE DR

SHORE DR



CENTERVILLE HWY

CENTERVILLE HWY

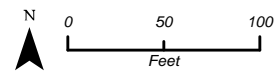
ANDERSON LIVSEY LN

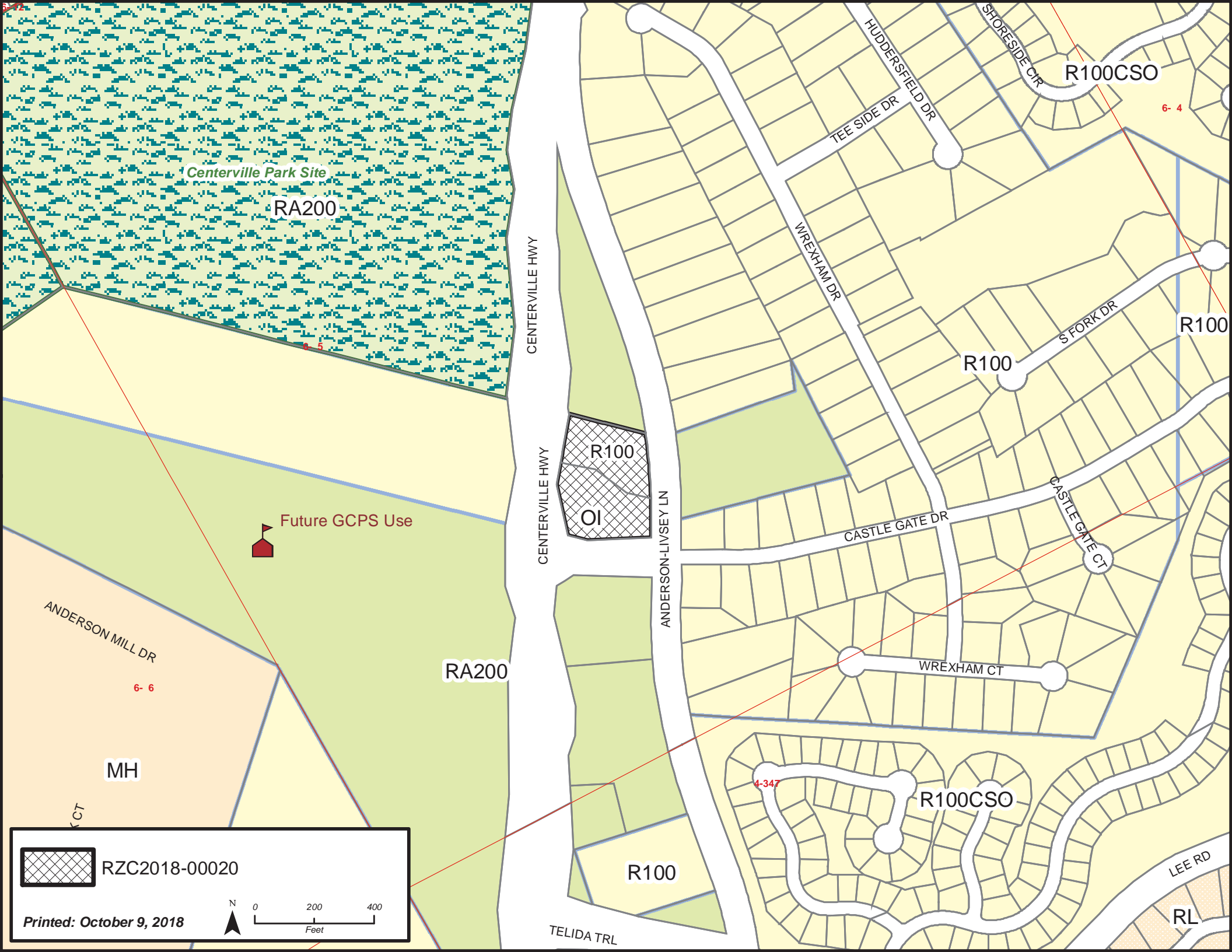
CASTLE GATE DR



RZC2018-00020

Printed: October 9, 2018





Centerville Park Site

RA200

Future GCPS Use

RA200

R100

OI

R100CSO

6-4

R100

R100

Castle Gate Dr

Castle Gate Ct

Wrexham Ct

4-347

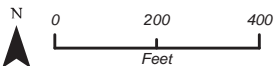
R100CSO

R100

RL

RZC2018-00020

Printed: October 9, 2018



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :**RZR2018-00038**
ZONING CHANGE :RA-200 TO R-100
LOCATION :3800 BLOCK OF BAILEY ROAD
:100 BLOCK OF WEST UNION GROVE CIRCLE
MAP NUMBERS :R2003 985 & 986
ACREAGE :3.53 ACRES
UNITS :5 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY RESIDENCES
COMMISSION DISTRICT :(3) HUNTER

CASE NUMBER :**RZR2018-00039**
ZONING CHANGE :RA-200 TO R-100
LOCATION :3700 BLOCK OF BAILEY ROAD
:100 BLOCK OF WEST UNION GROVE CIRCLE
MAP NUMBER :R2003 094
ACREAGE :4.66 ACRES
UNITS :6 UNITS
PROPOSED DEVELOPMENT :SINGLE-FAMILY RESIDENCES
COMMISSION DISTRICT :(3) HUNTER

FUTURE DEVELOPMENT MAP: RURAL / ESTATE AREAS

APPLICANT: HARBORSTONE PROPERTIES, LLC
C/O ALLIANCE ENGINEERING AND PLANNING
4480 COMMERCE DRIVE, SUITE A
BUFORD, GA 30518

CONTACT: MITCH PEEVY PHONE: 770.614.6511

OWNER: HARBORSTONE PROPERTIES, LLC
C/O ALLIANCE ENGINEERING AND PLANNING
4480 COMMERCE DRIVE, SUITE A
BUFORD, GA 30518

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant is requesting to rezone two tracts of land from RA-200 (Agriculture Residence District) to R-100 (Single-Family Residence District) for the development of 11 single-family homes. The combined properties total 8.19 acres and are located on

two corners of the Bailey Road and West Union Grove Circle intersection. Case RZR2018-0038 is 3.53 acres of sparsely wooded land and begins at the intersection of Bailey Road and West Union Grove Circle and extends along the west side of Bailey Road and the northeast side of West Union Grove Circle. Case RZR2018-00039 is 4.66 acres of wooded land and lies on the east side of Bailey Road and the southwest side West Union Grove Circle and extends southward. Presently, neither tract contains any homes or structures.

The site plan indicates that the properties would be developed with 5 single-family homes (RZR2018-00038) and 6 single-family homes (RZR2018-00039), respectively. These lots would range in size from approximately 0.5 to 0.9-acre per lot. Each lot would conform to R-100 lot area standards for septic tanks, lot width and setbacks, with the exception of one lot (Lot 5/RZR2018-00039) which is proposed with a width of 94.58 feet. The resulting gross and net density over both tracts would be 1.34 units per acre; reviewing each tract individually, RZR2018-00038 shows a density of 1.42 units per acre and RZR2018-00039 shows a density of 1.29 units per acre.

The proposed minimum house size is 2,600 square feet. No house elevations have been submitted; however, the applicant's letter of intent calls out the architectural materials to be used on the dwelling units to be brick, stone or masonry siding, or combinations thereof.

ZONING HISTORY:

The property has been zoned RA-200 since 1970.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

Portions of this site appear to be heavily wooded and may include specimen trees which are required by the UDO to be preserved. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of Development Plans for review.

Access and required improvements along Bailey Road and West Union Grove Circle will be subject to review and approval of Gwinnett County Department of Transportation.

After the right-of-way dedications on Bailey Road and West Union Grove Circle, the required 25,500 square feet of lot area appears to not be met. The applicant must either revise the site plan, or seek a Variance from the Zoning Board of Appeals.

The required lot width of 100 feet at the building line appears to not be met on the corner Lot 1 and Lot 4 on Bailey Road (RZR2018-00038). The applicant must either review the site plan, or seek a Variance from the Zoning Board of Appeals for lot width reduction.

An Exemption Plat must be submitted for review and approval and recorded prior to issuance of any building permits.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Bailey Road is a Major Collector and 40 feet of right-of-way is required from the centerline.

West Union Grove Circle is a Local Residential Street and 25 feet of right-of-way is required from the centerline.

Entrances shall be provided to the site per current development regulations.

The project entrance shall align with opposing roads or driveways in accordance with the Gwinnett County Unified Development Ordinance.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

Currently there is no water or sewer in the vicinity. However, there are plans to install a 12-inch DIP water main along Bailey Road (M0735-85)

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Nearest sanitary sewer main is located approximately 4,000 feet southwest in the right-of-way of Bailey Road. Pump station will be required.

The subject development is located within the Alcovy service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final

acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The applicant is requesting to rezone a total of 8.19 acres over two tracts, located on the north and south corners of the of Bailey Road and West Union Grove Circle intersection. Northern tract is sparsely wooded and lined with mature magnolia trees that appear to be located within the right-of-way of both roads; this tract may also contain other specimen trees. The southern tract is entirely wooded and may contain specimen trees.

The 2030 Unified Plan, Future Development Map shows these properties are located in the Rural Estate Character Area. This Character Area encourages low-density residential development, at not more than 2.0 units per acre, as well as agriculture, open space, parks, recreation and conservation land uses. The rezoning of these properties to R-100 with an overall density between the two tracts of 1.34 units per acre is appropriate in terms of use and density, is consistent with the 2030 Unified Plan's policies, and is considered compatible with the free-standing home sites in the area.

The surrounding area includes numerous homes on acreage parcels, undeveloped wooded tracts, and agricultural uses in RA-200 zoning, and a few scattered R-100 subdivisions. Immediately to the east is the Premier Growers commercial greenhouse operation on the east side of the West Union Grove Circle and Bailey Road. The proposed rezoning to R-100, density and septic tank lot sizes are considered compatible with the zoning and development pattern of the surrounding area. Therefore with appropriate conditions, the requested R-100 may be suitable at this location.

In view of the elements brought forth, the Department considers the R-100 zoning request along with appropriate conditions to be compatible with the zoning and development patterns of the area and consistent with the recommendations of the Unified Plan with regards to density and housing style; therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval as R-100 for development of Single-Family Residences, subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Single-family detached dwellings and accessory uses, not to exceed 5 lots (for RZR2018-00038) and 6 lots (for RZR2018-00039).
 - B. The minimum heated floor area per dwelling unit shall be 2,600 square feet.
 - C. Homes shall be constructed primarily of brick or stacked stone on front facades, with accents of fiber-cement siding or shake. The balance of the home may be the same or of fiber-cement siding or shake with a minimum 2-foot brick or stacked stone water table.
 - D. All dwellings shall have at least a double-car garage.
2. To satisfy the following site development considerations:
 - A. The development shall abide by all applicable standards of the Unified Development Ordinance, unless otherwise specified in these conditions or through approval of an administrative variance or by the Zoning Board of Appeals, as appropriate.
 - B. All grassed areas shall be sodded.
 - C. All utilities shall be placed underground.
 - D. Natural vegetation shall remain on the property until the issuance of a building permit for each lot.
 - E. A specimen tree concept plan and tree survey shall be required prior to the submittal of a development permit application.
 - F. (For RZR2018-00039) Dedicate a 20-foot right-of-way miter at the intersection of West Union Grove Circle and Bailey Road.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

The proposed construction of two small single-family subdivisions within the R-100 zoning classification may be considered suitable at this location.

ADVERSE IMPACTS

With the recommended conditions, including home sizes and construction materials, potential impacts on neighboring properties could be minimized.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

A small increase in utilities usage, traffic, stormwater runoff, and school system impacts could be anticipated from this request.

CONFORMITY WITH POLICIES

The 2030 Unified Plan Future Development Map indicates the property is located in the Rural Estate Character Area. The requested R-100 zoning and density of this development may be considered compatible with this Character Area. Approval as R-100, limited to a net density of less than 2.0 units per acre, could be considered consistent with the Unified Plan's recommendations.

CONDITIONS AFFECTING ZONING

The proposed homes on septic tank lots of between 0.5 and 0.9 acres are considered suitable given the scattered homes on acreage which characterize the area.

STANDARDS GOVERNING EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY, OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

THE APPLICANT BELIEVES THE PROPOSED USE IS SUITABLE.

(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

THE PROPOSED USE WILL NOT ADVERSELY AFFECT THE USE OF THE SURROUNDING PROPERTIES.

(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS A REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

THE APPLICANT BELIEVES THAT THE SUBJECT PROPERTY DOES NOT HAVE A REASONABLE ECONOMIC USE AS CURRENTLY ZONED.

(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREET, TRANSPORTATION FACILITIES, UTILITIES OR SCHOOLS:

THE PROPOSED USE WILL NOT PRODUCE AN ADVERSE AFFECT ON THE EXISTING INFRASTRUCTURE.

(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

THE SUBJECT PROPERTY IS DESIGNATED AS RUAL ESTATE AREA

(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

SEE LETTER OF INTENT.

RECEIVED BY

OCT 31 2018

Planning & Development

RZR '18 038

Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States, and Article 1, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

.....
PLANNING DIVISION USE ONLY

CASE NUMBER _____

RECEIVED BY: _____

RECEIVED BY

OCT 3 2018

Planning & Development

RZR '18 038

STANDARDS GOVERNING EXERCISE OF THE ZONING POWER

PURSUANT TO SECTION 1702 OF THE 1985 ZONING RESOLUTION, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY, OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

(A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

THE APPLICANT BELIEVES THE PROPOSED USE IS SUITABLE.

(B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

THE PROPOSED USE WILL NOT ADVERSELY AFFECT THE USE OF THE SURROUNDING PROPERTIES.

(C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS A REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

THE APPLICANT BELIEVES THAT THE SUBJECT PROPERTY DOES NOT HAVE A REASONABLE ECONOMIC USE AS CURRENTLY ZONED.

(D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREET, TRANSPORTATION FACILITIES, UTILITIES OR SCHOOLS:

THE PROPOSED USE WILL NOT PRODUCE AN ADVERSE AFFECT ON THE EXISTING INFRASTRUCTURE.

(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

THE SUBJECT PROPERTY IS DESIGNATED AS RUAL ESTATE AREA

(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

SEE LETTER OF INTENT.

RECEIVED BY

OCT 3 2018

Planning & Development

RZR 18 039

Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States, and Article 1, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

.....
PLANNING DIVISION USE ONLY

CASE NUMBER _____

RECEIVED BY: _____

RECEIVED BY

OCT 3 2018

Planning & Development

RZR 18 039

REZONING APPLICANT'S LETTER OF INTENT

The Applicant, Harborstone Properties, LLC, requests a rezoning from RA-200 to R-100 for 2 separate properties at the intersection of Bailey Road and West Union Grove Road in district 2, land lot 003 in Gwinnett County. The first property is 4.661 acres and is proposed to have 6 homes. The second property is 3.52 acres and is proposed to have 5 homes. Sanitary sewer is not available in the area and so all of the homes will be on septic tanks making all of the lots larger than 25,500 square feet.

The homes are proposed to be a minimum of 2,600 square feet with all having at a minimum a 2 car garage with an option to add a third car garage. The price point for the homes will start in the \$300's and go up from there. The front façade of the homes will be a mixture of brick, stone or of a masonry siding and the sides and rear will be the same or of masonry siding. Lot number 5 in the first property is proposed to be 94.58 feet in width due to the triangle shape of the overall property. The lot itself is proposed to be 25,963 square feet but will need a variance due to the 100 foot requirement at the building line in R-100.

RECEIVED BY

OCT 3 2018

Planning & Development

RZR 18 038



RECEIVED BY

OCT 13 2018

Planning & Development

RZR '18 038



RECEIVED BY

OCT 3 2018

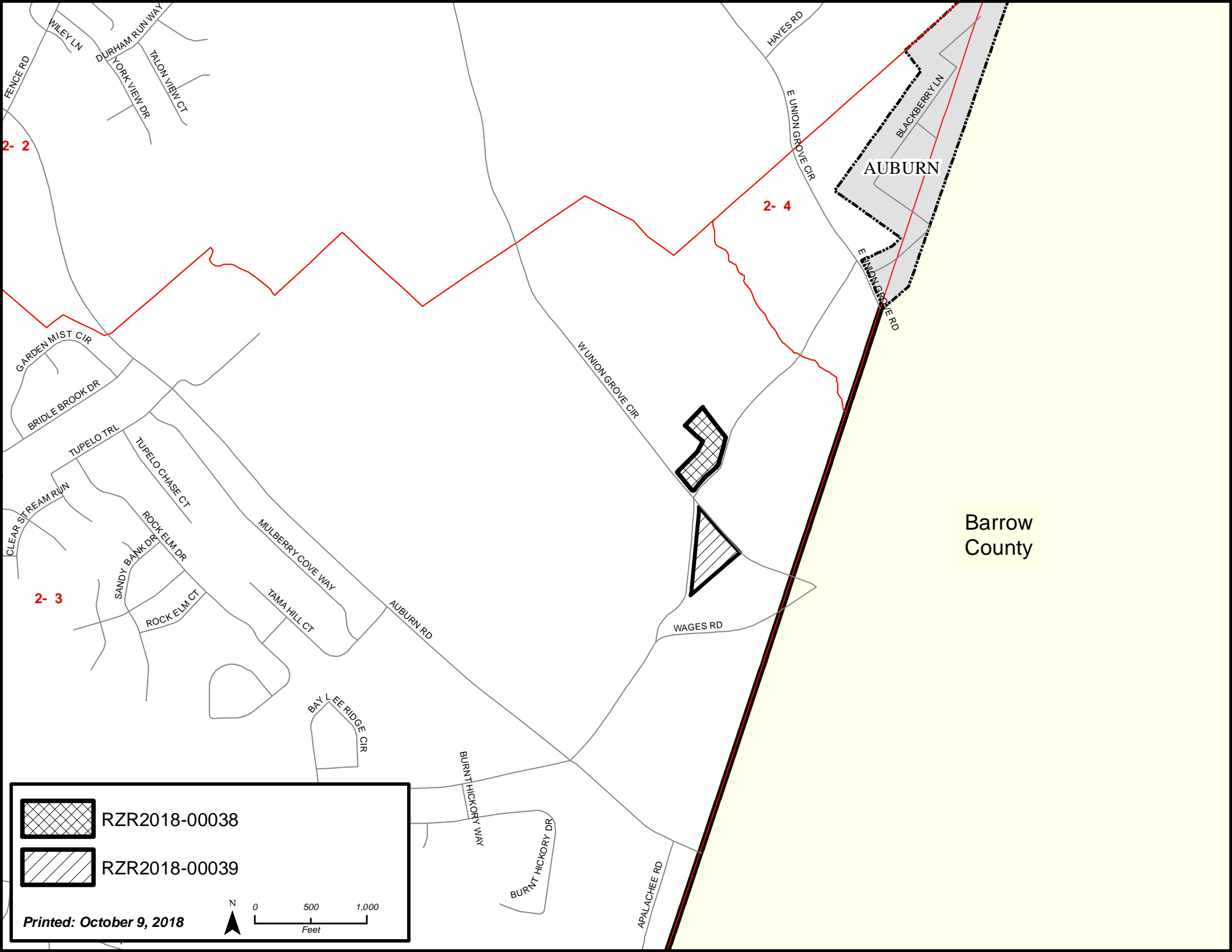
Planning & Development

RZR '18 039

Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County, December 2018

Case #	Schools	Current Projections									Proposed Zoning
		2019-20			2020-21			2021-22			Approximate additional Student Projections from Proposed Developments
		Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	
RZR2018-00038	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	2
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	1
	Mulberry ES	780	975	-195	819	975	-156	860	975	-115	2
RZR2018-00039	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	2
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	1
	Mulberry ES	780	975	-195	819	975	-156	860	975	-115	3
RZR2018-00040	Grayson HS	3,044	2,125	919	3,128	2,125	1,003	3,222	2,125	1,097	6
	Bay Creek MS	1,130	1,150	-20	1,164	1,150	14	1,199	1,150	49	5
	Grayson ES	919	950	-31	947	950	-3	975	950	25	9

