



Planning Commission Public Hearing Agenda

Tuesday, August 5, 2025 at 7:00pm

75 Langley Drive, Lawrenceville, Georgia 30046

- A. Call To Order, Moment of Silence, Pledge to Flag
- B. Opening Remarks by Chairman and Rules of Order
- C. Approval of Agenda
- D. Approval of Minutes:
 - July 1, 2025
- E. Announcements
- F. New Business

- 1. Case Number: **SUP2025-00012**
Applicant: Asfaw Ambaye
c/o Genuine Mapping & Design
Contact: David Johnson
Phone Number: 678.557.0384
Zoning: C-2
Location: 4934 Stone Mountain Highway
Map Number: R6057 010 (Portion)
Acreage: 1.65
Square Footage: 5,222
Proposed Development: Vehicle Repair and Service Establishment
Additional Requests: Variances
Commission District: (2) Ku
Department Recommendation: **APPROVAL WITH CONDITIONS**
- 2. Case Number: **SUP2025-00013**
Applicant: Michael Ayo
Contact: Michael Ayo
Phone Number: 770.617.7000
Zoning: M-1
Location: 4139 Arcadia Industrial Circle
Map Number: R6125 022
Acreage: 1.0
Square Footage: 7,025
Proposed Development: Vehicle Repair, Service,
and Body Work Establishment (Renewal)
Commission District: (2) Ku
Department Recommendation: **APPROVAL WITH CONDITIONS**

3. Case Number:
Applicant:

Contact:
Phone Number:
Zoning Change:
Location:
Map Number:
Acreage:
Units:
Proposed Development:
Additional Requests:
Commission District:
Department Recommendation:

REZ2025-00016
Reliant Homes GA, LLC
c/o Mahaffey Pickens Tucker, LLP
Gabrielle Schaller
770.232.0000
MH to R-TH
3235 Langley Road
R5125 037
14.36
129
Townhouses
Variance
(3) Watkins
APPROVAL WITH CONDITIONS

4. Case Number:
Applicant:

Contact:
Phone Number:
Zoning Change:
Location:
Map Numbers:
Acreage:
Units:
Proposed Development:
Additional Requests:
Commission District:
Department Recommendation:

REZ2025-00017
Dynamic Investment & Holdings, LLC
c/o LJA Engineering, Inc.
Tyler Lasser
470.202.9321
R-75 and RA-200 to R-60
94, 100, 110 and the 100 Block of Harmony Grove Road
R6137 036C, 036D, 144, and 215
12.61
15
Single-Family Detached Subdivision
Waivers
(2) Ku
APPROVAL WITH CONDITIONS

G. Audience Comments

H. Committee Reports

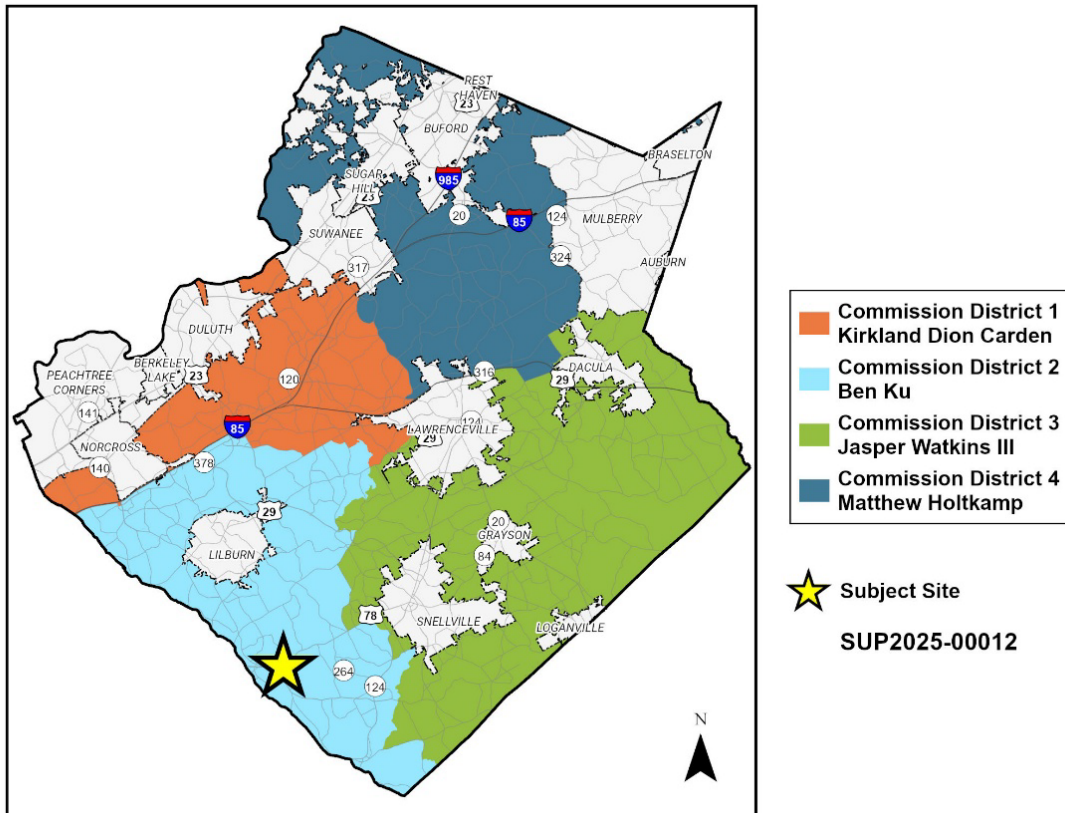
I. Comments By Staff and Planning Commission