Current projections do not include new developments



2-2

2-4

2-3

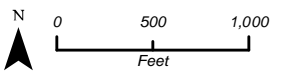
AUBURN

Barrow
County

 RZR2018-00038

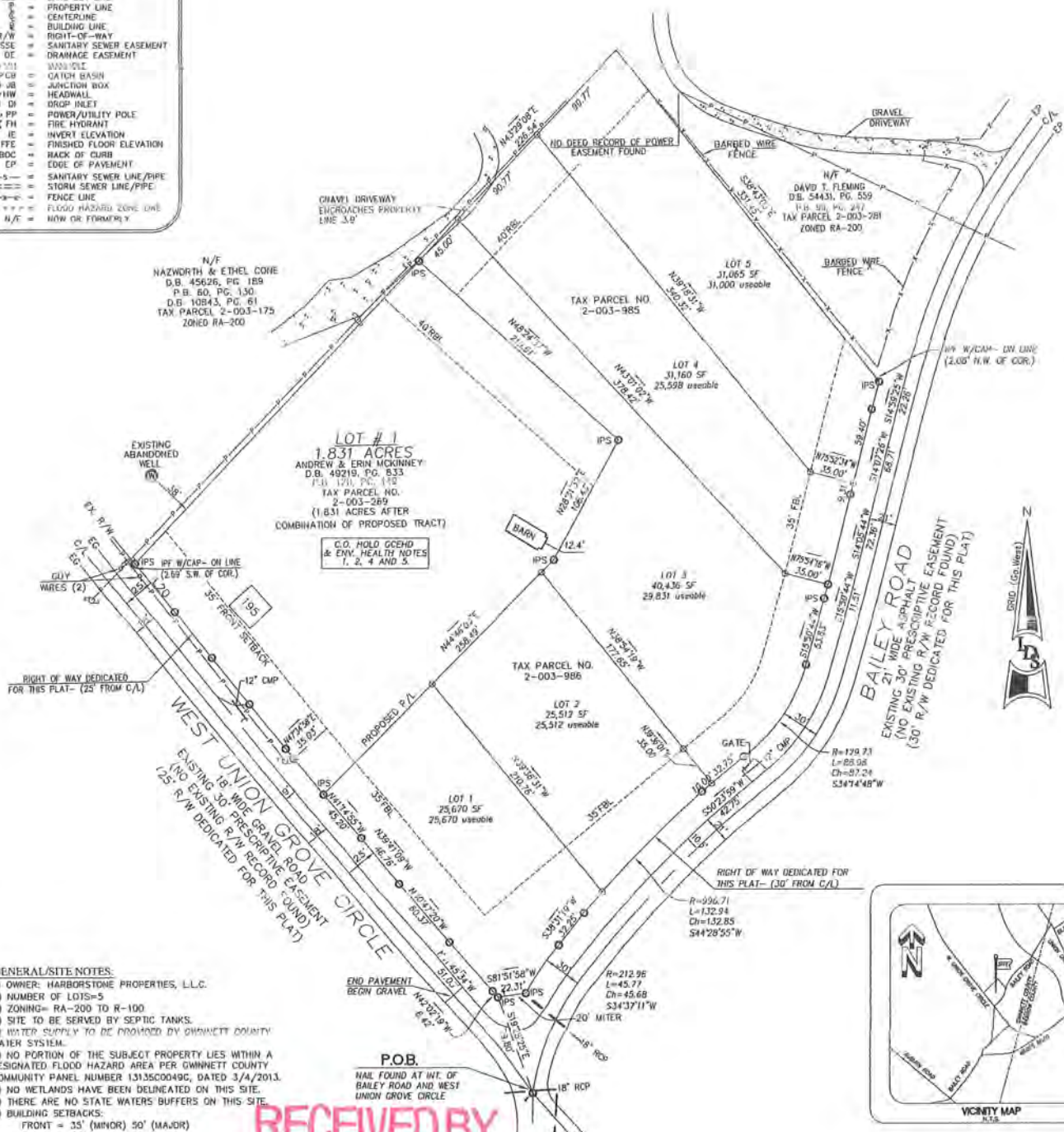
 RZR2018-00039

Printed: October 9, 2018



LEGEND

- IPF = IRON PIN FOUND
- IPS = 1/2" REBAR PIN SET
- LL = LAND LOT
- LLL = LAND LOT LINE
- PL = PROPERTY LINE
- C = CENTERLINE
- B = BUILDING LINE
- R/W = RIGHT-OF-WAY
- SSE = SANITARY SEWER EASEMENT
- DE = DRAINAGE EASEMENT
- W/O = WOODPILE
- CB = CATCH BASIN
- JB = JUNCTION BOX
- HW = HEADWALL
- DI = DRAIN INLET
- PU = POWER/UTILITY POLE
- PH = FIRE HYDRANT
- IE = INVERT ELEVATION
- FTE = FINISHED FLOOR ELEVATION
- BDC = BACK OF CURB
- EP = EDGE OF PAVEMENT
- S = SANITARY SEWER LINE/PIPE
- ST = STORM SEWER LINE/PIPE
- F = FENCE LINE
- H/Z = FLOOD HAZARD ZONE LINE
- N/F = NOW OR FORMERLY



- GENERAL/SITE NOTES:**
- 1) OWNER: HARBORSTONE PROPERTIES, L.L.C.
 - 2) NUMBER OF LOTS=5
 - 3) ZONING= RA-200 to R-100
 - 4) SITE TO BE SERVED BY SEPTIC TANKS.
 - 5) WATER SUPPLY TO BE PROVIDED BY GWINNETT COUNTY WATER SYSTEM.
 - 6) NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A DESIGNATED FLOOD HAZARD AREA PER GWINNETT COUNTY COMMUNITY PANEL NUMBER 13135C0049G, DATED 3/4/2013.
 - 7) NO WETLANDS HAVE BEEN DELINEATED ON THIS SITE.
 - 8) THERE ARE NO STATE WATERS BUFFERS ON THIS SITE.
 - 9) BUILDING SETBACKS:
 - FRONT = 35' (MINOR) 50' (MAJOR)
 - SIDE = 20'
 - REAR = 40'

RECEIVED BY

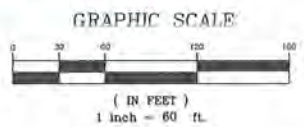
OCT '3 2018

RZR '18 038

Planning & Development

FLOOD HAZARD NOTE
 BY GRAPHICAL PLOTTING ONLY, NO PORTION OF THE SURVEYED AREA LIES WITHIN A 100 YEAR FLOOD HAZARD AREA PER FIRM PANEL 13135C0049G, MAR 4, 2013.

THIS OPINION IS NOT A CERTIFICATION OF FLOOD HAZARD STATUS, BUT IS AN INTERPRETATION OF THE REFERENCED MAP AND PUBLIC DATA. IF THE EXACT LOCATION OF ELEVATIONS OF FLOOD HAZARD BOUNDARIES ARE UNCERTAIN, A MEAN DULLELL STUDY MAY BE NEEDED. THIS FIRM ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF THE ABOVE REFERENCED MAP OR PUBLIC DATA.



REZONING EXHIBIT FOR:

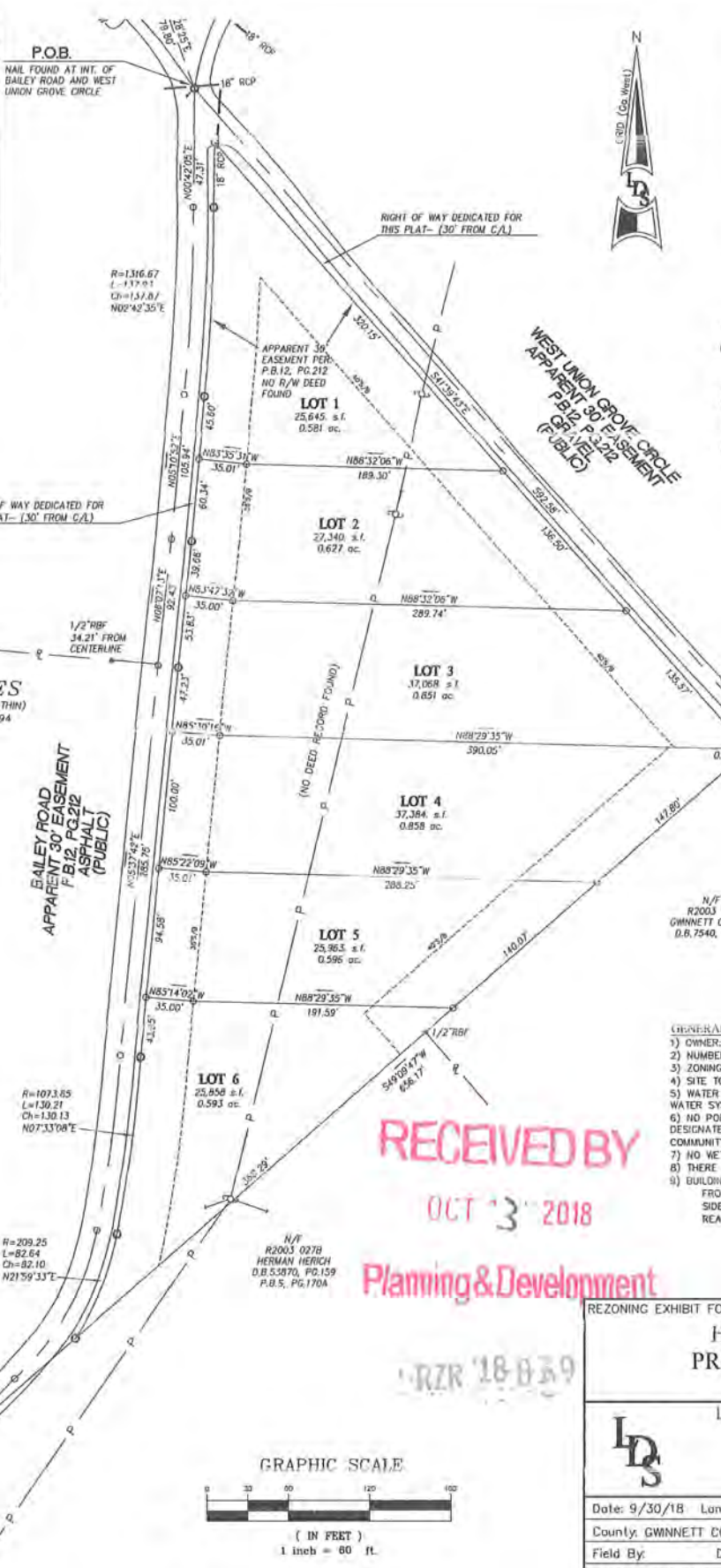
HARBORSTONE PROPERTIES, L.L.C.

LAND DEVELOPMENT SURVEYORS, INC.
 P.O. BOX 2050
 DACULA, GA. 30019
 (770) 882-8776
 LGSURVEY@BELL-SOUTH.NET
 COA LSF #000832

Date: 9/30/18 Land Lot: ROCKY CREEK G.M.D. 1587 District: 2nd
 County: GWINNETT COUNTY, GA. Scale: 1"=60'
 Field By: Drawn By: JBL/JJJ Checked By: LJJ
 Job Number: 18142 File Number: Rezoning Exhibit.dwg

Sheet No.
1 of 1

LEGEND	
IPF	IRON PIN FOUND
IPS	1/2" REBAR PIN SET
LL	LAND LOT LINE
LLL	LAND LOT LINE
PL	PROPERTY LINE
CL	CENTERLINE
BL	BUILDING LINE
R/W	RIGHT-OF-WAY
SSC	SANITARY SEWER EASEMENT
OC	DRAINAGE EASEMENT
W	WALL
CB	CATCH BASIN
JB	JUNCTION BOX
HW	HEADWALL
DI	DROP INLET
PP	POWER/UTILITY POLE
FH	FIRE HYDRANT
IE	INVERT ELEVATION
FTE	FINISHED FLOOR ELEVATION
BCC	BACK OF CURB
EP	EDGE OF PAVEMENT
---	SANITARY SEWER LINE/PIPE
---	STORM SEWER LINE/PIPE
---	FENCE LINE
---	11.000 HAZARDOUS WASTE LINE
N/F	NOW OR FORMERLY



FLOOD HAZARD NOTE
 BY GRAPHICAL PLOTTING ONLY, NO PORTION OF THE SURVEYED AREA LIES WITHIN A 100 YEAR FLOOD HAZARD AREA PER FIRM PANEL 13135C0049G, MARCH 4, 2013.

THIS OPINION IS NOT A CERTIFICATION OF FLOOD HAZARD STATUS, BUT IS AN INTERPRETATION OF THE REFERENCED MAP AND PUBLIC DATA. IF THE EXACT LOCATION OF ELEVATION(S) OF FLOOD HAZARD BOUNDARIES ARE NECESSARY, A MORE DETAILED STUDY MAY BE NEEDED. THIS FIRM ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF THE ABOVE REFERENCED MAP OR PUBLIC DATA.

4.661 ACRES
 (INCLUDES EASEMENTS WITHIN)
 PARCEL ID # 2003-094

RECEIVED BY
OCT 3 2018
Planning & Development

- GENERAL NOTES:**
- 1) OWNER: HARBORSTONE PROPERTIES, L.L.C.
 - 2) NUMBER OF LOTS=6
 - 3) ZONING= RA-200 TO R-100
 - 4) SITE TO BE SERVED BY SEPTIC TANKS.
 - 5) WATER SUPPLY TO BE PROVIDED BY GWINNETT COUNTY WATER SYSTEM.
 - 6) NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A DESIGNATED FLOOD HAZARD AREA PER GWINNETT COUNTY COMMUNITY PANEL NUMBER 13135C0049G, DATED 3/4/2013.
 - 7) NO WETLANDS HAVE BEEN DELINEATED ON THIS SITE.
 - 8) THERE ARE NO STATE WATERS BUFFERS ON THIS SITE.
 - 9) BUILDING SETBACKS:
 FRONT = 35' (MINOR) 50' (MAJOR)
 SIDE = 20'
 REAR = 40'

REZONING EXHIBIT FOR:

HARBORSTONE PROPERTIES, L.L.C.

LAND DEVELOPMENT SURVEYORS, INC.
 P.O. BOX 2050
 DACULA, GA. 30019
 (770) 582-8705
 LOSURVEY@BELL.SOUTH.NET
 COA L5F#000832

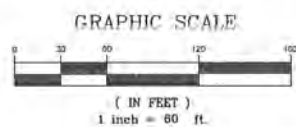
Date: 9/30/18 Land Lot: G.M.D. 550/003 District: 2nd

County: GWINNETT COUNTY, GA. Scale: 1"=60'

Field By: Drawn By: J.B./L.J. Checked By: L.J.J.

Job Number: 18142 File Number: Rezoning Exhibit.dwg

Sheet No. 1 of 1



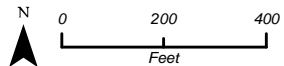


RZR2018-00038



RZR2018-00039

N



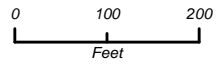
Printed: October 9, 2018



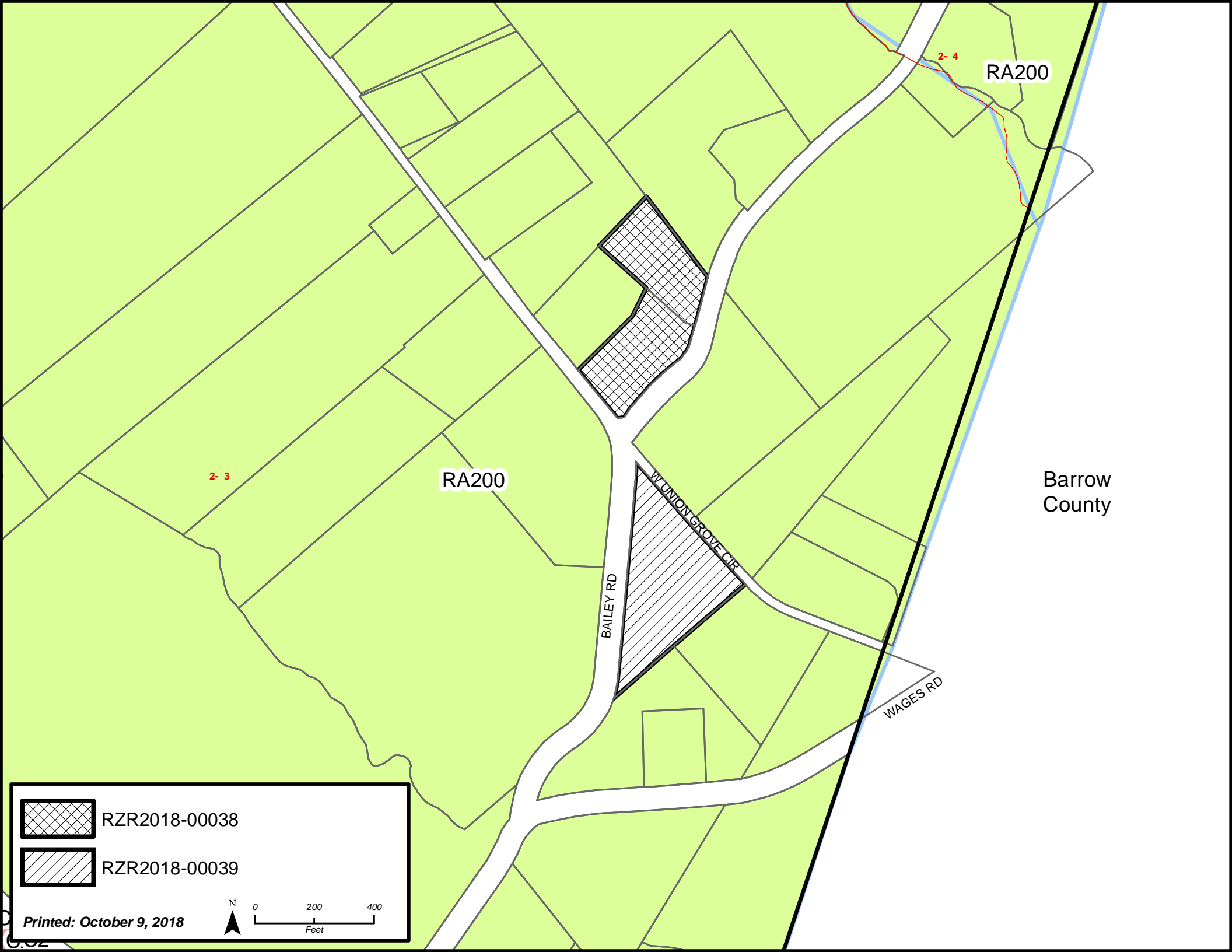
RZR2018-00038



RZR2018-00039



Printed: October 9, 2018



RA200

2-3

RA200

BAILEY RD

W UNION GROVE CIR

WAGES RD

Barrow
County



RZR2018-00038



RZR2018-00039

Printed: October 9, 2018



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS**

CASE NUMBER :RZR2018-00040
ZONING CHANGE :R-100 TO R-SR
LOCATION :1800-1900 BLOCKS OF BENNETT ROAD
MAP NUMBERS :R5121 003, 017, 027, 028, 035, 039 & 043
ACREAGE :22.06 ACRES
UNITS :77 UNITS
PROPOSED DEVELOPMENT :SENIOR ORIENTED RESIDENCES
COMMISSION DISTRICT :(3) HUNTER

FUTURE DEVELOPMENT MAP: **EXISTING / EMERGING SUBURBAN**

APPLICANT: BLUE RIVER DEVELOPMENT, LLC
3810 WINDERMERE PARKWAY SUITE 504
CUMMING, GA 30041

CONTACT: BRAD COOPER PHONE: 404.797.7325

OWNER: CHARLINE W. PHILLIPS
1821 BENNETT ROAD
GRAYSON, GA 30017

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests rezoning of a 22.06-acre parcel assemblage from R-100 (Single Family Residence District) to R-SR (Senior Oriented Residence District) to construct a 77-lot subdivision. The property is located on the south side of Bennett Road, just west of the Grayson city limits.

The site plan proposes a total of 77 lots, with a minimum lot width of 50 feet and a proposed minimum lot area of 6,250 square feet. The resulting gross and net density for the proposed development would be approximately 3.5 units per acre. The development would be accessed via one entrance from Bennett Road. The required 50-foot building setback and 25-foot landscaped buffer are shown along the exterior roadway. An additional 25-foot exterior landscaped buffer is shown along the southwest and southeast property lines of the development which border the R-100 zoned neighborhoods of Natchez Trace and Waterton subdivisions, respectively.

A potential stormwater detention pond is shown on the northwest corner of the site adjacent to Bennett Road. An existing pond would be preserved as an amenity in the

open space of the development and access would be provided through designated parking spaces. Additional community amenities include a club house and passive space in the form of 23.5% conserved open space which amounts to approximately 5.19-acres.

The application materials indicate a minimum dwelling size of 1,700 square feet. Submitted building elevations suggest that the dwellings would be constructed with stone or brick front facades with the sides and rear consisting of a masonry water table with the balance being lap siding.

ZONING HISTORY:

In 1970, the subject property was zoned RA-200 (Agriculture-Residence District). In 1973 it was rezoned to R-100 (Single-Family Residence District) per an areawide rezoning.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

Portions of this site appear to be heavily wooded and may include specimen trees which are required by the UDO to be preserved. Alternate designs to preserve specimen trees must be explored. A Specimen Tree Survey and a Specimen Tree Concept Plan must be submitted and approved prior to submittal of Development Plans for review.

Section 210-90.13 of the Unified Development Ordinance requires submittal of a concept plan for review and approval of the Development Division prior to submittal and acceptance of a development permit application.

Project access and required improvements along Bennett Road will be subject to review and approval of Gwinnett County Department of Transportation.

Five-foot wide sidewalks are required along the entire frontage of Bennett Road.

Open space areas and detention pond shall be accessed from internal roads. The site plan shall be redesign to provide a minimum 35-foot road frontage for detention ponds and 40-feet for open space.

ArcMap aerial view shows a stream on the property in continuation of the existing pond. The site plan must be revised to show the required 50-foot undisturbed stream buffer and the 25-foot impervious buffer setback on both sides of the creek.

The U.S Postal service requires a centralized mail delivery kiosk replacing individual mail boxes. The location and access must be approved by Gwinnett County Department of Transportation.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

The property appears to contain stream buffers. The proposed conceptual plan may require revision to show the appropriate stream buffers.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Bennett Road is a Minor Collector and 30 feet of right of way is required from the centerline.

Entrances shall be provided to the site per current development regulations.

Standard deceleration lane with appropriate taper and adequate right of way will be required.

The project entrance shall align with opposing roads or driveways in accordance with the Gwinnett County Unified Development Ordinance.

Prior to the issuance of a development permit, a sight distance certification shall be provided.

The number and locations of driveways are subject to Gwinnett County D.O.T. approval.

Minimum separation from a driveway, public road, or side street shall be provided as specified in the Gwinnett County Unified Development Ordinance.

Project must comply with Gwinnett County D.O.T. Criteria and Guidelines for left turn lanes.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 10-inch water main located on the southwest right of way of Bennett Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located approximately 200 feet southeast of parcel R5121 028 in the right of way of Natchez Valley Trace and an 8-inch sanitary sewer main located approximately 150 feet north of parcel R5121 043 in the right of way of Mount McKinley Way. Easements would be required.

The subject development is located within the Lower Big Haynes service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The applicant seeks rezoning of a 22.06-acre parcel assemblage from R-100 to R-SR, to develop single-family detached homes targeted to persons aged 55 years and older. The subject property has frontage along the south side of Bennett Road. The site is a mixture open pasture and wooded areas. The more dense areas of tree cover are concentrated to the north of an approximately 1/2-acre pond, with a large stand of trees at the southern end of the site. The site presently contains approximately five residences and several accessory structures which would be removed to accommodate the development.

The 2030 Unified Plan Future Development Map indicates the site is located in an Existing/Emerging Suburban Character Area. Policies of the 2030 Unified Plan support new subdivision development as proposed in this application, as well as expanded

housing opportunities for seniors, providing a residential environment with lower maintenance responsibilities and smaller dwelling sizes. Given these factors, the requested rezoning and development are considered consistent with the recommendations of the 2030 Unified Plan.

The subject property is surrounded by residential uses, including single-family homes on large lots and numerous subdivisions. Adjacent to the southeast is the Natchez Trace subdivision, zoned R-100 Modified. Adjacent to the southwest is the Waterton subdivision, zoned R-100. To the north of the property, on the opposite side of Bennett Road, are the Brittany Manor and Wellington Walk subdivisions, both zoned R-100. The adjacent area to the north also includes a Gwinnett County Public School transportation parking lot. While not in the immediate vicinity of the subject site, there are multiple similarly situated R-SR districts that have been approved in the unincorporated areas surrounding Grayson, suggesting that the subject request is in keeping with the established and future development patterns. Given these numerous recent Board actions from 2017 and 2018, the proposed R-SR subdivision could be compatible with existing and anticipated land uses in the area. Additionally, because senior oriented residences typically create less traffic and generally produce no school system impacts, staff believes that the proposed senior-oriented residences could be compatible with neighboring uses and developments. A condition limiting density to that which is more compatible with surrounding developments may be appropriate considering the subdivisions in the immediate vicinity to the subject property were developed to R-100 density standards.

With conditions similar to those of recent nearby R-SR Board approvals, a senior oriented subdivision could be considered consistent with policies of the Unified Plan and compatible with the adjacent and surrounding established residential developments. Therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of this request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval as R-SR (Senior Oriented Residence District) for a senior oriented subdivision development, subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Single-family detached dwellings and accessory uses and structures, not to exceed 3.0 units per acre. The development shall be restricted to occupancy by residents aged 55 years or older.
 - B. The Homeowner's Association shall be responsible for maintenance of all common areas/facilities, street frontage landscaping, and lawn and ornamental planting maintenance on individual lots. The Homeowner's Association shall be responsible for exterior maintenance of individual residences to include, at a minimum, painting of the exteriors on a rotation not to exceed six years.
 - C. The minimum heated floor area per dwelling unit shall be 1,700 square feet.
 - D. Homes shall be constructed on all four sides with a mix of brick, stone, or other low maintenance materials such as fiber-cement siding or shake, with a minimum two-foot brick or stacked stone water table. Final building elevations shall be subject to the review and approval of the Director of Planning and Development.
 - E. All dwellings shall have a minimum two-car garage.
 - F. Homes may include a walk-up second story "bonus room" and half bath.
2. To satisfy the following site development considerations:
 - A. The development shall abide by all applicable standards of the Unified Development Ordinance, unless otherwise specified in these conditions or through approval of a variance by the Zoning Board of Appeals.
 - B. The applicant shall submit a revised site plan eliminating cul-de-sacs which will result in a connective community design. Final site plan shall be subject to the review and approval of the Director of Planning and Development. Neighborhood amenities shall be in general accordance with the rezoning exhibit submitted October 5, 2018.

- C. A minimum 50-foot landscaped building setback shall be provided adjacent to abutting exterior streets. The landscaped setback shall incorporate a 25-foot landscape buffer as required by the Unified Development Ordinance standards for R-SR developments.
 - D. The subdivision shall have entrance features made of brick or stone with landscaping. The final design shall be approved by the Director of Planning and Development. A wrought iron-style fence, a minimum of four-feet high, shall be installed along the exterior road frontages with brick or stone columns spaced 50-feet on-center that match the entry features. A double row of landscaping is to be installed along the interior of the fencing with a mixture of evergreen plants that are a minimum of four to six feet high at the time of planting.
 - E. All utilities shall be placed underground.
 - F. No direct lot access shall be allowed to Bennett Road.
 - G. Detention ponds shall be fenced with a wooden privacy fence or a black vinyl-coated chain link fence a minimum of six-feet in height. This shall not apply to the existing pond in the amenity area.
3. To abide by the following requirements, dedications and improvements:
- A. Prior to the issuance of the first certificate of occupancy the applicant shall construct, at no cost to the County, a left turn lane into the development as required by the Gwinnett County DOT.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXERCISE OF ZONING

SUITABILITY OF USE

Given the Board actions approving multiple similarly situated tracts as R-SR in the past several years, a senior-oriented single-family detached subdivision may be suitable for the subject property.

ADVERSE IMPACTS

With the recommended conditions, minimal adverse impacts on surrounding properties would be anticipated.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACTS ON PUBLIC FACILITIES

Additional impacts on public facilities in the form of increased utility demand, traffic and stormwater runoff could be anticipated from this request.

CONFORMITY WITH POLICIES

Policies for this Character Area support new subdivision development, as well as expanded housing opportunities for seniors. If properly conditioned, the proposed use could be consistent with County policies while being compatible with the existing and anticipated character of the area.

CONDITIONS AFFECTING ZONING

The Board has recently granted several similar R-SR approvals in the Grayson area, suggesting that the subject request could be suitable. It may be appropriate to limit the density of the proposed development to be in keeping with the densities typical for the Bennett Road area.

REZONING APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

The proposed use and age restricted zoning will be consistent with neighboring parcels and have a positive impact.

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

The proposed rezoning will not have any negative impacts on the neighboring properties. There will be no adverse affects on the adjacent or nearby neighborhoods.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The current zoning for the site is R-100. The market shows the need for R-SR responding to the senior community and needs for new developments. It currently does not have an economic use.

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The current streets, circulation patterns and utilities will not be affected or burdened with this development, as it has taken the existing infrastructure into account when designed for 77 units. Being an Active Adult Community, the schools will not be impacted to any significant level and traffic is reduced.

- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed zoning is in conformity with the existing land use plan. The proposed zoning will better suit the community needs and economy of area.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

The growing senior demographic is a changing condition that needs to be addressed in housing development. This new planned community would better serve the needs of the public. This is the fastest growing demographic in the Metro Area and needs to be addressed.



November 15, 2018

VIA HAND DELIVERY

Gwinnett County Board of Commissioners
446 West Crogan Street
Lawrenceville, GA 30045

RE: 1821 Bennet Road
LETTER OF INTENT

To Whom This May Concern,

Respectfully we submit this application to rezone approximately 22.06 acres located at 1821 Bennett Rd. from its current zoning classification of R-100 to R-SR (Senior Oriented Residence District) which will be an age restricted, gated community. We feel that the proposed community is ideally located in an influential area near the city of Grayson.

We are proposing that seventy-seven (77) residential homes at a density of 3.5 DU/AC, below the 4 DU/AC UDC threshold. A single, vehicular entrance off Bennett Road, 25-foot perimeter landscape buffer with 6-foot high fence, open spaces, leisure amenities, walking trails and central mail kiosk further define the proposed community.

The detached, single-family homes will have a mixture of traditional, as well as craftsman style architecture which is further illustrated on the attached documents. The homes shall be designed with a minimum of 1,700 square feet of living space, sale prices starting at \$325,000. A second story bonus room equipped with an additional bathroom, will be offered as an option. Granite and wood floors will be standard features within the homes. For the avoidance of doubt, the proposed R-SR community shall require a mandatory homeowners association which will publish and adhere to policies and procedures that demonstrate that the community is intended to provide housing for person 55 and over, as permitted by 42 U.S.C. Section 3607b2c for the Federal Fair Housing Act.

Please see the proposed zoning conditions for further details. Similar conditions have been approved on recent RSR applications by the community, staff and commissioners.

- A. Single-family detached dwellings and accessory uses and structures, not to exceed 77 units. The project is to be deed restricted to ownership by residents that are 55 years old or older.
- B. The homeowner's association shall be responsible for maintenance of all common areas/facilities, street frontage landscaping, and lawn and ornamental planting maintenance on individual lots. The homeowner's association shall be responsible for exterior maintenance of individual residences to include, at a minimum, painting of the exteriors on a rotation not to exceed six years.
- C. The minimum heated floor area per dwelling unit shall be 1,700 square feet.
- D. Homes shall be constructed with architectural treatments of primarily brick or stone on the front facade with minor treatments of fiber-cement siding materials. The sides and rear shall contain a minimum two-foot high water table of brick or stone. The balance of the sides and rear shall be of brick, stone, or fiber-cement siding. Final building elevations shall be subject to the review and approval of the Director of Planning and Development.

RECEIVED BY

NOV 15 2018

Planning & Development

RZR '18 04 0

Blue River Development
3810 Windermere Parkway, Suite 504
Cumming, GA 30041

- E. All dwellings shall have a minimum two-car garage.
- F. The entrance feature shall be made of brick or stone with landscaping. The final design shall be approved by the Director of Planning and Development. A wrought iron-type fence, a minimum of six-foot high, shall be installed along the exterior road frontage with brick or stone columns 50 foot on center that will match the look of the entry feature. A double row of landscaping is to be installed along the interior of the fencing with a mixture of evergreen plants that are a minimum of four to six feet high at the time of planting.

To satisfy the following site development considerations:

- A. All utilities shall be placed underground.
- B. Detention pond(s) shall be fenced with a black vinyl-coated chain link fence a minimum of four feet in height, and shall be fully screened from view of adjacent residences with a double staggered row of evergreens. Final screening plans shall be subject to the review and approval of the Director of Planning and Development.

We respectfully request your approval of this request for Rezoning from R-100 to R-SR so as to permit the proposed residential community.

Respectfully submitted,



Brad Cooper,
Blue River Development, LLC

RZR 18 040

RECEIVED BY

NOV 15 2018

Planning & Development

Carrington

A Blue River Development Community



The Applicant, Blue River Development, LLC, requests a rezoning from R-100 Residential to a R-SR for the purpose of developing a residential project designed for Senior Living. The subject property is located at 1821 Bennett Road, Grayson. The property is an assemblage of 7 parcels containing a total of 22.06 acres. Blue River Development has proposed a plan for this property that corresponds with the existing area and trends of today.

The proposed development features 23.5% of the property or 5.19 acres to be used for common open space. The design provides for community amenities and passive spaces. Access to the property will be gained by one main entrance, from Bennett Road. Sidewalks are planned along the streets, connecting the community.

This residential project is proposed to consist of 77 detached homes varying in size from 1,700 square feet of heated space. The front facades of the homes will be a mixture of brick or stone with accents of concrete siding. The sides and rear facades of the residential units will be the same or all concrete lap siding. The units will have granite countertops, stainless steel appliances, 9 foot ceilings and many additional upgrades available. The buildings will be single story ranch architecture.

RECEIVED BY

RZR '18 040

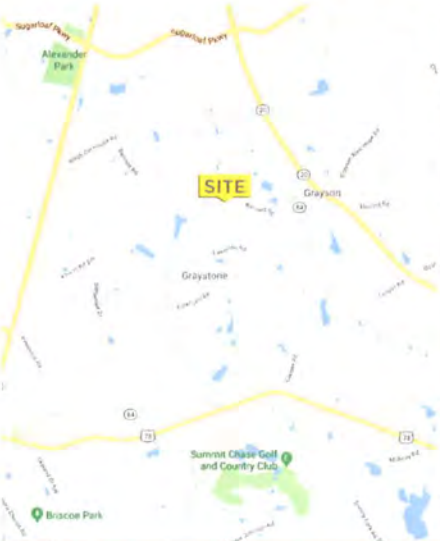
OCT 05 2018

Planning & Development



Carrington

A Blue River Development Community



RZR '18 040

BLUE RIVER DEVELOPMENT, LLC
 BROKERAGE | DEVELOPMENT | CONSULTING

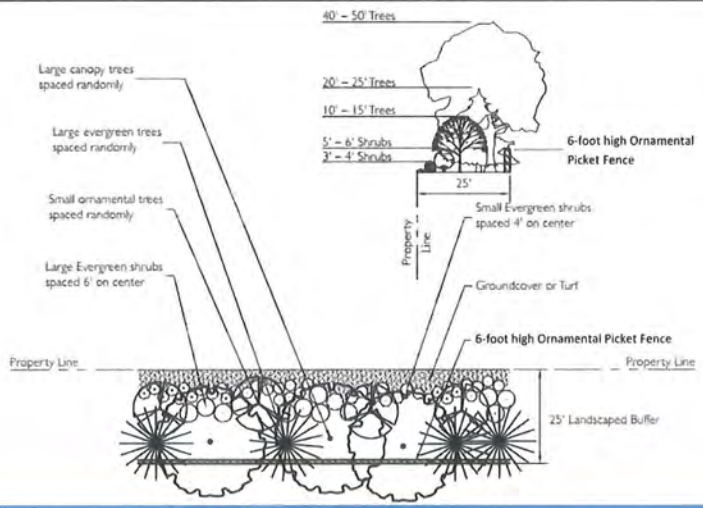
RECEIVED BY
 OCT 05 2018
 Planning & Development