J. Adjournment

PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: SUP2025-00012
Current Zoning: C-2 (General Business District)
Request: Special Use Permit
Overlay District: Highway 78 Corridor Overlay District
Additional Requests: Variances
Address: 4934 Stone Mountain Highway
Map Number: R6057 010 (Portion)
Site Area: 1.65 acres
Square Feet: 5,222
Proposed Development: Vehicle Repair and Service Establishment
Commission District: District 2 – Commissioner Ku
Future Development Type: Neighborhood Low Mix

Staff Recommendation: **APPROVAL WITH CONDITIONS**



Owner: Asfaw Ambaye
4525 Sunlight Court
Lilburn, GA 30047

Phone: 678.557.0384

Location	Land Use	Zoning
Proposed	Vehicle Repair and Service	C-2
North	Single-Family Residential (approved) Commercial (Tire Store)	R-TH C-2
East	Commercial (Convenience Store with Fuel Pumps) Single-Family Residential	C-2 R-100
South	Single-Family Residential	R-100
West	Commercial (Tire Store) Single-Family Residential	C-2 R-100

Project Summary

The applicant requests a special use permit for a vehicle repair and service establishment on a 1.65-acre property, including:

- A 5,222-square-foot building with nine vehicle bays, and exterior building materials consisting of brick, stone, and glass.
- 26 parking spaces located to the side and rear of the building.
- A detention pond located south of the parking area, and a dumpster enclosure between the pond and the building.
- A 5-foot-wide walkway with a bench, trash receptacle, and bicycle rack, connecting the building entrance to a multi-use path.
- A 25-foot-wide landscaped buffer along portions of the property lines which abut residential uses, and a 75-foot-wide zoning buffer in the rear of the property.
- A right-in/right-out entrance with a deceleration lane, a 12-foot-wide multi-use path and a 10-foot-wide landscape strip along Stone Mountain Highway.
- Hours of operation from 7 a.m. to 6 p.m., Monday through Friday, with 10 employees.
- The applicant is proposing a dental office on the remaining parcel which is separate from the vehicle repair and service use. The dental office is a permitted use in the C-2 zoning district and is not part of the requested special use permit.

Zoning and Development Standards

The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
FAR	Maximum 1.0	0.07	YES
Lot Coverage	Maximum 80%	55%	YES
Building Height	Maximum 45'	<45'	YES
Parking	Minimum 18 spaces Maximum 26 spaces	26 spaces	YES
Landscape Strip	Minimum 10'	10'	YES
Zoning Buffer	Minimum 75'	25'	NO*

* The applicant is requesting a variance from this standard.

The property is located within the Highway 78 Corridor Overlay District. The applicant is requesting variances from the following overlay standards:

Standard	Meets Standard?
Provide inter-parcel vehicle access points between all contiguous multifamily, commercial, office, industrial or attached residential tracts.	NO
Maximum 30 percent of parking spaces located to the side of the building.	NO

Variance Requests

The applicant is seeking variances from the following provisions of Title II of the UDO:

1. Section 214-20.3 A.1. Activity Center Overlay: Inter-parcel Vehicle Access.

The applicant is requesting not to provide inter-parcel access to the property to the east.

2. Section 214-20.3 E.3. Activity Center Overlay: Off-Street Parking Location

The applicant is requesting to allow more than 30 percent of the parking spaces to be located to the side of the building.

3. Section 230-100.1. Zoning Buffer Requirements

The applicant is requesting to reduce the zoning buffer from 75 feet to 25 feet along the portions of the property lines which are adjacent to single-family detached residential properties.

Public Participation

The applicant held a community meeting on June 27, 2025, on the subject property. There was one community member in attendance who raised concerns about the proposed use and inter-parcel access. The public participation plan and report are shown in Exhibit H.

Internal and External Agency Review

Internal and external agency review comments are attached (Exhibit I). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Special Use Permit Analysis: The standards governing the exercise of zoning power are outlined in Section 270-20.6 of the UDO. Staff makes the following findings related to the zoning requests:

A. Whether a proposed special use permit will permit a use that is suitable in view of the use and development of adjacent and nearby property.

Several auto-oriented businesses are located along Stone Mountain Highway adjacent to the subject property. The proposed use is consistent with the surrounding uses and development patterns, thus suitable in view of the use and development of adjacent and nearby properties.

B. Whether a proposed special use permit will adversely affect the existing use or usability of adjacent or nearby property.

The proposed vehicle repair and service establishment is consistent with existing uses along Stone Mountain Highway; however, as currently designed, the single-family residences to the east and west would be adversely impacted by the reduction of the undisturbed buffer. The special use permit will not adversely affect the existing use or usability of adjacent or nearby property, if adhering to the UDO zoning buffer standards.

C. Whether the property to be affected by a proposed special use permit has a reasonable economic use as currently zoned.