Carrington

A Blue River Development Community



Perimeter 25-Foot Landscape Buffer



RZR '18 040



RECEIVED BY
OCT 05 2018
Planning & Development

Carrington

A Blue River Development Community

Community Amenities



RZR '18 040

BLUE RIVER
DEVELOPMENT, LLC
BROKERAGE | DEVELOPMENT | CONSULTING

RECEIVED BY

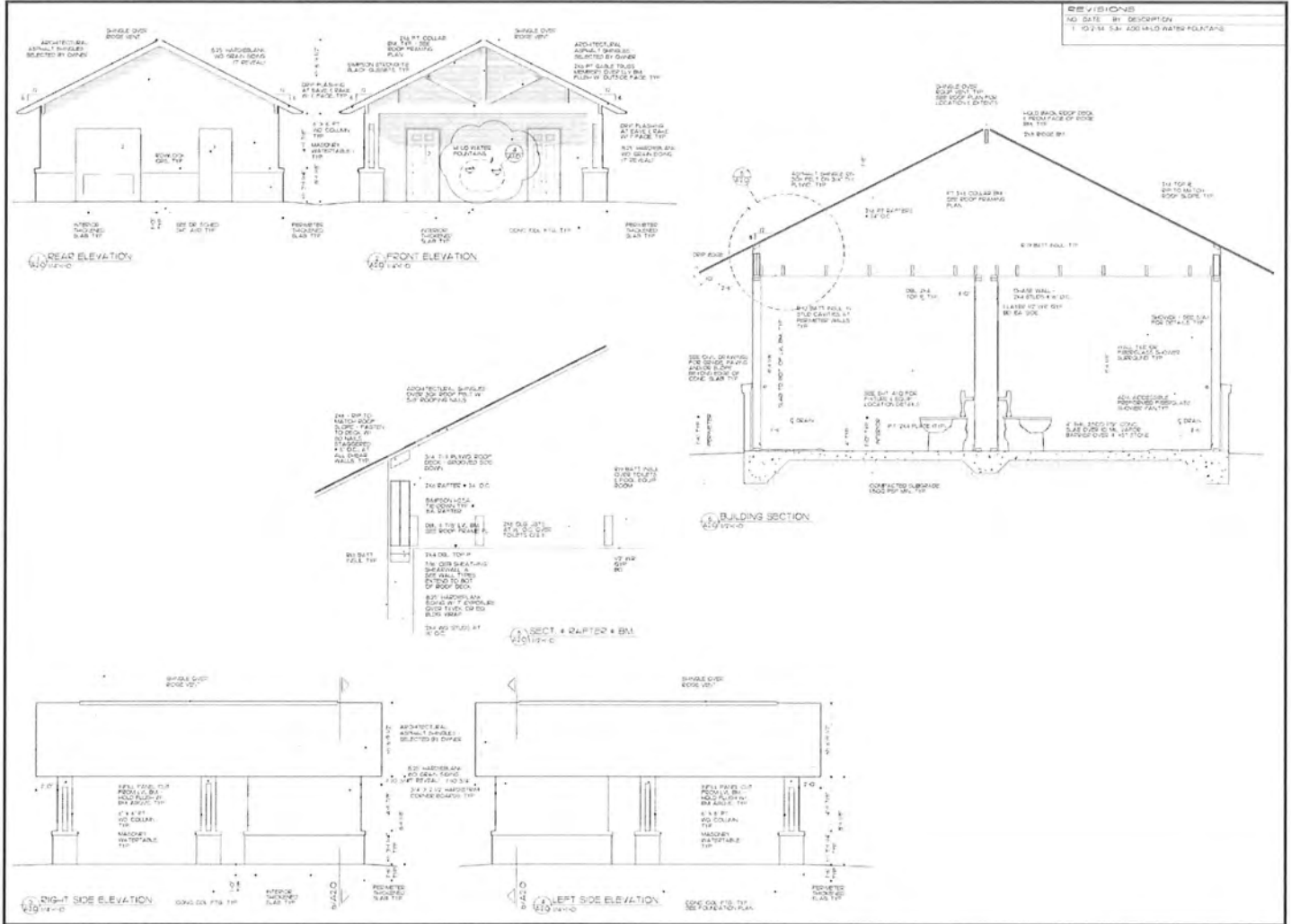
OCT 05 2018

Planning & Development

Carrington

A Blue River Development Community

Amenities/Cabana Drawing & Elevations



RZR '18 040



RECEIVED BY

OCT 05 2013

Planning & Development

Carrington

A Blue River Development Community



Interior Examples



RECEIVED BY

RZR '18 040

NOV 15 2018

Planning & Development



Carrington

A Blue River Development Community

Exterior Examples



RZR '18 040

Carrington

A Blue River Development Community

40' Wide Single Family Detached Series



Front Elevation



Rear Elevation



Left Elevation



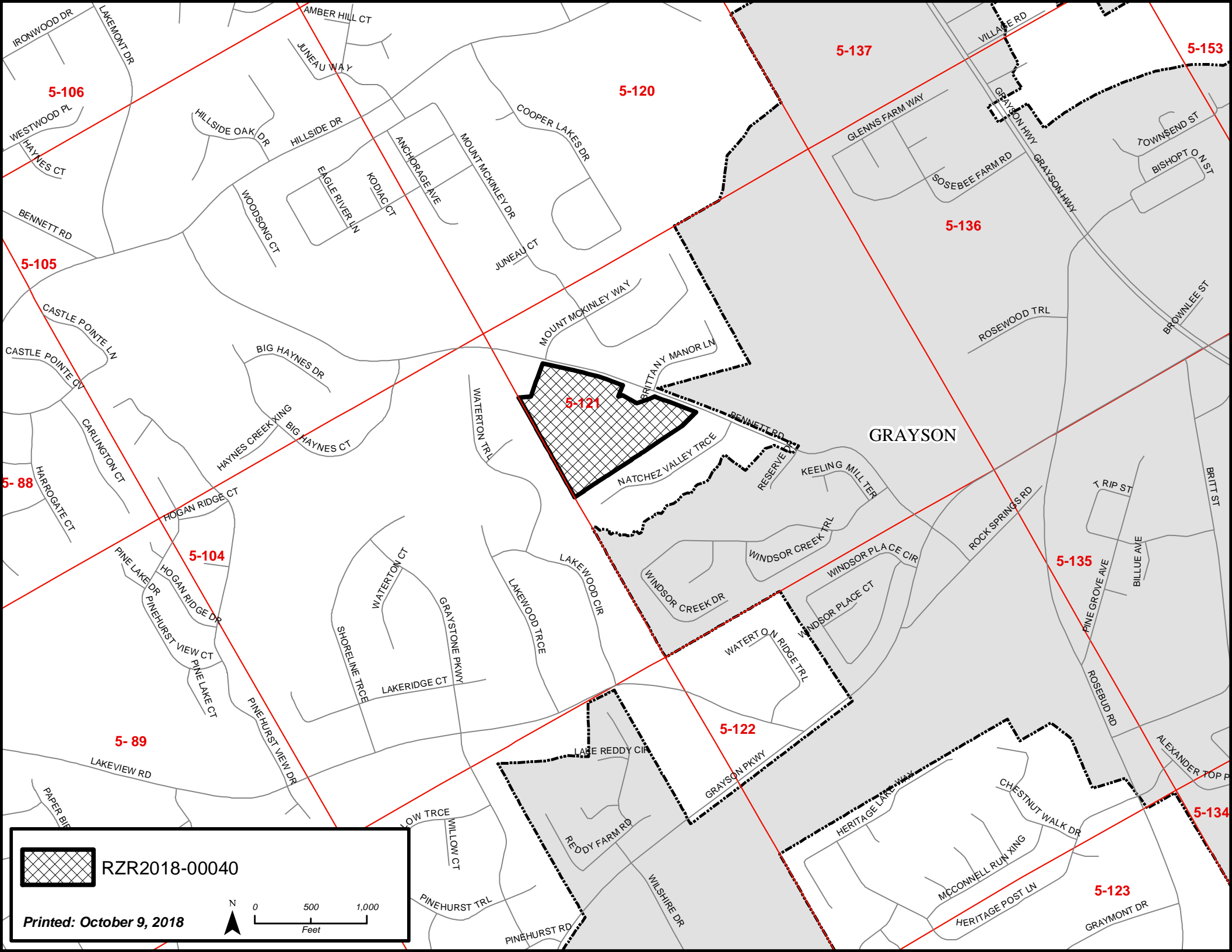
Right Elevation

RZR 18040

Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County, December 2018

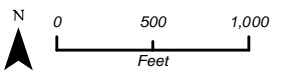
Case #	Schools	Current Projections									Proposed Zoning
		2019-20			2020-21			2021-22			Approximate additional Student Projections from Proposed Developments
		Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	Forecast	Capacity	Over/Under	
RZR2018-00038	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	2
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	1
	Mulberry ES	780	975	-195	819	975	-156	860	975	-115	2
RZR2018-00039	Dacula HS	2,205	2,550	-345	2,271	2,550	-279	2,339	2,550	-211	2
	Dacula MS	1,681	1,900	-219	1,731	1,900	-169	1,783	1,900	-117	1
	Mulberry ES	780	975	-195	819	975	-156	860	975	-115	3
RZR2018-00040	Grayson HS	3,044	2,125	919	3,128	2,125	1,003	3,222	2,125	1,097	6
	Bay Creek MS	1,130	1,150	-20	1,164	1,150	14	1,199	1,150	49	5
	Grayson ES	919	950	-31	947	950	-3	975	950	25	9

Current projections do not include new developments



 RZR2018-00040

Printed: October 9, 2018



APPLICANT:
 SMITHTON HOMES
 4763 TOWNSHIP CHASE
 MARIETTA, GA. 30066
24 HR. CONTACT:
 BERNIE SMITH
 770-652-0044
 BSMITH@MASTERWORKSATLANTA.COM

OWNERS INFORMATION:
 CHARLINE W. PHILLIPS
 1821 BENNETT RD.
 PIN 5121 043
 1853 BENNETT RD.
 PIN 5121 017
 1853 BENNETT RD.
 PIN 5121 035
 1901 BENNETT RD.
 PIN 5121 027
 1921 BENNETT RD.
 PIN 5121 003
 1853 BENNETT RD.
 PIN 5121 028
 1821 BENNETT RD.
 PIN 5121 039

GENERAL SITE NOTES:
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL
 CURRENT ZONING - R-100
 PROPOSED ZONING - R-SR
 TOTAL AREA - 22.06 ACRES
 PROPOSED OPEN SPACE - 5.19 ACRES/23.5%

R-SR ZONING DETACHED REQUIREMENTS
 MINIMUM LOT SIZE - 5,000 SF
 AVERAGE LOT WIDTH - 50'
 MAXIMUM BLDG. HEIGHT - 35 FT
 MINIMUM HEATED FLOOR SPACE - 1,000 SF
 ALLOWABLE DENSITY - 4.0 UNITS PER ACRE (88 UNITS)

PROPOSED SITE REQUIREMENTS
 TOTAL RESIDENTIAL UNITS PROPOSED - 77
 PROPOSED DENSITY - 3.49 UNITS PER ACRE
 MINIMUM LOT SIZE - 6,250 SF

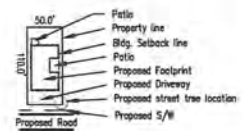
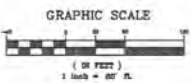
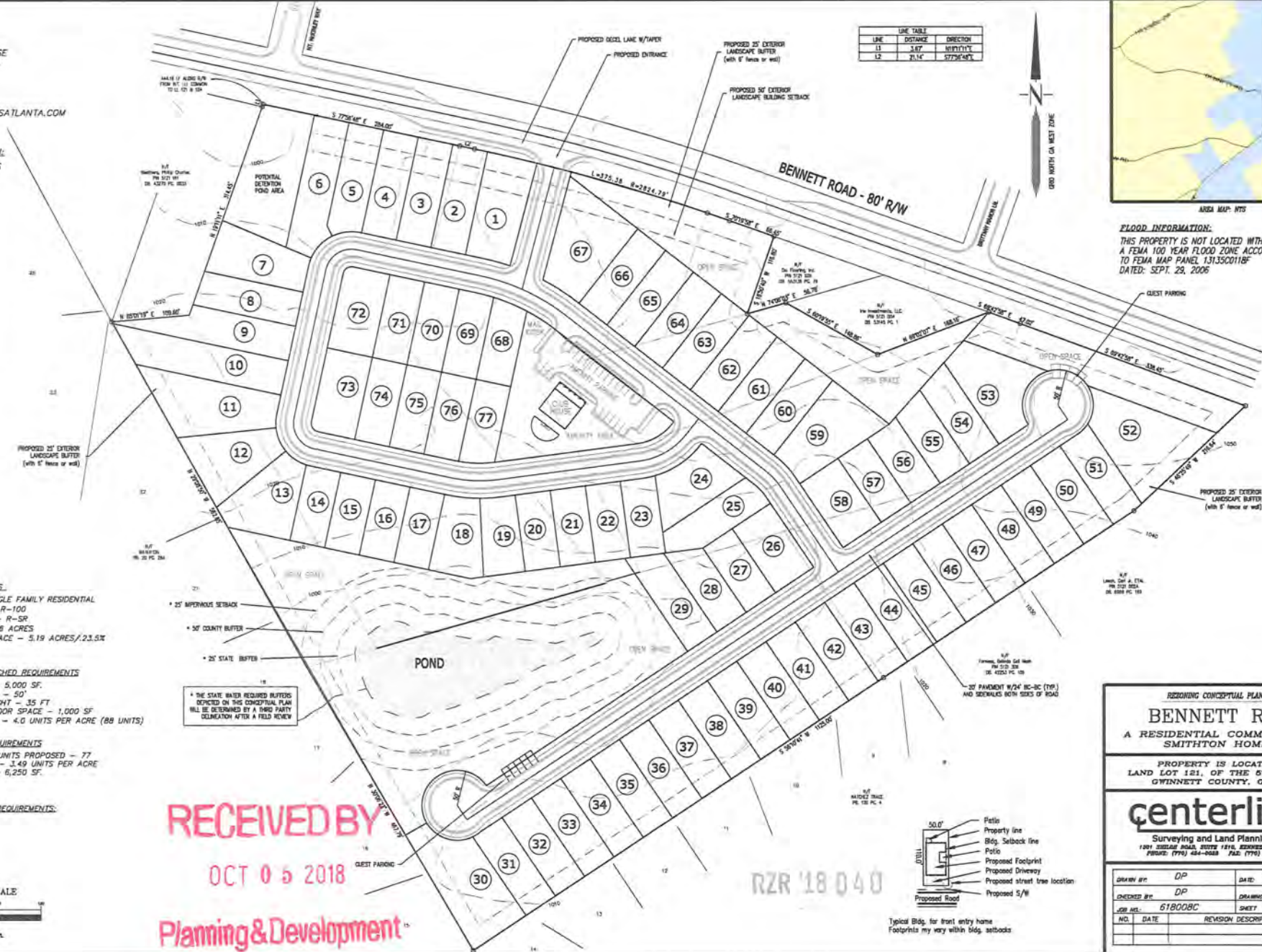
BUILDING SETBACK REQUIREMENTS:
 FRONT - 20'
 REAR - 25'
 SIDE - 5'

RECEIVED BY
 OCT 05 2018
 Planning & Development

LINE	DISTANCE	DIRECTION
L1	3.67'	N81°11'11" E
L2	2.14'	S77°54'45" E



FLOOD INFORMATION:
 THIS PROPERTY IS NOT LOCATED WITHIN
 A FEMA 100 YEAR FLOOD ZONE ACCORDING
 TO FEMA MAP PANEL 13135C00118F
 DATED: SEPT. 25, 2006



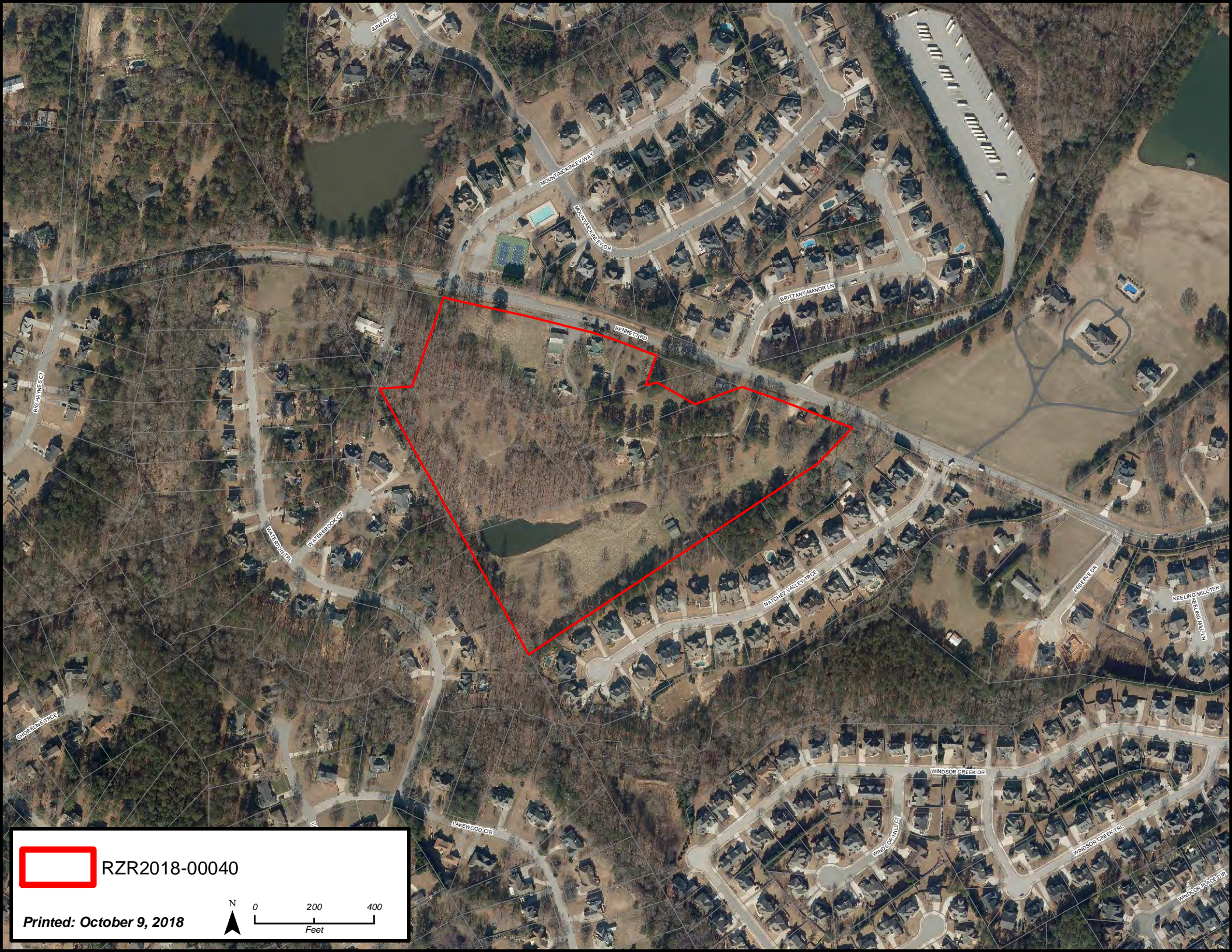
Typical Bldg. for front entry home
 Footprints may vary within bldg. setbacks

REZONING CONCEPTUAL PLAN FOR:
BENNETT ROAD
 A RESIDENTIAL COMMUNITY BY
 SMITHTON HOMES

PROPERTY IS LOCATED IN
 LAND LOT 121, OF THE 5TH DISTRICT
 GWINNETT COUNTY, GEORGIA

centerline
 Surveying and Land Planning, Inc.
 1001 SHELLEY ROAD, SUITE 1810, KENNESAW, GA 30144
 PHONE: (770) 424-0088 FAX: (770) 424-2380

DRAWN BY: DP	DATE: 9-24-18		
CHECKED BY: DP	DRAWING NO.: REZONING		
JOB NO.: 618008C	SHEET 1 OF 1		
NO.	DATE	REVISION DESCRIPTION	BY



 RZR2018-00040

Printed: October 9, 2018

N
0 200 400
Feet

BIG WALKER CT

SINEAU CT

MOON TACKLE WAY

MOON TACKLE DR

BRITTANY MANOR LN

BENNETT RD

WATERFORD

WATERLOCK CT

WATCH VALLEY TRCE

RESERVE DR

KEELING MILL TER

KEELING MILL LN

CHUCKER WALK

LAKEWOOD DR

WINDSOR CREEK DR

WINDSOR CREEK CT

WINDSOR CREEK TRL

WINDSOR WALK DR



BRITTANY MANOR LN

BENNETT RD

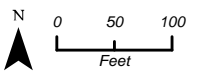
WATERBROOK CT

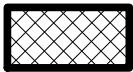
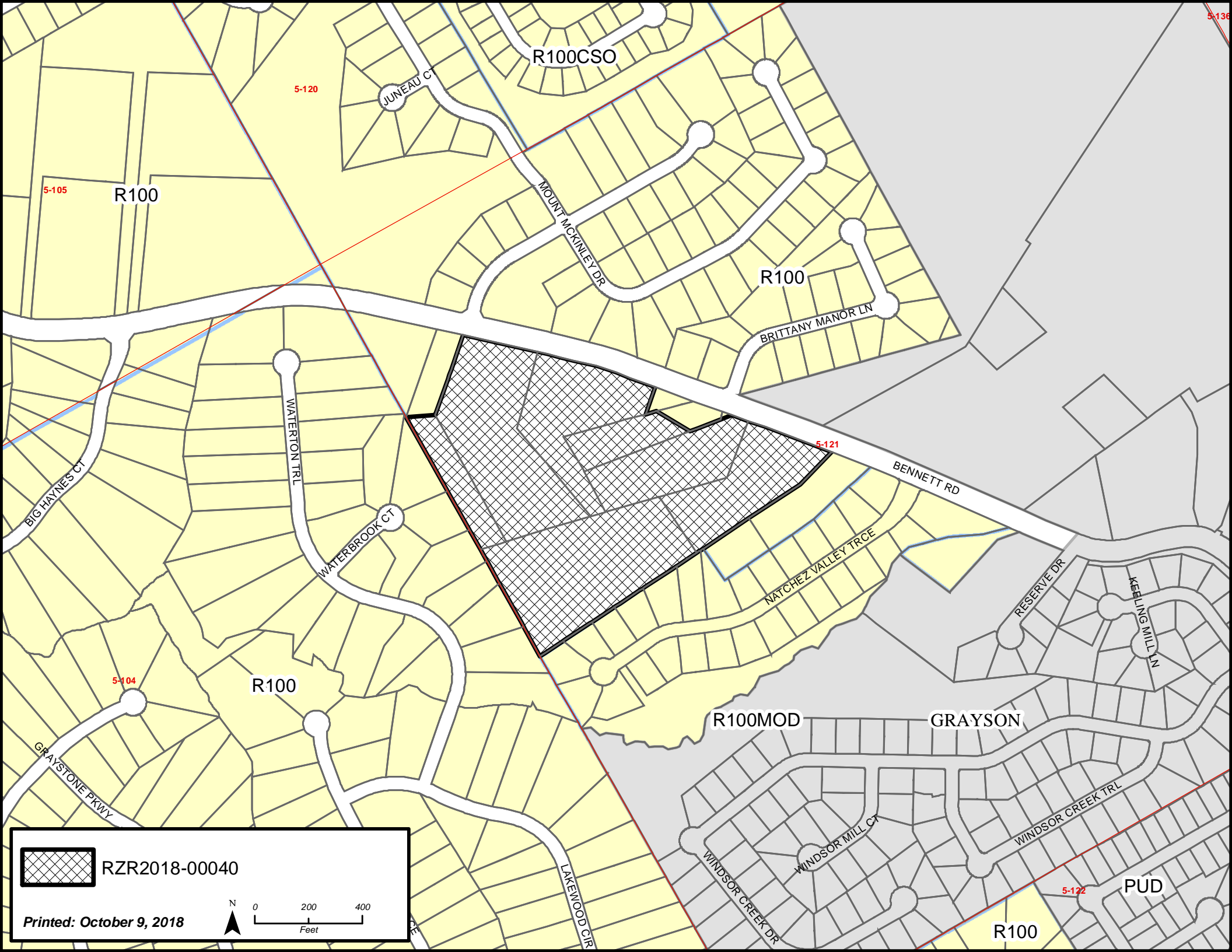
WATERTON TRL

NATCHEZ VALLEY TRCE

 RZR2018-00040

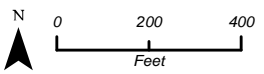
Printed: October 9, 2018





RZR2018-00040

Printed: October 9, 2018



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2018-00063**
ZONING :C-2
LOCATION :5000 BLOCK OF JIMMY CARTER BOULEVARD
MAP NUMBER :R6190 185
ACREAGE :0.28 ACRE
SQUARE FEET :2,250 SQUARE FEET
PROPOSED DEVELOPMENT :TATTOO PARLOR (RENEWAL)
COMMISSION DISTRICT :(2) HOWARD

FUTURE DEVELOPMENT MAP: **EXISTING / EMERGING SUBURBAN**

APPLICANT: JP ALFONSO STUDIOS, LLC
5059 JIMMY CARTER BOULEVARD
NORCROSS, GA 30093

CONTACT: SAMANTHA ALFONSO PHONE: 770.876.4552

OWNER: LEVISON, LLC
5075 JIMMY CARTER BOULEVARD
NORCROSS, GA 30093

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests renewal of a Special Use Permit to continue the use of a tattoo parlor on a 0.28-acre parcel, zoned C-2 (General Business District). The original Special Use Permit, SUP2016-00061, was limited to an initial two-year period, and must be renewed to continue the business.

The subject property is located on the northeast side of Jimmy Carter Boulevard, north of the Rockbridge School Road intersection. The site is developed with a single 2,250 square foot freestanding commercial building, small parking areas at the front and rear of the building for a total of 12 spaces, and a single driveway onto Jimmy Carter Boulevard. The applicant has obtained the necessary permits and is currently operating within the existing building. No code enforcement complaints have been filed on the property during the initial two-year period.

ZONING HISTORY:

In 1970, the subject property was zoned R-75. The property was rezoned to O-I in 1973, pursuant to RZ-28-73. In 1974, it was rezoned to C-2, pursuant to RZ-71-74. In 2014, a Special Use Permit for title loan facility was approved, pursuant to SUP2014-00017. In 2016, a Special Use Permit for a tattoo parlor was approved, pursuant to SUP2016-00061.

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Jimmy Carter Boulevard is a Principal Arterial and 60 feet of right-of-way is required from the centerline, with 75 feet required within 500 feet of a major intersection.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 12-inch water main located on the northeast right-of-way of Jimmy Carter Boulevard and a 16-inch water main located on the southwest right-of-way of Jimmy Carter Boulevard.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8-inch sanitary sewer main located in the right-of-way of Jimmy Carter Boulevard.

The subject development is located within the Yellow River service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

No comment.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The subject property is located on the northeast side of Jimmy Carter Boulevard, just north of its intersection with Rockbridge Road. The applicant currently occupies the single building located on the property, and the site appears neat and well-kept.

The 2030 Unified Plan Future Development Map indicates that the property is located in an Existing/Emerging Suburban Character Area. Free-standing commercial/retail uses are acceptable components of this character area. The property is located in an established, intensely developed commercial corridor and renewal of a tattoo parlor business could be considered compatible with the Character Area and the 2030 Unified Plan.

The Jimmy Carter Boulevard corridor has been long established with commercial and retail uses. The subject property is bordered by C-2 properties along Jimmy Carter Boulevard in both directions, and an R-75 (Single-Family Residence District) property to the rear. To the northwest of the property is a pawn shop (SUP2012-00028), to the southeast is a small used car dealership (SUP2015-00018), and south across Jimmy Carter Boulevard is Carter Rockbridge Plaza shopping center, also zoned C-2. The requested renewal of a Special Use Permit for tattoo and body piercing could be consistent and compatible with the other commercial and retail uses in the area. The applicant has installed the fencing per their conditions of zoning in order to minimize potential impacts on the adjacent residential properties and obtained the necessary permits over the last two years of operation.

In conclusion, the requested Special Use Permit renewal may be suitable given the intensely developed commercial nature of the area. The continued use may also be considered compatible with the recommendations for retail use in the 2030 Unified Plan policies for this Character Area; therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS**.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a Special Use Permit for tattoo and body piercing studio, subject to the following enumerated conditions:

1. Retail and service commercial and accessory uses, which may include tattoo and body piercing studio as a Special Use.
2. The existing building shall be painted a neutral color (non-white earth tone) prior to issuance of a certificate of occupancy. The exterior treatment of the building shall be subject to review and approval by the Director of Planning and Development.
3. A six (6) foot tall opaque wooden fence shall be installed along the rear property line prior to issuance of a certificate of occupancy. Final fence location and design shall be subject to review and approval by the Director of Planning and Development.
4. The hours of operation of the tattoo and body piercing studio shall be from 10:00 am to 8:00 pm, Tuesdays through Saturdays.
5. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance, and shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.
6. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state or federal law. Flashing or blinking signs and neon or LED signs shall be prohibited. Exposed or visible LED strips mounted on the building or around window frames shall be prohibited.
7. Ground signage shall be limited to monument-type sign(s), and shall be subject to review and approval by the Director of Planning & Development. The sign shall include a minimum two-foot high brick or stacked stone base, complementing the building's architectural treatment. The masonry base shall extend at least the full width of the sign cabinet, and the sign cabinet shall be fully recessed and surrounded by the same materials. Ground sign(s) shall not exceed six feet in height.
8. Peddlers and/or parking lot sales shall be prohibited.

9. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
10. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING EXERCISE OF ZONING

SUITABILITY OF USE

The proposed renewal of a Special Use Permit to allow a tattoo and body piercing studio may be suitable based on the heavily developed retail and commercial nature of the area.

ADVERSE IMPACTS

With the recommended conditions, the continued use of tattoo parlor at this location would not be expected to introduce adverse impacts on surrounding uses.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

No change in traffic impact or utility demand would be anticipated from this renewal request.

CONFORMITY WITH POLICIES

The requested renewal for a tattoo and body piercing studio could be compatible with the policies and intent of the 2030 Unified Plan and Future Development Map which provides for a variety of commercial uses in designated commercial areas within the Existing/Emerging Suburban Character Area.

CONDITIONS AFFECTING ZONING

The subject property lies within a highly commercial/retail segment of the Jimmy Carter Boulevard corridor. With appropriate conditions and limitations, the continued use could be suitable to this commercial area.

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

yes

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

no

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

yes - we have been profitable for 2 years under our current SUP 2016-02061

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

no

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

yes

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

No. We have made significant improvements to the building. all in line with current and future city development.

RECEIVED BY

3 SEP 28 2018

SUP '18 063

Planning & Development

Jp Alfonso Studios

5059 Jimmy Carter Blvd. Norcross, GA 30093

To Whom it May Concern,

I am writing this letter of intent to ask for the continued use of our zoning at 5059 Jimmy Carter Blvd., Norcross GA 30093. For the last 2 years, we have run a successful tattoo studio in compliance with all ordinances and requirements asked of us. We are mostly, by appointment only and cater to a higher level customer, in search of custom work in a relaxed setting. So far, we have received over 300, 5 star reviews on Google and Facebook and won Best of Gwinnett after only being business for 6 months. We employ 6 artists full time, and host guest artists from all over the country. We have always followed Health Department guidelines and take tremendous pride in the cleanliness and appearance of our studio. In addition to the previous, we have maintained an excellent relationship with our neighboring businesses, and refer many customers to other local stores and restaurants.

We hope that we are allowed to continue growing our studio and our reputation as one of the country's top tattoo studios. Please feel free to stop by anytime and take a look for yourselves. Thank you in advance for your consideration.

Sincerely,

Samantha Alfonso, Owner

RECEIVED BY

SEP 28 2018

SUP '18 063

Planning & Development

Levinson, LLC

To whom it may concern,

My name is Ben Levinson and I am the managing member of Levinson, LLC which owns 5059 Jimmy Carter Blvd. Norcross, GA 30093

This letter is in reference to my tenant- JP Alfonso Studios. JP and Samantha have been ideal tenants. They have invested a small fortune in the building and actually made it one of the nicest buildings on Jimmy Carter Boulevard. If you have not seen it or been inside it you will be amazed how beautiful this tattoo studio is. Whatever perceptions or prejudices you may have about a tattoo studio, just throw that out the window. It is absolutely beautiful and well run.

This operation is clean, abides by all health laws, and county ordinances. They run it the right way and I am proud to have them as a tenant. If you would like to reach me for further discussion, please feel free to call me at 770.300.0099 or email me at ben.levinson65@gmail.com



RECEIVED BY

SEP 28 2018

Planning & Development

SUP '18 063

CASE NUMBER SUP2016-00061
GCID 2016-1044

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION: NOVEMBER 15, 2016

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

	<u>Present</u>	<u>Vote</u>
Charlotte J. Nash, Chairman	<u>Yes</u>	<u>Aye</u>
Jace Brooks, District 1	<u>Yes</u>	<u>Aye</u>
Lynette Howard, District 2	<u>Yes</u>	<u>Aye</u>
Tommy Hunter, District 3	<u>Absent</u>	<u>Absent</u>
John Heard, District 4	<u>Yes</u>	<u>Aye</u>

On motion of COMM. HOWARD, which carried 4-0, the following resolution was adopted:

A RESOLUTION TO GRANT A SPECIAL USE PERMIT

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application for a Special Use Permit by JP ALFONSO ART, LLC for the proposed use of TATTOO PARLOR on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Special Use Permit Application has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on NOVEMBER 15, 2016 and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners on this, the 15TH day of NOVEMBER 2016 that the aforesaid application for a Special Use Permit is hereby **APPROVED** with the following enumerated conditions:

1. Retail and service commercial and accessory uses, which may include tattoo and body piercing studio as a Special Use.
2. The existing building shall be painted a neutral color (non-white earth tone) prior to issuance of a certificate of occupancy. The exterior treatment of the building shall be subject to review and approval by the Director of Planning and Development.
3. A six (6) foot tall opaque wooden fence shall be installed along the rear property line prior to issuance of a certificate of occupancy. Final fence location and design shall be subject to review and approval by the Director of Planning and Development.
4. The hours of operation of the tattoo and body piercing studio shall be from 10:00 am to 8:00 pm, Tuesdays through Saturdays.
5. Wall signage shall not exceed the requirements of the Gwinnett County Sign Ordinance, and shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.
6. Window signage (signs displayed on the interior or exterior of the business storefront windows) shall be prohibited, except for open/closed signs or signs required by county, state or federal law. Flashing or blinking signs and neon or LED signs shall be prohibited. Exposed or visible LED strips mounted on the building or around window frames shall be prohibited.
7. Ground signage shall be limited to monument-type sign(s), and shall be subject to review and approval by the Director of Planning & Development. The sign shall include a minimum two-foot high brick or stacked stone base, complementing the building's architectural treatment. The masonry base shall extend at least the full width of the sign cabinet, and the sign cabinet shall be fully recessed and surrounded by the same materials. Ground sign(s) shall not exceed six feet in height.
8. Peddlers and/or parking lot sales shall be prohibited.
9. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.

- 10. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers and sign-twirlers shall be prohibited.

- 11. The Special Use Permit shall be valid for a two-year period, at which time the use shall cease or an application shall be made for renewal of the Special Use Permit.

GWINNETT COUNTY BOARD OF COMMISSIONERS

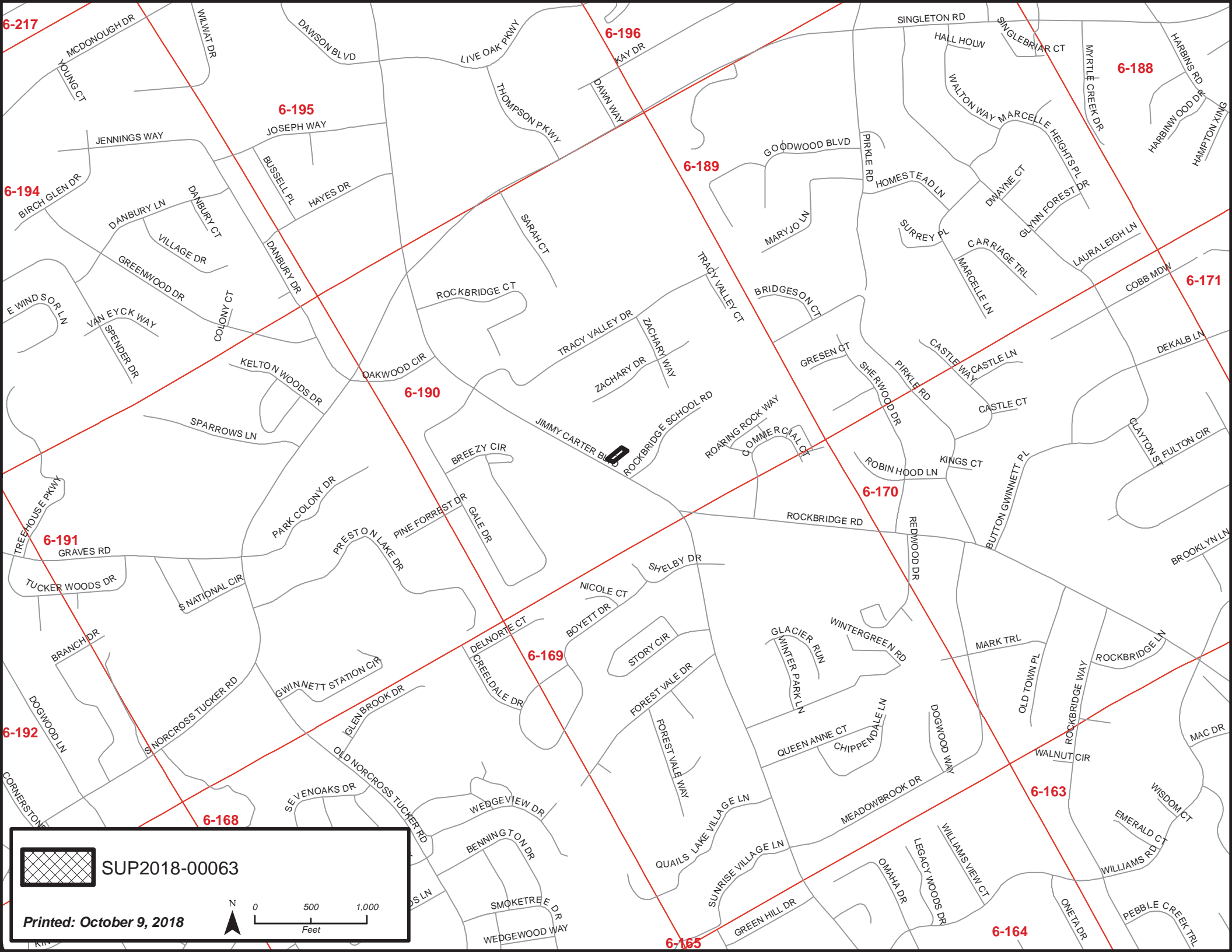
By: Charlotte J. Nash
Charlotte J. Nash, Chairman

Date Signed: 12/16/16

ATTEST:

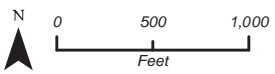
Diane Kemp
County Clerk/Deputy County Clerk





SUP2018-00063

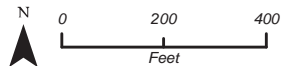
Printed: October 9, 2018





SUP2018-00063

N



Printed: October 9, 2018



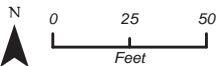
JIMMY CARTER BLVD

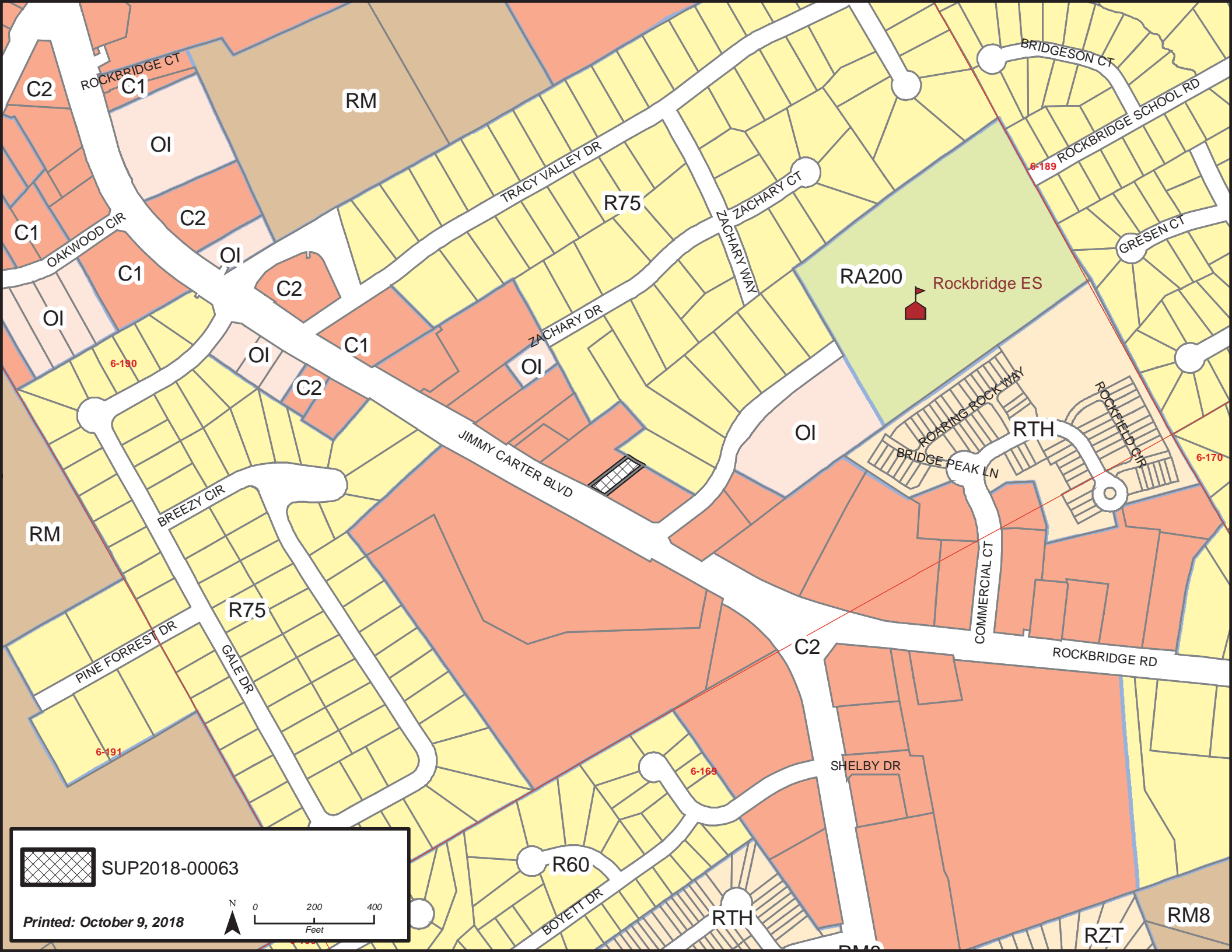
ROCKBRIDGE SCHOOL RD



SUP2018-00063

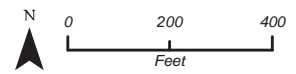
Printed: October 9, 2018





SUP2018-00063

Printed: October 9, 2018



Rockbridge ES

**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2018-00064**
ZONING :M-1
LOCATION :4100 BLOCK OF ARCADIA INDUSTRIAL CIRCLE
MAP NUMBER :R6125 022
ACREAGE :1.0 ACRE
SQUARE FEET :7,533 SQUARE FEET
PROPOSED DEVELOPMENT :AUTOMOBILE REPAIR & AUTOMOBILE BODY REPAIR
COMMISSION DISTRICT :(2) HOWARD

FUTURE DEVELOPMENT MAP: **EXISTING / EMERGING SUBURBAN**

APPLICANT: BERNADINO D'ALMEIDA
4139 ARCADIA INDUSTRIAL CIRCLE
LILBURN, GA 30047

CONTACT: BERNADINO D'ALMEIDA PHONE: 404.422.1869

OWNER: BERNADINO D'ALMEIDA
4139 ARCADIA INDUSTRIAL CIRCLE
LILBURN, GA 30047

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant requests approval of a Special Use Permit for continued use of the property as automobile repair and automobile body shops. The subject property is a 1.0-acre site, zoned M-1 (Light Industry District) and located on the south side of Arcadia Industrial Circle. A review of business license records indicates the building is currently in use as multiple automobile repair shops. This request is the result of a code enforcement action, and the Special Use Permit would serve to bring the businesses into zoning conformance.