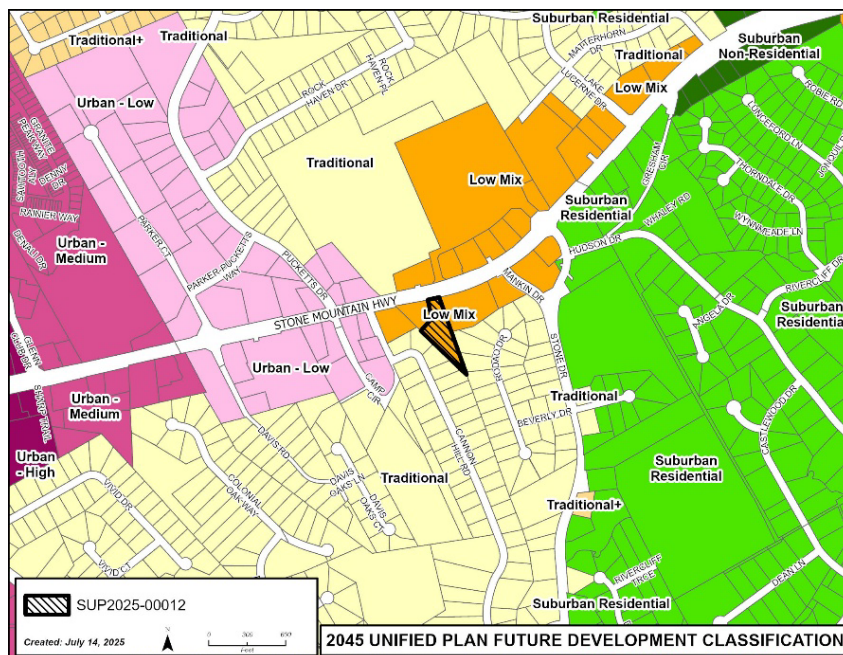
The property has a reasonable economic use as currently zoned.

D. Whether the proposed special use permit will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

An increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. The traffic impact study (Exhibit G) estimated that the proposal will generate 18 morning and 18 evening peak hour trips, and the level of service of key intersections would remain unchanged. No impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit I).

E. Whether the proposed special use permit is in conformity with the policy and intent of the Unified Plan and Future Development Map.

The Unified Plan's Future Development Map indicates "Neighborhood Low Mix" for the subject property, which envisions predominantly residential uses. Although the proposal is not in conformity with the policy and intent of the Unified Plan and Future Development Map, it is compatible with surrounding uses.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed special use permit.

There are no existing conditions giving support for approval or disapproval of the proposal.

Variance Request Analysis: The standards for granting variances are outlined in Section 270-90.7 of the UDO. Staff makes the following findings related to the variance request:

The applicant is requesting three concurrent variances. The first variance is to not provide inter-parcel access to the parcel to the east. There is an existing access easement on the adjacent property and there are no apparent topographical constraints. Approval of this variance request would nullify the intent of the UDO.

The second variance is to allow more than 30 percent of the parking spaces to be located to the side of the building. Due to the unique shape of the property, additional parking to the rear would result in reduction of the zoning buffer. Approval of this variance request would meet the intent of the UDO.

The final variance is to reduce the zoning buffer along portions of the property lines from 75 feet to 25 feet. Given that the property abuts single-family detached subdivisions, approval of this variance would adversely affect the general public welfare and nullify the intent of the UDO.

Staff Recommendation

Based on the staff's evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the special use permit request.

In addition, staff recommends **APPROVAL** of the following variance:

1. To allow more than 30 percent of the parking spaces to be located to the side of the building.

In addition, staff recommends **DENIAL** of the following variances:

1. To not provide inter-parcel access to the property to the east.
2. To reduce the zoning buffer from 75 feet to 25 feet, along portions of the property lines.

Staff Recommended Conditions

Approval of a special use permit for a vehicle repair and service establishment, subject to the following conditions:

1. The special use of the property shall be limited to a vehicle repair and service establishment, with the following uses prohibited:
 - a. Vehicle sales.
 - b. Salvage of inoperable vehicles.
 - c. Outdoor storage of automobile parts or tires.
2. All repair activities shall take place indoors.

3. The proposed development shall be constructed in general conformance with Exhibit C: Building Elevations, dated received May 16, 2025, with revisions required by conditions of approval and the Unified Development Ordinance, subject to the review and approval of the Department of Planning and Development.
4. A right-in/right-out entrance with a deceleration lane shall be provided along Stone Mountain Highway, prior to the issuance of a Certificate of Occupancy, subject to the review and approval of the Georgia Department of Transportation (GDOT).

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Application and Disclosure of Campaign Contributions
- F. DWR Sewer Capacity Certification Letter
- G. Traffic Impact Study
- H. Public Participation Plan and Report
- I. Internal and External Agency Review Comments
- J. Maps

Exhibit A: Site Visit Photos



View of the existing metal building



View of Stone Mountain Highway facing east



View of the existing deceleration lane to the adjacent property to the east



Approximate location of the existing access easement on the adjacent property to the east

Exhibit B: Site Plan

[attached]

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

7.14.2025

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

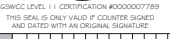
RECEIVED

7.14.2025

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

7.14.2025



GSWCC LEVEL II CERTIFICATION #0000007789
THIS SEAL IS ONLY VALID IF COUNTER SIGNED
AND DATED WITH AN ORIGINAL SIGNATURE

[illegible]