The site is developed with a 7,533-square foot single-story building, associated parking areas and driveways. The building includes a brick front façade and multiple roll-up doors along the front, side and rear of the structure. The property is enclosed with a fence that encroaches on the property to the west and into the right-of-way of Arcadia Industrial Circle. Access onto Arcadia Industrial Circle occurs from two entry points. The entire site is used for storage of automobiles in various states of repair, including an unpaved area to the rear of property.

ZONING HISTORY:

In 1970, the subject property was zoned R-100 (Single-Family Residence District). In 1971, the property was rezoned to M-1 (Light Industry District), per RZ-59-70, as part of the larger Arcadia Industrial Park. In 1999, a request for M-2 zoning and Special Use Permit for a Towing/Wrecker Service was denied (RZ-99-173 & SUP-99-118).

GROUNDWATER RECHARGE AREA:

The subject property is not located within an identified Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Arcadia Industrial Circle is a Local Street and 30 feet of right-of-way is required from the centerline.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of an 8-inch water main located on the northwest right-of-way of Arcadia Industrial Circle.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of a 36-inch sanitary sewer main located approximately 1,000 feet north of parcel R6125 022 on parcel R6132 017. Easements would be required.

The subject development is located within the Yellow River service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for any proposed interior or exterior modification (remodel) for review and approval by Building Plan Review.
2. Architectural design of any proposed exterior modification shall incorporate the requirements of the Gwinnett County Unified Development Ordinance, Architectural Design Standards, Design Category 1.
3. Upon completion of plan review approvals, the applicant shall obtain a building permit and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6000 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

No comment.

DEPARTMENT ANALYSIS:

The subject property is a 1.0-acre site, zoned M-1 (Light Industry District) and located on the south side of Arcadia Industrial Circle, which extends from the east side of Arcado Road. The site is currently developed with a single-story building, parking and driveways. The building is currently in use for automobile repair and automobile body repair with multiple tenants.

The 2030 Unified Plan Future Development Map indicates that the property lies within an Existing/Emerging Suburban Character Area. The Arcadia Industrial Park has existed for many years and is located in a large industrial zone extending along the CSX rail right-of-way between Killian Hill Road and Jackson Creek. The requested Special Use

Permit to allow automobile repair and automobile body shops could be suitable given the zoning pattern of the area and industrial developments which have characterized the area for many years.

The property is located in an industrial district which includes M-1 and M-2 zoned properties, lying both in the unincorporated County and within the city limits of Lilburn. In the general area, and along Arcadia Industrial Circle, there are similar industrial properties that include: towing and wrecker services, impound lots, automotive/truck repair and service facilities, machine shops, and a Gwinnett County D.O.T. maintenance barn. Given the similar uses common to the area, the proposed request for an automobile repair shop and automobile body repair shop could be compatible with the surrounding area. Although the use could be suitable, the Department suggests that it would be appropriate to include conditions to improve the appearance of the property, reduce site congestion and eliminate visual clutter.

In conclusion, the use is considered compatible with the 2030 Unified Plan as the site lies within a long-established industrial area. Additionally, the proposed Special Use Permit to allow automobile repair and automobile body shops could be suitable at this location given the similar industrial uses which characterize the area; therefore, the Department recommends **APPROVAL WITH CONDITIONS** of this request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a Special Use Permit for Automobile Repair and Automobile Body Repair, subject to the following enumerated conditions:

1. Limited to light industrial uses, which may include automobile repair and automobile body repair as special uses. Salvage/junk yard operations shall be prohibited. No vehicle sales of any kind shall occur at this location.
2. Salvage of inoperable vehicles and outdoor storage of automotive parts or tires shall be prohibited. No inoperable vehicles shall be stored on the property for more than ten days. Any vehicles abandoned by their owners, whether before or after repair, shall be removed from the property within five days after they become abandoned under State and/or County law.
3. All repair activities shall take place indoors. No repairs may be conducted in the parking lot.
4. The property owner shall stripe parking spaces in accordance with Gwinnett County parking standards. All vehicles must be parked in a striped parking space on a paved surface.
5. All vehicles awaiting repair shall be parked in the paved area along the side and rear of the building. The existing fence shall be removed from the front yard and right-of-way and fencing shall not extend past the front plane of the building. Fencing shall be installed to enclose the side and rear yard, and shall be fitted with screening slats or fabric, to provide an effective screen from view of Arcadia Industrial Circle. The paved area at the front of the lot, between Arcadia Industrial Circle and the front building façade, shall remain free of vehicles awaiting repair at all times, and shall be utilized for rear access and customer parking only.
6. Outdoor storage shall be limited to the rear of the property and screened per the requirements of the Unified Development Ordinance.
7. Dumpsters shall be screened by a 100% opaque brick or stacked stone wall with an opaque metal gate enclosure.
8. The property owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.

9. Obtain all necessary development and building permits, and bring the site and structure(s) up to all applicable zoning, development and building codes within 180 days of zoning approval.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING EXERCISE OF ZONING

SUITABILITY OF USE

In light of the intense industrial activity that includes similar uses within the industrial park, the proposed automobile and body repair shops could be suitable at this location.

ADVERSE IMPACTS

With the recommended conditions designed to improve the appearance of the property, reduce site congestion and eliminate visual clutter, no significant impacts are anticipated from the automobile body and repair shops.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

Since no significant changes to the property are proposed, few additional impacts on public facilities would be anticipated from this request.

CONFORMITY WITH POLICIES

The site is located within an industrial area established through zoning actions by the Board and city of Lilburn many years ago, and the requested use could be compatible with these past zoning decisions as well as adjacent and nearby developments.

CONDITIONS AFFECTING ZONING

Numerous similar businesses exist along Arcadia Industrial Circle, and the site is considered adequately separated from residential districts to the south.

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

C-8 Industrial Site

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

NO

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Has been in use since 1975 in this Industrial Area

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

None

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

auto service Garage ^{yes}

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

This Area is in an Industrial Park
All existing structures have similar businesses

RECEIVED BY



September 28, 2018

Gwinnett County
Department of Planning & Development - Planning Division
446 West Crogan Street, Suite 250
Lawrenceville, GA, 30046

Letter of Intent for Special Use Permit Application

To whom it may concern,

Boundary Zone, Inc. is writing this Letter of Intent to accompany the attached Rezoning and Special Use Permit Applications (the "applications") on behalf of Bernadino Dalmeida (the "applicant"), in regards to an approximately 1.44-acre property situated in the Arcadia Industrial Park south of Lawrenceville Highway and its intersection with Arcado Road. The address of the subject property is 4139 Arcadia Industrial Circle, Lilburn, GA, 30047, and is currently zoned M-1. The property includes an existing one-story, 25.5 foot tall, 7533.84 square foot building. The applicant is requesting to rezone the property to the M -1 with a special use permit zoning classification for Baba Auto Repair, Inc. in order to utilize the property for automobile repair services.

The applicant is proposing to utilize the property as an automobile repair shop with both concrete and asphalt parking areas for vehicles being serviced, as depicted on the site plan submitted with the applications. Further, the applicant is not planning to erect any additional structures on the property aside from relocating a fence at the front of the property. The existing conditions of the building will be preserved and utilized as earlier specified.

The surrounding area is characterized by heavy commercial and industrial uses. Within the Arcadia Industrial Park, there exist several other automobile and/or truck repair businesses along with

RECEIVED BY

SEP 28 2018

www.BoundaryZone.com

454 Satellite Blvd NW, Suite 200, Suwanee, GA 30024 / 770-271-5772
1100 Peachtree Street, Suite 200, Atlanta, GA 30309 / 404-446-8180
975 Cobb Place Blvd, Suite 101, Kennesaw, GA 30144 / 678-730-4393
8024 Glenwood Ave, Suite 109, Raleigh, NC 27612 / 919-363-9226

Planning & Development

SEP 28 2018



equipment and storage facilities. These businesses are similar to the applicant's business located on the subject property. The proposed use is compatible with the policy and intent of the Gwinnett County 2030 Unified Plan (Comprehensive Plan), which encourages land uses that are compatible with surrounding development. The proposed concrete and asphalt parking lots are compatible with existing heavy commercial and industrial uses.

The applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Department of Planning & Development to answer any questions or to address any concerns relating to the matters set forth in this letter or in the applications filed herewith.

Please feel free to contact me at 770-271-5772 should you have any questions or comments.

Sincerely,

Greg Dean
Registered Landscape Architect
Boundary Zone, Inc.

RECEIVED BY

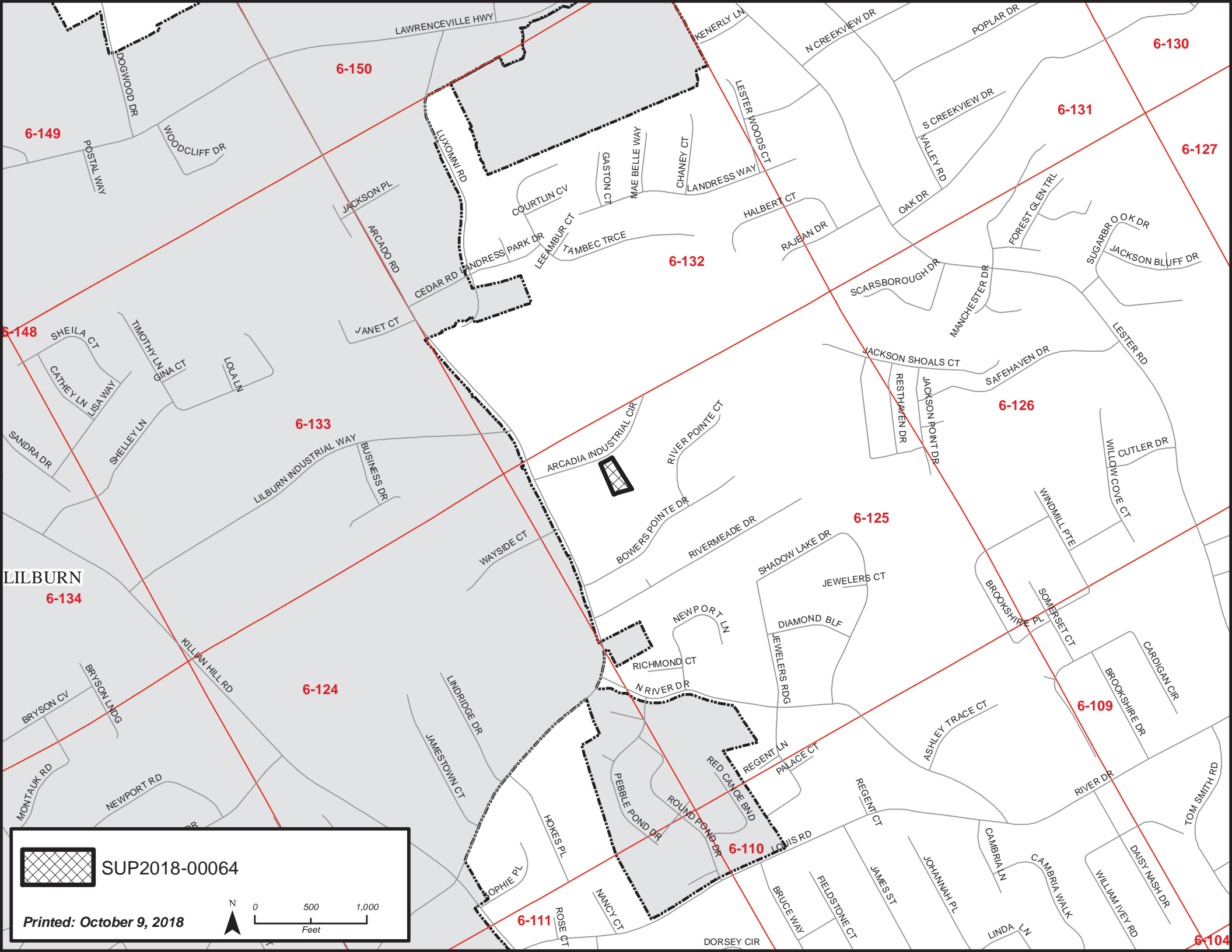
SEP 28 2018

Planning & Development

SEP 18 06 4

www.BoundaryZone.com

454 Satellite Blvd NW, Suite 200, Suwanee, GA 30024 / 770-271-5772
1100 Peachtree Street, Suite 200, Atlanta, GA 30309 / 404-446-8180
975 Cobb Place Blvd, Suite 101, Kennesaw, GA 30144 / 678-730-4393
8024 Glenwood Ave, Suite 109, Raleigh, NC 27612 / 919-363-9226



6-149

6-150

6-130

6-131

6-127

6-132

6-148

6-133

6-126

LILBURN

6-134

6-125


6-124

6-109


6-110

6-111

6-104

 SUP2018-00064

Printed: October 9, 2018

 0 500 1,000
Feet

SUP 10 0 0 4

RECEIVED BY

SEP 28 2018

Planning & Development

THIS PLAT IS A RETRACTION OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-4-87.



FOR THE FIRM
BOUNDARY ZONE, INC.
LSP #839
NOT VALID WITHOUT
ORIGINAL SIGNATURE

Ben E. Butterworth 09/27/2018
BEN E. BUTTERWORTH - RLS #2294 DATE

ZONING SUMMARY M-1
LIGHT INDUSTRIAL DISTRICT

FRONT SETBACK 50'
SIDE SETBACK 20'
REAR SETBACK 15'

INFORMATION OBTAINED FROM
GWINNETT COUNTY ZONING,
DATED 09/27/2018

THE SURVEYOR IN NO WAY INTENDS TO
INTERPRET OR MAKE CONCLUSION REGARDING
THE ZONING AND SETBACK DESIGNATION SHOWN
HEREON.



NO.	REVISION	DATE
1		
2		
3		

GRAPHIC SCALE - IN FEET
0 20 40 80

BOUNDARY SURVEY
PREPARED FOR: BERNADINO DALMEIDA
TRACT "A", PART OF LOT 5, ARCADIA INDUSTRIAL PARK
LAND LOT 125, 6TH DISTRICT,
GWINNETT COUNTY, GEORGIA - 09/27/2018

○ PROPERTY CORNER FOUND (AS NOTED)	○ MANHOLE	□ A/C UNIT	○ GAS VALVE	LL LAND LOT	○ B. DITCH BASIN	-S- SEWER LINE	B/L BUILDING SETBACK LINE	DB DEED BOOK	S/W SIDEWALK
● 1/2" REBAR WITH CAP SET LSP # 839	○ CLEAN OUT	-X- GUY WIRE	□ CABLE BOX	N/F NOW OR FORMERLY R/W RIGHT-OF-WAY	○ CNT CANTILEVER	-G- GAS LINE	CONC CONCRETE	PB PLAT BOOK	F.K.A. FORMERLY KNOWN AS
□ R/W MONUMENT	○ WATER METER	○ JUNCTION BOX	□ POWER METER	P/L PROPERTY LINE	○ TELEPHONE BOX	-C- CABLE LINE	EOP EDGE OF PAVEMENT	PG PAGE	NAD NORTH AMERICAN DATUM
▲ FIRE HYDRANT	○ WATER VALVE	○ OUTFLOW STRUCTURE	□ POWER BOX	OH OVERHANG	○ SIGN	-T- TELEPHONE LINE	BFE BASEMENT FLOOR ELEVATION	POB POINT OF BEGINNING	NAVD NORTH AMERICAN VERTICAL DATUM
	○ POWER POLE	○ DRAINAGE INLET	○ REGULAR PARKING	○ GAS METER	-W- WATER LINE	-X- FENCE LINE	BFE GARAGE FLOOR ELEVATION	POC POINT OF COMMENCEMENT	A.K.A. ALSO KNOWN AS
	○ LIGHT POLE	○ POWER/LIGHT POLE	○ HANDICAP		-U- OVERHEAD UTILITY LINE	-C- CONTOUR LINE	FFE FINISHED FLOOR ELEVATION		○ HARDWOOD TREE
									○ PINE TREE

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNSAID PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

© COPYRIGHT 2018 - BOUNDARY ZONE, INC.
THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.

TOTAL AREA: 0.990 ACRES / 43,528 SQUARE FEET
BOUNDARY REFERENCE: DEED BOOK 49814, PAGE 461
FIELDWORK PERFORMED ON 09/20/2018

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 279,496 FEET.

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION.
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A RELATIVE POSITIONAL ACCURACY OF 0.03 FEET.



BOUNDARY zone inc. LAND SURVEYING SERVICES & LAND PLANNING SERVICES
SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING
WWW.BOUNDARYZONE.COM (770) 271-5772

MUWANEE (770) 271-5772
444 SATELLITE BLVD, SUITE 250
SAVANNAH, GA 30244
ATLANTA (404) 446-4187
1100 PEACHTREE STREET, SUITE 200
ATLANTA, GA 30308
KENNESAW (678) 734-4993
975 CORB PLACE BLVD, SUITE 101
KENNESAW, GA 30144

PROJECT
1986801
SHEET
1 OF 1



CEDAR RD
CANEY CT
ROCKINGWOOD

JACKSON SHOALS CT

LILBURN INDUSTRIAL WAY

ARCADIA INDUSTRIAL CIR

RIVER POINTE CT

WAYSIDE CT

RIVER POINTE DR

SWINGERS DR

RIVERMEADE DR

SAROW LAKE DR

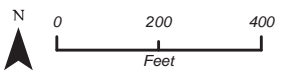
NEWPORT LN

GOLD STREET

DIAMOND BLF


 SUP2018-00064

Printed: October 9, 2018



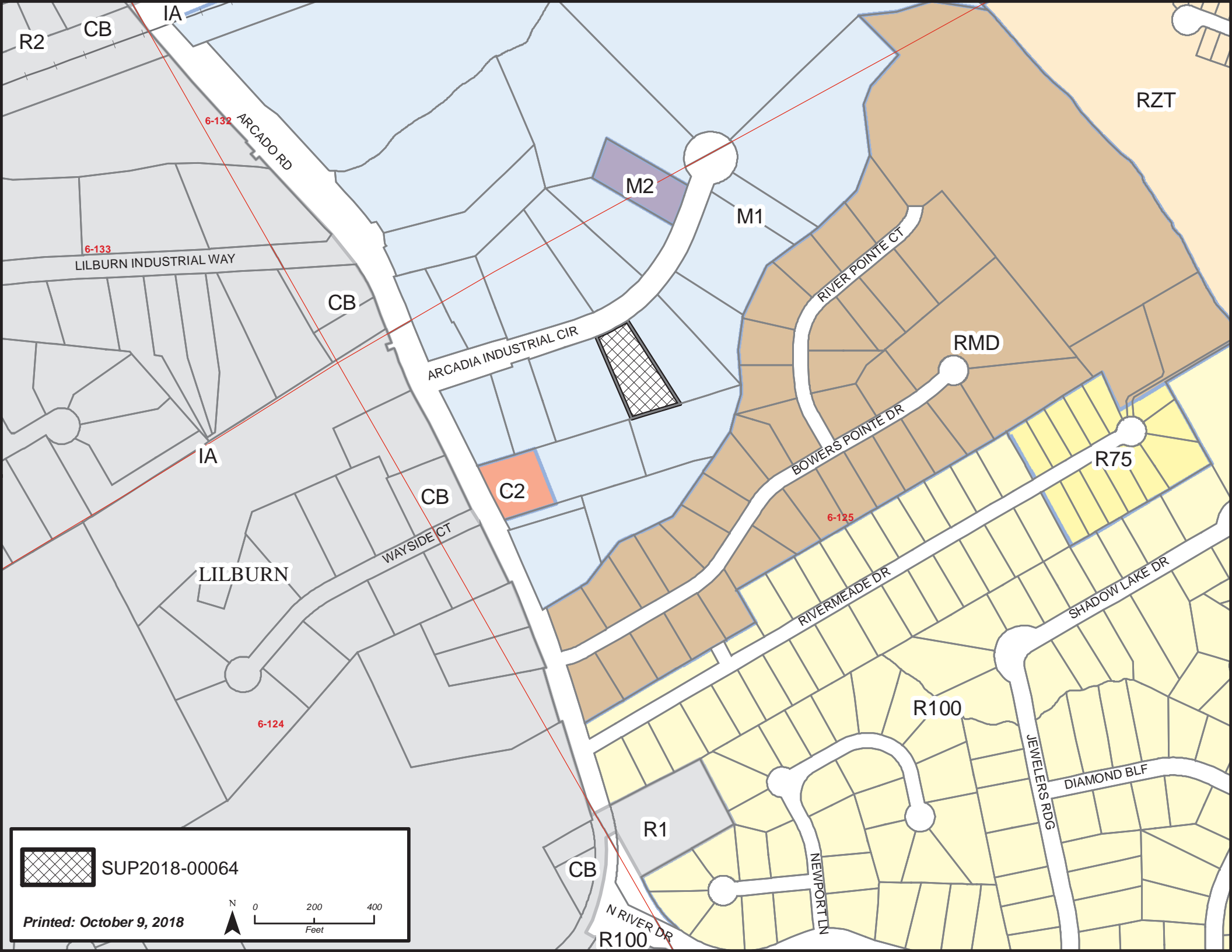
ARCADIA INDUSTRIAL CIR



 SUP2018-00064

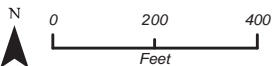
Printed: October 9, 2018

N
0 50 100
Feet



SUP2018-00064

Printed: October 9, 2018



**GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
SPECIAL USE PERMIT ANALYSIS**

CASE NUMBER :**SUP2018-00065**
ZONING :M-1
LOCATION :4100 BLOCK OF SHACKLEFORD ROAD
MAP NUMBER :R6209 003
ACREAGE :14.61 ACRES
SQUARE FEET :23,057 SQUARE FEET
PROPOSED DEVELOPMENT :ADULT DAY CARE CENTER
COMMISSION DISTRICT :(1) BROOKS

FUTURE DEVELOPMENT MAP: **PREFERRED OFFICE**

APPLICANT: SUZIE HOME CARE INC.
D/B/A LOVING HANDS SENIOR CENTER
2211 BEAVER RUIN ROAD, UNIT 190-A
NORCROSS, GA 30071

CONTACT: YOUNG SOON CHO PHONE: 770.309.3788

OWNER: WRC/QV GWINNETT OFFICE, LLC
700 N. PEARL STREET, SUITE N1650
DALLAS, TX 75201

DEPARTMENT RECOMMENDATION: **APPROVAL WITH CONDITIONS**

PROJECT DATA:

The applicant is requesting a Special Use Permit in M-1 (Light Industry District) zoning to operate an Adult Day Care for senior adults. The subject property is the Gwinnett Commons multi-tenant office development, located on Shackleford Road across from Corporate Drive.

The proposed use would occupy a 23,057 square foot portion (approximately 50%) of Building 4155. The subject property is 14.61 acre pin size and houses several additional office buildings, associated driveways and parking areas. Per the letter of intent, a total of 155 parking spaces are dedicated to Building 4155. The day care would accommodate as many as 150-200 seniors. The hours of operation would be from 9:00 am to 4:00 pm, Monday through Friday. A range of activities would include health classes, arts and crafts, and exercise activities, among others.

ZONING HISTORY:

In 1970, the subject property was zoned R-75 (Single-Family Residence District). It was rezoned to M-1 in 1972, per an Areawide zoning action.

GROUNDWATER RECHARGE AREA:

The subject property is not located within a Significant Groundwater Recharge Area.

WETLANDS INVENTORY:

The subject property does not contain areas, streams and/or bodies of water depicted as wetlands on the U.S. Department of the Interior, Fish and Wildlife Service – National Wetlands Inventory map on file with the Gwinnett County Department of Planning and Development.

OPEN SPACE AND GREENWAY MASTER PLAN:

No comment.

DEVELOPMENT REVIEW SECTION COMMENTS:

No comment.

STORMWATER REVIEW SECTION COMMENTS:

All stormwater best management practices will be applicable upon development permit issuance.

The property appears to contain stream buffers and floodplain. The proposed conceptual plan may require revision to show the appropriate stream buffers and floodplain.

GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION COMMENTS:

Shackleford Road is a Minor Arterial and 40 feet of right-of-way is required from the centerline, with 50 feet required within 500 feet of a major intersection.

GWINNETT COUNTY ENVIRONMENTAL HEALTH COMMENTS:

No comment.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES COMMENTS:

The available utility records show that the subject development is currently in the vicinity of a 12-inch water main located on the northwest right-of-way of Shackleford Road.

Demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. Current Gwinnett County Standards require a minimum of 12-inch pipe size for commercial developments and a minimum of 8-inch pipe size for residential developments, including connections to existing mains. This department makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

The available utility records show that the subject development is currently in the vicinity of an 8-inch and a 36-inch sanitary sewer main located on parcel R6209 003.

The subject development is located within the Beaver Ruin service area. This does not guarantee there is sewer capacity to serve this development. Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development.

Demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development and will not be provided by this department. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Stormwater facilities must comply with the current Gwinnett County codes and ordinances.

Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Master water meters are only allowed under certain conditions to be approved by Gwinnett County. If there are multiple owners within one property, master meters will

not be allowed. Individual water meters must be placed off of county-maintained water mains.

BUILDING CONSTRUCTION SECTION COMMENTS:

Building Plan Review has no objections under the following conditions:

1. The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for any proposed interior tenant space modifications for review and approval by Building Plan Review.
2. Upon completion of plan review approvals, the applicant shall obtain a building permit for any proposed modification/renovation work and achieve satisfactory field inspections for issuance of a Certificate of Occupancy.

For assistance, you may contact this office at 678.518.6000 Monday through Friday from the hours of 8:00 a.m. to 5:00 p.m.

GWINNETT COUNTY FIRE SERVICES COMMENTS:

A fire sprinkler system may be required per the Life Safety Code based on the interior design of the facility.

A fire alarm system is required to be installed per the Life Safety Code.

All plans and specifications for the required fire alarm and sprinkler system are to be submitted for review and approval and a Certificate of Occupancy is to be obtained prior to opening after the completed field inspections.

Plans drawn by a State of Georgia licensed Architect is required to be submitted for review and approval for Day Care Centers per Gwinnett County Fire Prevention and Protection Ordinance 2012 section 46-45 and a Certificate of Occupancy is to be obtained prior to opening after the completed field inspections.

Depending on the level of care provided, this facility may fall under the jurisdiction of the State Fire Marshal.

For assistance, you may contact our office at (678) 518-6000, Monday through Friday, from the hours of 8:00 am to 5:00 pm.

DEPARTMENT ANALYSIS:

The applicant is requesting a Special Use Permit in M-1 (Light Industry District) zoning to operate an Adult Day Care for senior adults. The subject property is the Gwinnett

Commons multi-tenant office development, located on Shackleford Road across from Corporate Drive.

The 2030 Unified Plan Future Development Map indicates the property is located within a Preferred Office Character Area. The request for a Special Use Permit could be seen as consistent with established policies for the area, where office buildings are a recommended use, but residential and neighborhood service uses could be mixed either vertically or horizontally.

The surrounding area is characterized by commercial properties zoned C-2 and C-3 to the west, and office and light industrial uses zoned M-1 to the south and west. Across Bromolow Creek to the northeast is Radloff Middle School. The site is bounded on the northwest by the Interstate 85 corridor. The Gwinnett Commons development is located on Shackleford Road which is an arterial roadway, near the intersection of Interstate Highway 85 and Steve Reynolds Boulevard. In the staff's opinion, the site provides adequate access and parking for the proposed use. If properly conditioned, the proposed adult daycare center could be a compatible use within the Gwinnett Commons office park, and could suit the area given the mix of office and institutional uses in the vicinity.

The proposed adult daycare center within the existing building could be appropriate with conditions to ensure compatibility with the intent of the Unified Plan and the existing neighboring uses; therefore, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of this request.

PLANNING AND DEVELOPMENT DEPARTMENT
RECOMMENDED CONDITIONS

Approval of a Special Use Permit for a Senior Adult Daycare Facility, subject to the following conditions:

1. Office, institutional, and light industrial uses which may include a senior adult daycare facility as a Special Use Permit, serving no more than 150 adult clients at any time.
2. All adult daycare activities shall take place indoors, and shall be supervised by an employee of the daycare center.
3. Prior to the start of daycare operations, obtain any necessary permits to bring the structure and property up to all applicable building, fire and life safety codes, and obtain a Certificate of Occupancy.
4. Pick-up and drop-off of daycare clients shall occur on-site, on approved paved surfaces, and shall not impede traffic along Shackelford Road.
5. Hours of operation for the senior adult daycare facility shall be between 8:00 a.m. and 5:00 p.m., Monday through Friday.
6. Any new window, wall or ground signage shall not exceed the Gwinnett County Sign Ordinance, and shall be subject to review and approval by the Director of Planning & Development.
7. Wall signage shall only utilize neutral (non-white earth tone) background colors for the sign cabinet.
8. Window signage (signs displayed on the interior or exterior of the daycare windows) shall be prohibited, except for open/closed signs or signs required by county, state or federal law. Flashing or blinking signs and exposed neon or LED signs shall be prohibited. Exposed or visible lighting strips mounted on the building or around window frames shall be prohibited.
9. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar materials shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-walkers or sign-twirlers shall be prohibited.
10. Owner shall repair or repaint any graffiti or vandalism that occurs on the property within 72 hours.

PLANNING AND DEVELOPMENT DEPARTMENT RECOMMENDATIONS
STANDARDS GOVERNING THE EXCERSISE OF ZONING

SUITABILITY OF USE

Given the size of the property and adequate parking facilities, the requested Special Use Permit allowing a senior adult daycare center could be suitable at this location.

ADVERSE IMPACTS

With the recommended conditions, potential impacts on existing office uses in the neighboring buildings could be reduced.

REASONABLE ECONOMIC USE AS ZONED

The property has a reasonable economic use as currently zoned.

IMPACT ON PUBLIC FACILITIES

Some impacts on public facilities in the form of additional utility demand and traffic could be anticipated.

CONFORMITY WITH POLICIES

The requested Special Use Permit could be considered compatible with the 2030 Unified Plan regarding Preferred Office character areas. Additionally, the Board has approved a number of similar facilities throughout the County in M-1 zoned office parks.

CONDITIONS AFFECTING ZONING

If approved with the recommended conditions, the proposed adult daycare center could be compatible and appropriate for the subject site as it would have few impacts to the area which is heavily developed with office, retail, and light industrial uses.

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Yes

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

No

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Yes

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

No

RECEIVED BY

OCT 04 2018



SUZIE HOME CARE

2211 Beaver Ruin Rd., Unit 190-A, Norcross, GA 30071
T: 770-837-0218 / F: 770-497-4993 / email: suziehomecare@gmail.com

Letter of Intent

Suzie Home Care Inc.
DBA Loving Hands Senior Center
2211 Beaver Ruin Rd Unit 190A
Norcross, GA 30071

10/03/2018

Gwinnett County Planning Division
Special Use Permit Application
446 West Crogan Street, Ste 250
Lawrenceville, GA 30046

To Whom It May Concern:

Suzie Home Care, Inc. DBA Loving Hands Senior Center is submitting this letter of intent to apply for a special use permit to include use as a Senior Day Center. We strongly believe the Senior Day Center services will benefit to the local community seniors. Our center promote well-being and quality of life by providing social and health-related services and also offer nutritious meals and snacks to accommodate special diets.

Anticipate Business Hours:

- Monday – Friday: 9:00 am ~ 4:00 pm

Member Size:

- 150~200 seniors

Activities provided:

- Adult health classes
- Arts and crafts
- Educational activities
- Exercise appropriate to ability
- Games that provide mental stimulation
- Music therapy, entertainment and singing

Acres or size of the tract

- 14.6100 Acres

RECEIVED BY

OCT 04 2018

Planning & Development

SUN 10 05



SUZIE HOME CARE

2211 Beaver Ruin Rd., Unit 190-A, Norcross, GA 30071
T: 770-837-0218 / F: 770-497-4993 / email: suziehomecare@gmail.com

Square feet and unit # of proposed property

- 23,057 Square feet
- 4155 Building, Unit 200

Current Zoning

- M-1

Number of Parking spaces

- 155 spaces dedicated to the 4155 Building

Building Height

- 16 feet to the deck

No change to the buffers is being requested.

Ms. Katherine Min, the owner representative of Suzie Home Care, Inc DBA Loving Hands Senior Center is authorized to respond to questions regarding the application. She can be reached at 770-309-3788 or by email at kathymin118@gmail.com.

Sincerely,

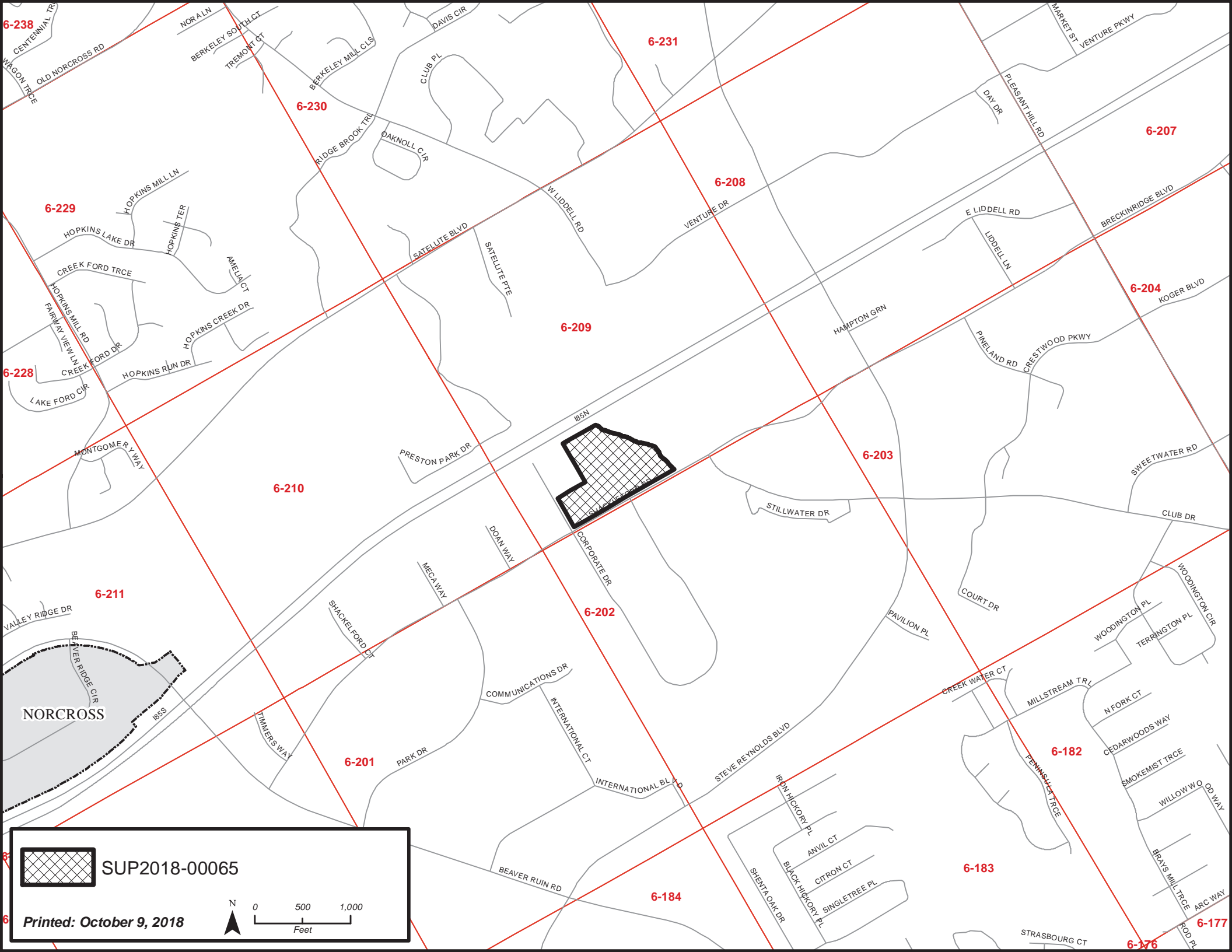
Young Soon Cho
Suzie Home Care, Inc.
DBA Loving Hands Senior Center

RECEIVED BY

OCT 04 2018

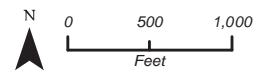
Planning & Development

SEP 18 065



 SUP2018-00065

Printed: October 9, 2018



6-176 6-177

ZONING SITE REQUIREMENTS
ZONING INFORMATION SHOWN WAS PROVIDED BY ZONING INFO. INC. REPORT PREPARED JULY 6, 2018.

- 1. THIS PROPERTY IS ZONED M-1 (LIGHT INDUSTRY DISTRICT)
- MINIMUM LOT AREA IS 1 ACRE
- MINIMUM LOT WIDTH IS 300 FEET
- MINIMUM FRONT BUILDING SETBACK IS 50 FEET
- MINIMUM SIDE YARD BUILDING SETBACK IS 30 FEET
- MINIMUM REAR YARD BUILDING SETBACK IS 30 FEET
- MINIMUM BUILDING HEIGHT IS 45 FEET
- NO MINIMUM BUILDING SET BACK IS REQUIRED

PARKING SPACE DATA
Parking Requirements

Minimum Parking Required (Table 201-1), 1,588 Total Parking Spaces

- Manufacturing - 1 Parking Space per 2,000 Square Feet (150,000 Square Feet = 75 Parking Spaces)
- Laboratory - 1 Parking Space per 1,000 Square Feet (100,000 Square Feet = 100 Parking Spaces)
- Office - 1 Parking Space per 300 Square Feet or 1,500 Square Feet = 500 Parking Spaces
- Warehouse (including offices) - 1 Parking Space per 2,000 Square Feet (200,000 Square Feet = 100 Parking Spaces)

Maximum Parking Permitted (Table 201-1), 2,280 Total Parking Spaces

- Manufacturing - 1 Parking Space per 1,000 Square Feet (150,000 Square Feet = 150 Parking Spaces)
- Laboratory - 1 Parking Space per 500 Square Feet (100,000 Square Feet = 200 Parking Spaces)
- Office - 1 Parking Space per 225 Square Feet or 1,125 Square Feet = 200 Parking Spaces
- Warehouse (including offices) - 1 Parking Space per 300 Square Feet (200,000 Square Feet = 667 Parking Spaces)

Open Parking Space Density:

- 0.50 Parking Spaces / 100 sq. ft. of lot area
- 0.25 Parking Spaces / 100 sq. ft. of lot area
- 0.10 Parking Spaces / 100 sq. ft. of lot area

Does the existing parking meet the existing parking requirements?