COMMERCIAL DEVELOPMENT PLANS
FOR
ASFAW AMBAYE
AT
4934 STONE MOUNTAIN HWY
GWINNETT COUNTY, GEORGIA

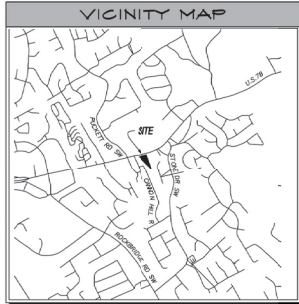
ZONING
PLAN

SCALE: 1" = 40'
DATE: MAY 27, 2025
PROJECT: GWN-57-1



SHEET NUMBER

ZP-01



BUFFER NOTE

BUFFER NOTE

DEVELOPER SHALL PROVIDE A TWENTY-FIVE (25) FOOT (APPROXIMATELY 230 LF) RE-GRATED AND RE-PLANTED BUFFER IN THE REAR OF THE RESIDENTIAL ZONED PROPERTY. DEVELOPER SHALL PROVIDE A TWENTY-FIVE (25) FOOT (APPROXIMATELY 60 LF) RE-GRATED AND RE-PLANTED BUFFER IN THE FRONT OF THE PROPERTY. THE TWENTY-FIVE (25) FOOT RE-GRATED AND RE-PLANTED BUFFER SHALL INCLUDE TWO (2) ROWS OF STAGGERED EVERGREEN TREES THAT ARE AT LEAST 50' (60 FEET TALL AT THE TIME OF INSTALLATION PLANTED IN THE REAR OF THE PROPERTY.

DEVELOPER SHALL PROVIDE AN OVERLAPPING SEVEN-FIVE (75) FOOT (APPROXIMATELY 310 LF) PLANTED BUFFER IN THE REAR OF THE PROPERTY AND THE RESIDENTIAL ZONED ADJACENT PROPERTIES. THE OVERLAPPING SEVEN-FIVE (75) FOOT PLANTED BUFFER SHALL STAGGERED EVERGREEN TREES THAT ARE AT LEAST 50' (60 FEET TALL AT THE TIME OF INSTALLATION PLANTED IN THE REAR OF THE PROPERTY. THE BUFFER SHALL BE COMPOSED OF A MIXTURE OF 6 DIFFERENT SPECIES FROM THE APPROVED GWINNETT COUNTY TREE SPECIES LIST.

NOTES

- | NOTES | |
|-------|---|
| 1. | THIS PROPOSED DEVELOPMENT SHALL COMPLY WITH OVERLAY DISTRICT STREETSCAPE SECTION 214-20.3. B-D. |
| 2. | DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. |



TYPICAL PARKING SPACE DIMENSIONS

SCALE: N.T.S.

SITE DATA CHART

CURRENT ZONING OF PROPERTY	C2 (GENERAL BUSINESS DISTRICT)
PROPOSED USE	AUTOMOTIVE REPAIR & TUNING OFFICE
TOTAL SITE AREA	2.48 ACRES
R/W DEDICATION	0.05 ACRES
LOT 1 AREA	0.78 ACRES
LOT 1 DISTURBED AREA	0.60 ACRES
LOT 1 IMPERVIOUS AREA	0.50 ACRES (64% OF LOT 1 SITE AREA)
LOT 1 FAR	0.19
LOT 1 COVERAGE (%)	77
LOT 2 AREA	1.65 ACRES
LOT 2 DISTURBED AREA	0.90 ACRES
LOT 2 IMPERVIOUS AREA	0.50 ACRES (30% OF LOT 2 SITE AREA)
LOT 2 FAR	0.07
LOT 2 COVERAGE (%)	55
BUILDING SETBACKS	
FRONT SETBACK	0'
SIDE SETBACK	0'
REAR SETBACK	0'
MAXIMUM BUILDING HEIGHT	45'
PROPOSED AUTO REPAIR HEIGHT	24' - 3"
PROPOSED DIST. OFFICE HEIGHT	24' - 0"
TOTAL BUILDING AREA	5,222 SF + 6,300 SF = 11,522 SF
PROPOSED AUTO REPAIR AREA	5,222 SF
PARKING REQUIRED (MIN)	1 SPACE per 300 SF = 17 SPACES
PARKING REQUIRED (MAX)	1 SPACE per 200 SF = 26 SPACES
PARKING PROVIDED	26 SPACES
PROPOSED DIST. OFFICE	6,300 SF
PARKING REQUIRED (MIN)	1 SPACE per 500 SF = 13 SPACES
PARKING REQUIRED (MAX)	1 SPACE per 250 SF = 25 SPACES
PARKING PROVIDED	25 SPACES
TOTAL PARKING PROVIDED	51 SPACES

Exhibit C: Building Elevations

[attached]

5.16.2025



P.O. BOX 631, JEFFERSON, GA 30549
PHONE: (678) 717-4631
BDRERUP@GENUINEMAPPING.COM



GSWCC LEVEL 11 CERTIFICATION #0000007789
THIS SEAL IS ONLY VALID IF COUNTER SIGNED
AND DATED WITH AN ORIGINAL SIGNATURE

[illegible]

COMMERCIAL DEVELOPMENT PLANS

FOR
ASFAW AMBAYE
AT
4934 STONE MOUNTAIN HWY
GWINNETT COUNTY, GEORGIA

SHEET TITLE:
AUTOMOTIVE
REPAIR
ELEVATIONS

SCALE: N.T.S.
DATE: MAY 16, 2025
PROJECT: GWN-57-1

SHEET NUMBER

GRID NORTH-GA. WEST

© 2025 GENUINE MAPPING AND DESIGN, LLC

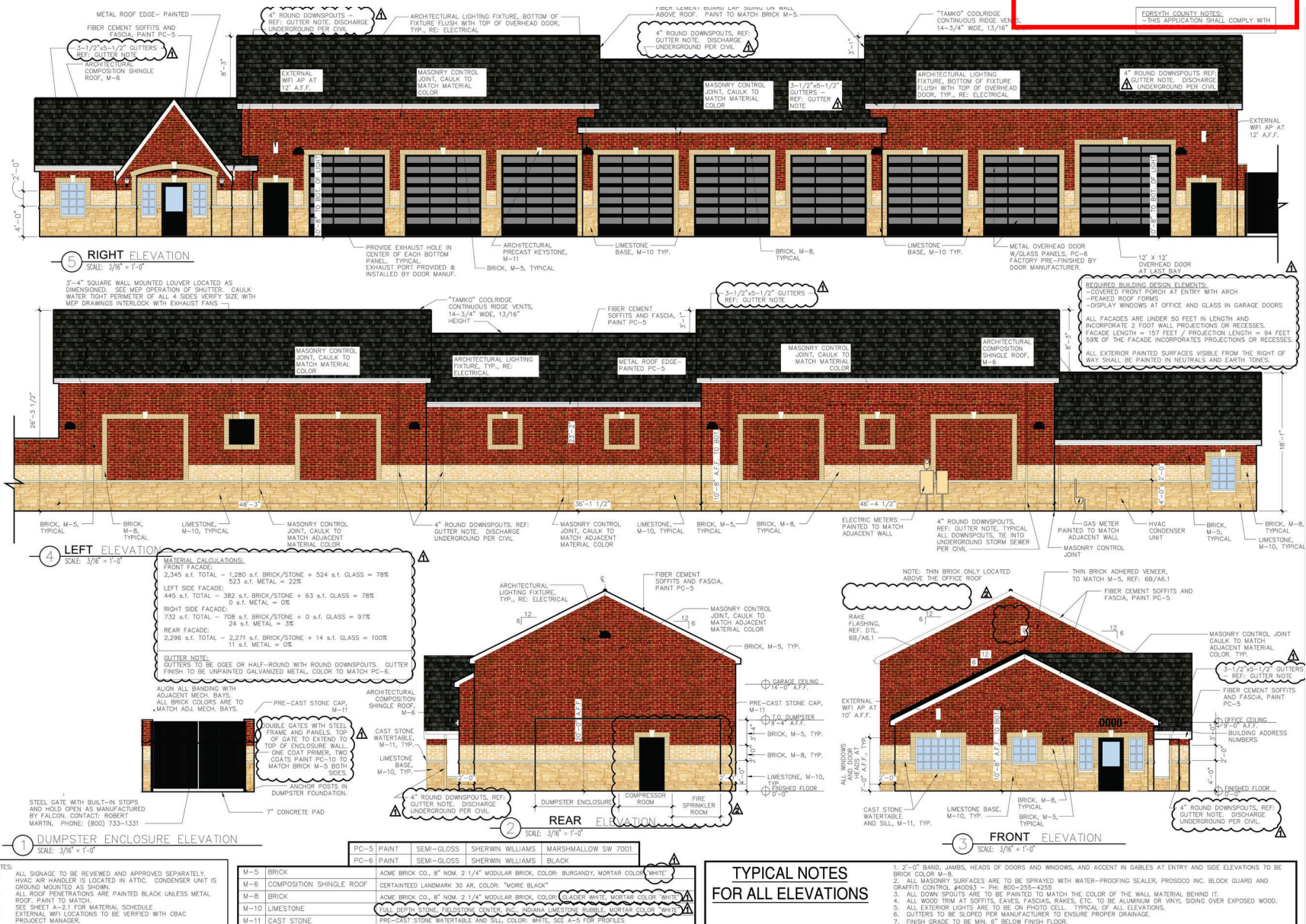


Exhibit D: Letter of Intent and Applicant's Response to Standards

[attached]

Gwinnett County Department of Planning & Development
446 West Crogan Street
Suite 300
Lawrenceville, Georgia 30046



**Re: Special Use Permit w/ Variance Application Letter of Intent
4934 Stone Mountain Highway, Tax Parcel 6057 010**

To Whom it May Concern:

Please accept this letter and attached supplemental documents as an Application for a Special Use Permit with Variances for that 1.65-acre portion of Gwinnett County Parcel #6057 010 designated as Lot 2 on the attached Zoning Plan. Parcel #6057 010 is a 2.48-acre tract of land located at 4934 Stone Mountain Highway in unincorporated Gwinnett County, which is currently Zoned C-2 (General Business District). The property is triangular-shaped having frontage along Stone Mountain Highway of 350-feet and being approximately 677-feet deep. The property lies between a Chevron gas station and a Tires Plus automotive repair business, while the rear of the property adjoins residential housing. The property owner wishes to divide the parcel into 2 lots in order to accommodate a 6,300 sf dental office with associated parking and utilities on Lot 1 and a 5,222 sf automotive repair business with associated parking and utilities on Lot 2 as shown on the attached Zoning Plan.

A Special Use Permit is hereby requested per Gwinnett County UDO Section 211-80.1 (Permitted Uses within Base Non-Residential Zoning Districts) in order to accommodate the development of the automotive repair business on Lot 2 of the proposed development. The automotive repair business would offer a variety of maintenance services and would not perform body work. The hours of operation for the automotive repair business would be Monday thru Friday from 7am – 6pm, closed on Saturday and Sunday. The automotive repair business would have 10 on-site employees. There will be a shared parking agreement between the dentist's office and the automotive repair business. Vehicles awaiting services will be stored in the parking lot on a temporary basis only.

The plan proposes to replant the rear of the parcel in vegetative screening and to concentrate the proposed development in the front of the parcel adjacent to the highway and existing commercial uses. The proposed entrance drive for the development will be shared by Lot 1 and Lot 2. GDOT has been consulted regarding the modification to an existing entrance on Stone Mountain Hwy (U.S.78), and their feedback has been incorporated into the attached plan. This development will utilize public water and public sewer.

Due to the narrow proportions of the rear of the triangular lot the regulatory 75-foot zoning buffers consume much of the lot area. We hereby request a variance to Gwinnett County UDO, Section 230-100.1.C (Zoning Buffer Requirements) to reduce the required 75-foot buffer to a 25-foot buffer for those areas shown on the attached Zoning Plan. The requested buffer reduction for Lot 2 would extend approximately 170-feet along the southern property line and approximately 60-feet along the northern property line as shown on the attached Zoning Plan.

Due to the configuration and grades of the existing adjacent parking areas and drives, along with a lack of easements and cooperation by adjoining landowners, interparcel access to adjoining parcels cannot be accommodated by the proposed development. We hereby request a variance to waive the Gwinnett County U.S. Highway 78 Corridor Overlay District, Section 214-20.3.A.1 (Transportation/Infrastructure - "Provide

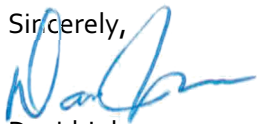
interparcel vehicle access points between all contiguous multifamily, commercial, office, industrial or attached residential tracts. This requirement may be waived by the Director only if it is demonstrated that an interparcel connection is not feasible due to traffic safety or topographic concerns.") requirement to provide interparcel access. The property owner has contacted the eastern and western adjacent property owners concerning interparcel vehicle access and was denied by both adjacent property owners. In addition, GDOT requirements regarding minimum entrance depth are in conflict with any proposed alignment with existing adjacent drives.

In addition we must request a variance to the Gwinnett County U.S. Highway 78 Corridor Overlay District, Section 214-20.3.E.3 (Parking/Yard, Height & Setback - "No more than 30 percent of off-street parking areas may be located to the sides of building(s), with the balance of parking located to the rear the building(s).") requirement to limit parking located to the side of the building to no more than 30%. Due to the narrow shape of the triangular lot and the desire to provide screening and buffers adjacent to the residential properties in the rear, most of the parking for the proposed automotive repair business is located beside the building. Fortunately, due to the configuration of the two buildings together, virtually all of these "side" spaces are actually behind the dental office and the entire lot is relatively well screened from the road by both buildings.

Please find attached completed applications for the variances discussed above for your consideration.

Thank you for your careful review and consideration of this application. If you have any questions, please contact me at david@genuinemapping.com or by phone at (678) 557-0384.

Sincerely,



David Johnson
Genuine Mapping and Design, LLC

Pursuant to requirements of the United Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

- A. Whether a proposed special use permit will permit a use that is suitable in view of the use and development of adjacent and nearby property:

The subject property is between a tires plus business and a Chevron gas station which is suitable to have an automotive repair business on the subject property.

- B. Whether a proposed special use permit will adversely affect the existing use or usability of adjacent or nearby property:

The subject property is between a tires plus business and a Chevron gas station which is suitable to have an automotive repair business on the subject property and will not adversely affect the adjacent properties.

- C. Whether the property to be affected by a proposed special use permit has reasonable economic use as currently zoned:

The property is triangle shaped and encumbered with buffers. This project containing a dental office and an automotive repair business is a reasonable economic use due to it's location between a tires plus and a Chevron.

- D. Whether the proposed special use permit will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

The proposed request will not cause a burden on the existing streets. Currently there are 3 entrance drives along the frontage of the property and the proposed use will reduce the number of entrance drives to 1.

- E. Whether the proposed special use permit is in conformity with the policy and intent of the Unified Plan and Future Development Map:

The proposed request is in conformity with the intent of the UDO.

- F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed special use permit:

The proposed request of an automotive repair business lying in between a Tires Plus and a Chevron gas station gives supporting grounds for approval.

Exhibit E: Application and Disclosure of Campaign Contributions

[attached]

SPECIAL USE PERMIT APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
Name: <u>Genuine Mapping & Design</u>	Name: <u>ASFAW AMBAYE</u>
Address: <u>P.O. Box 631</u>	Address: <u>4525 SUNLIGHT COURT</u>
City: <u>Jefferson</u>	City: <u>LILBURN</u>
State: <u>Ga</u> ZIP: <u>30549</u>	State: <u>GA</u> ZIP: <u>30047</u>
Phone: <u>678-557-0384</u>	Phone: <u>404-621-4099</u>
Email: <u>david@genuinemapping.com</u>	Email: <u>ambayeasfaw@yahoo.com</u>
Contact Person: <u>David Johnson</u> Phone: <u>678-557-0384</u>	
Contact's Email: <u>david@genuinemapping.com</u>	
APPLICANT IS THE:	
<input checked="" type="checkbox"/> OWNER'S AGENT <input type="checkbox"/> PROPERTY OWNER <input type="checkbox"/> CONTRACT PURCHASER	
Existing/Proposed Zoning District(s): <u>C2 (General Business District)</u>	
Parcel Number(s): <u>6057 010</u> Acreage: <u>1.65 Acres</u>	
Property Address(es): <u>4934 Stone Mountain Highway</u>	
Proposed Development: <u>Automotive Repair</u>	
Variance(s): <u>Side parking ratio, buffer reduction, interparcel access</u> Waiver(s): _____	
Building/Leased Sq. Ft.: <u>5,222</u> Floor Area Ratio: <u>0.07</u>	

GWINNETT COUNTY

CASE NUMBER : SUP2025-00012

PRIMARY ADDRESS:	4934 Stone Mountain HWY, Lilburn, GA 30047
RECEIVED DATE:	5/27/2025
APPLICATION STATUS:	Received
DESCRIPTION:	
PARCEL NUMBER:	6057 010
APPLICATION / PROJECT NAME:	4934 Stone Mountain Highway

OWNER INFORMATION

OWNER NAME	ADDRESS	PHONE#	CITY/STATE/ZIP
AMBAYE ASFAW	4525 SUNLIGHT CT		LILBURN, GA, 30047-4585

CONTACTS INFORMATION

CONTACTS ROLE	NAME	ADDRESS	PHONE#	CITY/STATE/ZIP
Owner's Agent	Benjamin Drerup	249 Howington Road	7062543503	Jefferson GA 30549
Property Owner	Asfaw Ambaye		4046214099	
Contact	Benjamin Drerup	249 Howington Road	7062543503	Jefferson GA 30549
Applicant	Asfaw Ambaye		(404)621-4099	GA

CASE INFORMATION

ADDITIONAL DETAILS

CONSTRUCTING MORE THAN 5,000SQ FEET OF NONRESIDENTIAL BUILDINGS AND/OR ADDITIONS?:

YES

DISTRIBUTING MORE THAN 10,000 SQUARE FEET OF LAND?:

UNDEFINED

PUBLIC PARTICIPATION PLAN REQUIRED:

YES

APPLICANT INFORMATION

APPLICANT IS THE: OWNER'S AGENT

CAMPAIGN CONTRIBUTIONS

ANY CAMPAIGN CONTRIBUTIONS?: NO

DIGITAL SIGNATURE

APPLICANT DIGITAL SIGNATURE: BEN DRERUP

PRE-APPLICATION DETAILS

PRE-APPLICATION RECORD NUMBER: ZAM2025-00125

PROJECT DETAILS

DESCRIPTION: 6,300 SF DENTAL OFFICE AND 5,222 SF AUTOMOTIVE REPAIR BUSINESS AT 4934 STONE MOUNTAIN HIGHWAY

PROJECT NAME: 4934 STONE MOUNTAIN HIGHWAY

SPECIAL USE PERMIT DETAILS

APPLICATION REFERENCE: SUP1

BUILDING LEASED SQ. FT: 5,222

SUP2025-00012 CURRENT ZONING: C-2

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YP

Exhibit F: DWR Sewer Capacity Certification Letter

[attached]



May 13, 2025

Asfaw Ambaye
4525 Sunlight Ct.
Lilburn, GA. 30047

<input checked="" type="checkbox"/>	APPROVED
<input type="checkbox"/>	DENIED
<input type="checkbox"/>	CONDITIONALLY APPROVED
Sewer Capacity Request #C2025-123-05	
Expiration Date: 05/13/2026	
Tie-In Manhole FID: 279190	

RE: Sewer Availability for Proposed Development – Dental Office and Automotive Repair
Parcel ID 6057 010

Dear Asfaw Ambaye:

Gwinnett County Department of Water Resources (GCDWR) has reviewed the impact of the proposed development consisting of a 6,300 square foot dental office with 10 employees and a 5,222 square foot automotive repair location with 10 employees on the above parcel and determined:

Gwinnett County has adequate sewer capacity to serve the proposed development.

This confirmation is based on your anticipated annual average daily flow of **2.7 gpm** to the sewer tie-in manhole at Facility ID **279190**.

Capacity Allocation: Sewer capacities are allocated only upon the issuance of a Development Permit, by Gwinnett County Planning & Development and after all applicable conditions established in this Sewer Capacity Certification, if any, are met.

Certification Expiration: The Sewer Capacity Certification is valid for 12 months from the date of this letter. If rezoning is approved, GCDWR will issue a revised Sewer Capacity Certification based on the approved units, as needed. The capacity request can be renewed for an additional 12 months. If a Development Permit has not been obtained by the expiration date above the developer may apply for renewal by providing evidence of active rezoning, plan review, or permitting efforts.

Once the Sewer Capacity Certification expires, the capacity is no longer allocated, and a new Sewer Capacity Certification request must be submitted for re-evaluation with no guarantee of available capacity. The evaluation will be based on the updated conditions of the sewer system.

Certification Invalidation: This certification is not valid if there are proposed changes to your development that could impact downstream sewer capacity (e.g. land use density, sewer tie-in manhole, parcel changes, and/or rezoning). In this case the development must resubmit for a new Sewer Capacity Request with updated information prior to the expiration of the previous one.



Please contact us at 678-376-7026 if you have any questions.

Sincerely,

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES

Della Taylor, PE
Division Director, Infrastructure Support
678.376.2130

C: Gwinnett County DWR – Lorraine Campagne, Section Manager; Raghu Vemuru, Engineer V; Mikala Weston, Engineer III
Gwinnett County P&D – Charli Young, Planning Manager; Geniva Sylvain, Engineer I; Christina Dejarnette, Engineer I;
Wendell Tumale Engineer III

Exhibit G: Traffic Impact Study

[attached]



TRAFFIC IMPACT STUDY

FOR

4934 Stone Mountain Highway

COMMERCIAL DEVELOPMENT

AT
4934 STONE MOUNTAIN HWY.
LAND LOT 57
6TH DISTRICT
PARCEL: 6057 010
GWINNETT COUNTY, GEORGIA

PREPARED BY
GENUINE MAPPING & DESIGN, LLC
CERTIFIED BY
JAMES NEUHAUS, PE



Submittal Information

REVISION	DATE	SUBMITTED TO
	5-16-2025	GWINNETT COUNTY

P.O. Box 631 • Jefferson, Ga 30549 • (678) 717-4631 • GenuineMapping.com



TABLE OF CONTENTS

- I. INTRODUCTION**
- II. EXISTING CONDITIONS**
- III. METHODOLOGY**
- IV. PROPOSED IMPROVEMENTS**
- V. TRIP GENERATION**
- VI. TRIP DISTRIBUTION**
- VII. TURN LANE ANALYSIS**
- VIII. CONCLUSIONS AND RECOMMENDATIONS**

APPENDIX

- A. Existing Conditions Plan**
- B. Proposed Site Plan**
- C. GDOT ICE Form**

I. INTRODUCTION

The proposed commercial development is located at 4934 Stone Mountain Hwy (U.S. 78), Gwinnett County, Georgia. The proposed development will be located on the southern side of Stone Mountain Hwy (U.S. 78) adjacent to a Citgo gas station on the east and adjacent to a Tires Plus business on the west. The property has 349.56' of frontage along Stone Mountain Hwy (U.S. 78). There are 4 existing driveways along the frontage of the property serving 4 existing buildings. The existing buildings and existing driveways will be removed and replaced with one (1) commercial right in – right out entrance drive with a full length decel lane extending to the existing entrance drive of the Tires Plus business.

This study will analyze the need for right turn lanes on Stone Mountain Hwy (U.S. 78) into the proposed development using the proposed right in – right out commercial GDOT entrance drive with full length decel lane.

II. EXISTING CONDITIONS

Stone Mountain Hwy (U.S. 78) is a 6 lane arterial road with a median. The posted speed limit is 45 mph. There 4 existing entrance drives on Stone Mountain Hwy (U.S. 78) serving 4 existing buildings.

Traffic counts were taken on Stone Mountain Hwy (U.S. 78) from GDOT website using 2023 AADT data.

AADT	56,300
Single Unit AADT	1654
Combo Unit AADT	734
Truck %	4%

III. METHODOLOGY

In this study, the methodology used for evaluating left/right turn lane design is based on the criteria that is set forth in the GDOT Regulations for Driveway & Encroachment Control Manual, Revision 5.7, 6/20/2024, Section 4.9, Auxiliary Turn Lanes and traffic volume projections will be provided in accordance with the generally accepted ITE Trip Generation Manual, 11th Edition.

IV. PROPOSED IMPROVEMENTS

The proposed improvements will consist of a 6,300 square foot dental office and a 5,222 square foot automotive repair business with associated parking and utilities. The main access for the proposed development will be the proposed GDOT right in – right out entrance drive located at 4934 Stone Mountain Highway.

V. TRIP GENERATION

Trip Generation for the project was based on the trip rates and equations published in the 11th edition of the Institute of Transportation Engineers (ITE) Trip Generation report. This reference contains traffic volume count data collected at similar facilities nationwide. The trip generations are based on ITE land use descriptions. Engineering judgment was used to estimate the best comparison of the proposed site development land use and the 'standard' ITE land uses. The study projects A.M. and P.M. peak hour and daily trip generations.

A trip is a single or one-direction vehicular trip with either the origin (outbound) or destination (inbound) or both inside the study area. Each trip has two trip ends. For trip generation purposes, the total trip ends for a land use over a given period of time are the total of all trips entering plus all trips exiting a site during a designated time period.

Listed below is a brief description of each land use as described by the ITE Trip Generation Manual:

Dental Office (#720) – facilities providing routine diagnosis and outpatient care, typically operated by private dentists.

Automotive Repair (#942) – facilities that provide vehicle repair, maintenance and customization.

4934 Stone Montain Hwy (U.S. 78) - Trip Generation									
ITE Code	Land Use	Size (ksf)	AM Peak Hour			PM Peak Hour			Daily Total
			In	Out	Total	In	Out	Total	
720	Dental Office	6.3	16	6	22	6	16	22	228
942	Automotive Repair	5.2	9	9	18	9	9	18	57
Total			25	15	40	15	25	40	285

VI. TRIP DISTRIBUTION

The trip distribution is the percentage of site traffic that travels on each of the various roadways to and from the site. The trip distribution for the proposed development was estimated so that 100% of the trips turn right into the new driveway in the AM peak and the reverse for the PM.

4934 Stone Montain Hwy (U.S. 78) - Trip Distribution		
Peak Period	Right Turns (in)	Entering Total
AM	25	25
PM	15	15
Daily	143	143

VII. TURN LANE ANALYSIS

The Georgia DOT has an Auxiliary Turn Lane Minimum Requirement in their Development Regulations as shown below:

GDOT Auxillary Turn Lane Minimum Requirements		
45 MPH Criteria	AADT ≥10,000 Threshold	Proposed
Right Turn Lane	75 RT/day	143

The proposed right in – right out entrance drive intersection on Stone Mountain Hwy (U.S. 78) meets the criteria for an auxiliary lane per the Georgia DOT driveway regulations.

VIII. CONCLUSIONS AND RECOMMENDATIONS

The proposed development consisting of a dental office and an automotive repair business will create 285 trips per day at the proposed right in – right out entrance drive located at 4934 Stone Mountain Hwy (U.S. 78).

The development will create enough right turn volume to justify an auxiliary turn lane based on the GDOT criteria therefore; the proposed right in – right out entrance drive will have a full length decel lane extending west connecting to the existing entrance drive of the Tires Plus business. GDOT reviewed the proposed concept and recommended a full length decel lane that connects to the Tires Plus existing entrance drive.

Exhibit H: Public Participation Plan and Report

[attached]



Public