No, the existing parking does not meet the existing parking requirements.

Conformance Status

It is important to note that compliance with a code does not mean that the Law and Practice, and the code, and the project, are in compliance with all applicable laws and regulations. Compliance with a code does not mean that the project is in compliance with all applicable laws and regulations. Compliance with a code does not mean that the project is in compliance with all applicable laws and regulations.

In the existing project, a compliance with a code does not mean that the project is in compliance with all applicable laws and regulations. Compliance with a code does not mean that the project is in compliance with all applicable laws and regulations.

Yes, the Law is in compliance.

No, the property is in compliance with all applicable laws and regulations.

Deficiencies:

- 1) The existing parking exceeds the minimum provided by M1 Parking Spaces.

Recommendation:

- 1) Continue with a New/Existing Building.

Notes:

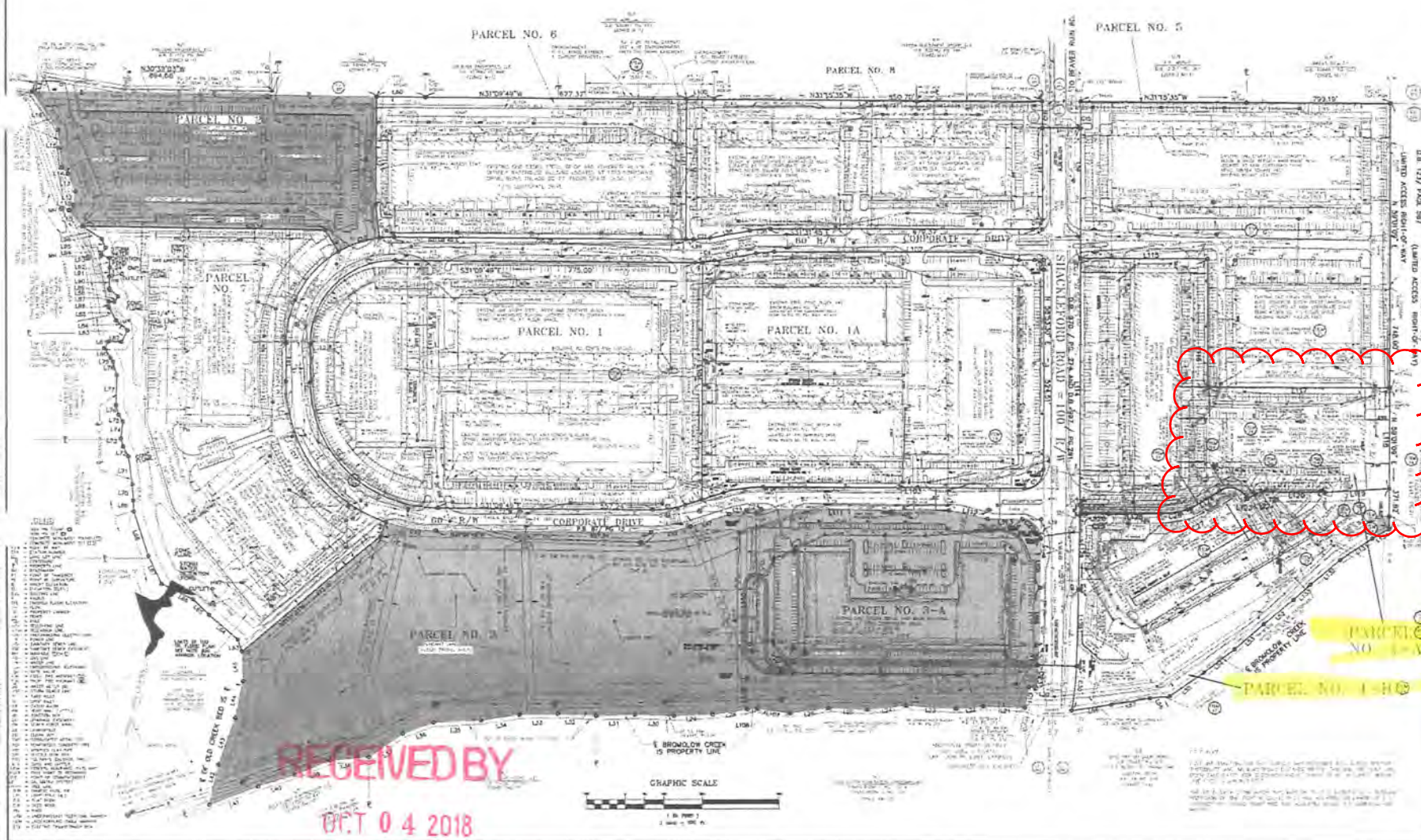
- 1) A new/Existing Building existing at the time of the enactment of the Ordinance may be exempted from the Ordinance if it is not required to be altered, expanded or otherwise subject to enforcement with the Ordinance but it may be required to be altered, expanded or otherwise subject to enforcement with the Ordinance.
- 2) The Building after such a new/Existing Building existing at the time of enactment, shall be subject to enforcement with the Ordinance, provided that such enforcement is a result of the fact, such enforcement, or other enforceable.

Additional Information:

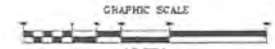
The Property is in compliance with all applicable laws and regulations in the Zoning Code subject to enforcement with the Ordinance.

ACREAGE CHART

PARCEL NO. 1	=	14,342 ACRES
PARCEL NO. 1A	=	12,457 ACRES
PARCEL NO. 4A	=	7,968 ACRES
PARCEL NO. 4B	=	5,647 ACRES
PARCEL NO. 5	=	11,166 ACRES
PARCEL NO. 6	=	6,805 ACRES
PARCEL NO. 7	=	11,491 ACRES
PARCEL NO. 8	=	7,265 ACRES
TOTAL AREA	=	76,161 ACRES



RECEIVED BY
DPT 0 4 2018



Planning & Development

SUP '18 065

h
Hayes James
CORPORATE, REAL ESTATE & FINANCIAL SERVICES
4145 SHACKLEFORD ROAD
SUITE 300
NORCROSS, GEORGIA 30063
TEL: (770) 923-1600
FAX: (770) 923-4202
CORPORATE & FINANCIAL SERVICES
4145 SHACKLEFORD ROAD
SUITE 300

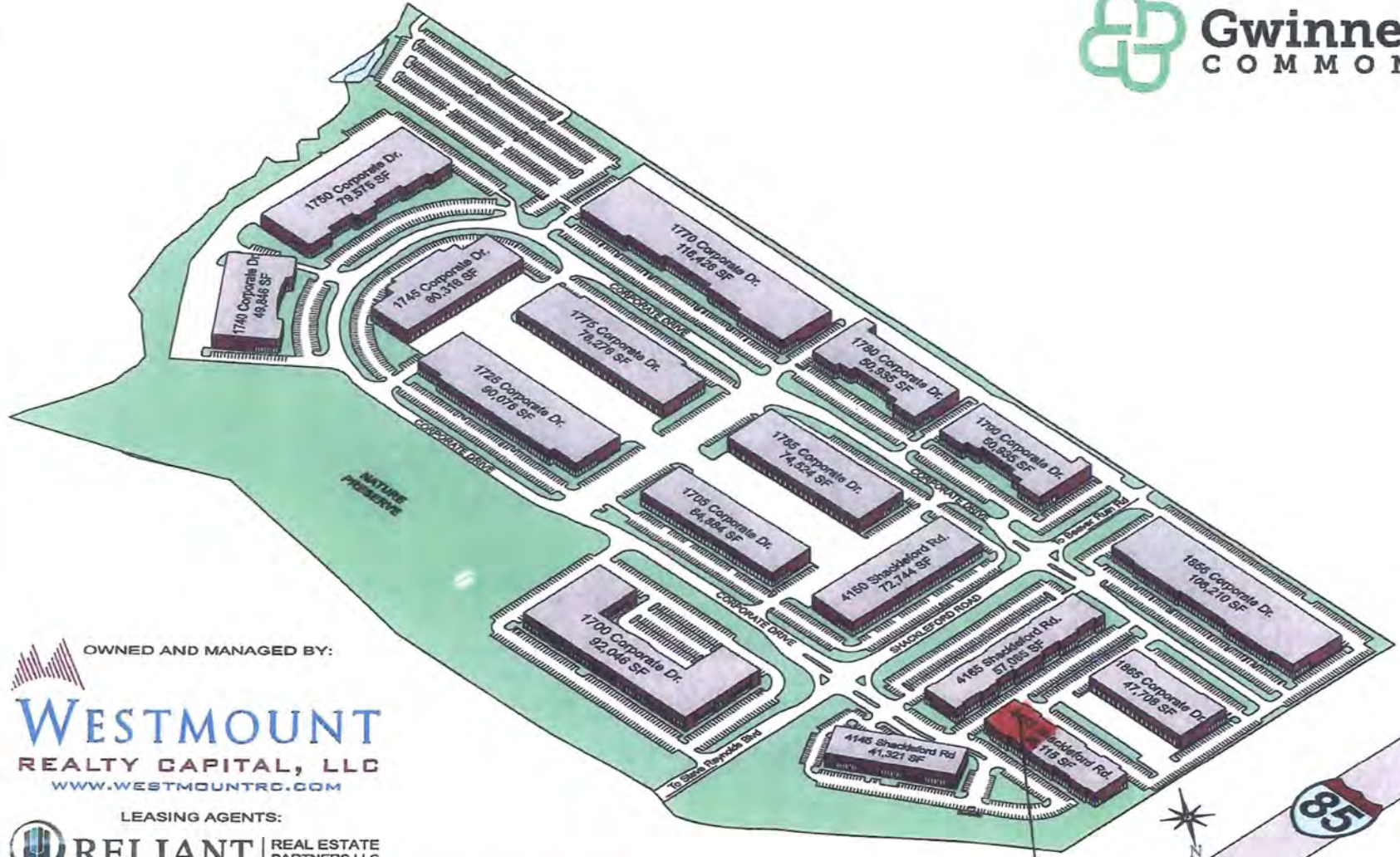
AIT MCM LAND TITLE SURVEY FOR
WRCOV GWINNETT INDUSTRIAL, LLC; WRCOV GWINNETT OFFICE, LLC;
WRCOV GWINNETT LAND, LLC; ENCOR OFF COMPANY, LLC; a balance limited liability company;
KREB CAPITAL, LLC; a limited liability company;
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

PROJECT LOCATION
Lot: 202 and 203
County: Gwinnett
State: Georgia

Printed on 164662
Drawn By: TH
Checked By: SBR
Date: July 6, 2018

REVISIONS	DATE	BY	DESCRIPTION

© Copyright 2018 Hayes James & Associates, Inc.
This drawing is the property of Hayes James & Associates, Inc. and is not to be reproduced or used in any way without the written consent of Hayes James & Associates, Inc.
Sheet Number
2 - 3



OWNED AND MANAGED BY:

WESTMOUNT
REALTY CAPITAL, LLC
WWW.WESTMOUNTRC.COM

LEASING AGENTS:

RELIANT REAL ESTATE PARTNERS LLC
404-760-7180
WWW.RELIANT-RE.COM

RECEIVED BY

OCT 04 2018

Planning & Development

SUP '18 065

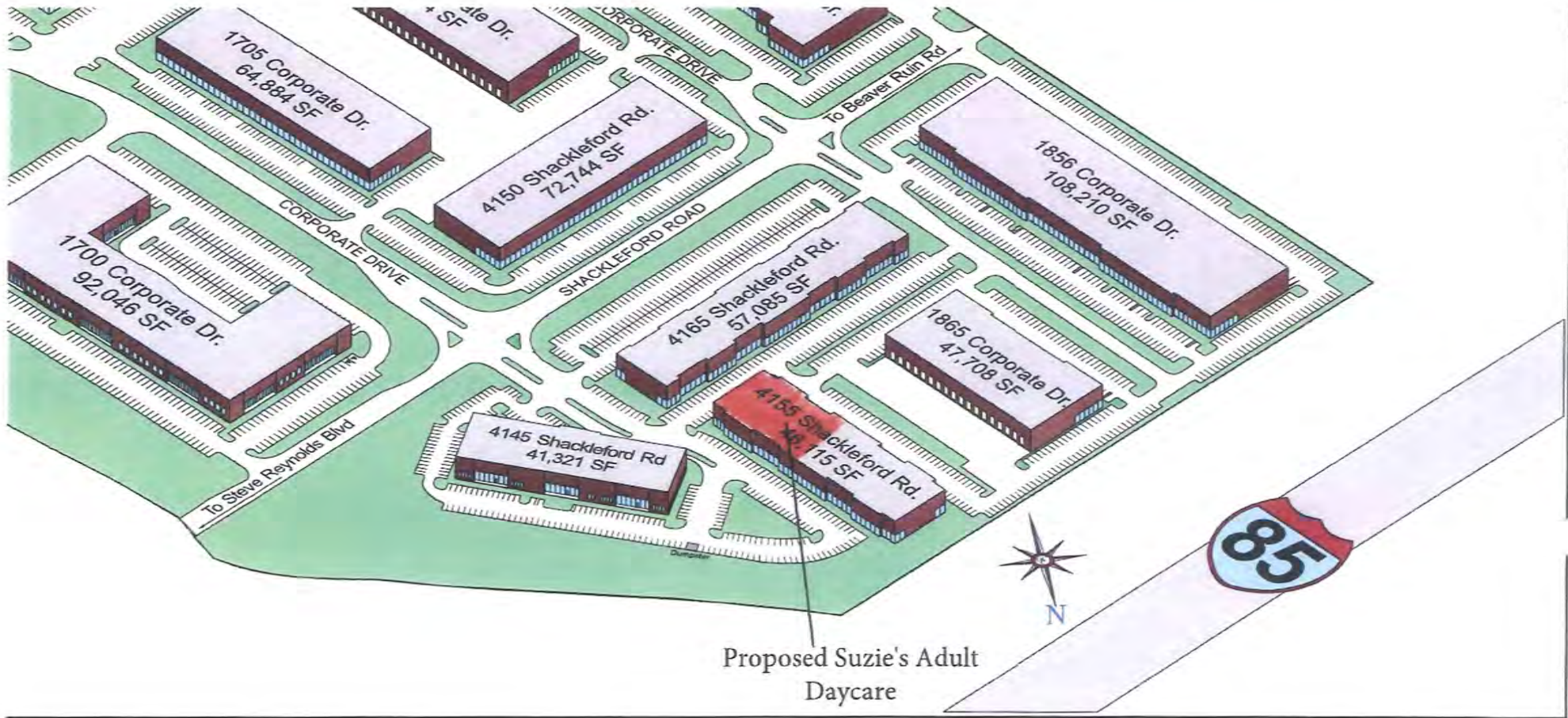
Proposed Suzie's Adult Daycare

Planning & Development

MAY 4 2018

RECEIVED BY

SEP 18 05



Proposed Suzie's Adult Daycare



SUP2018-00065



0 200 400
Feet

Printed: October 9, 2018



185S

185N

SHACKLEFORD RD

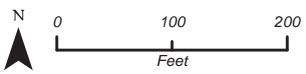
CORPORATE DR

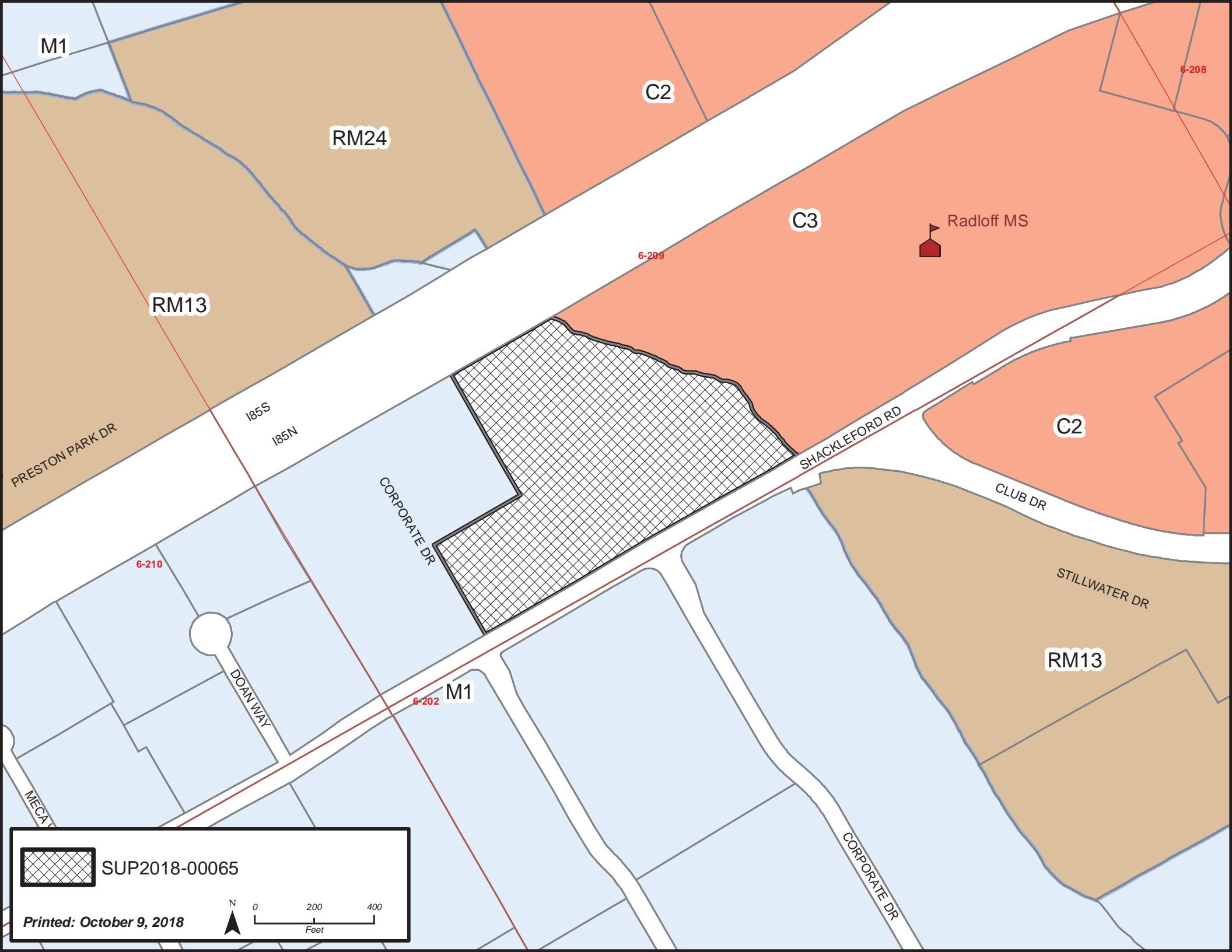
CORPORATE DR



SUP2018-00065

Printed: October 9, 2018





M1

C2

RM24

C3

Radloff MS

RM13

185S
185N

6-209

C2

PRESTON PARK DR

CORPORATE DR

SHACKLEFORD RD

CLUB DR

6-210

STILLWATER DR

DOAN WAY

6-202

M1

RM13

MECCA

CORPORATE DR

 SUP2018-00065

Printed: October 9, 2018

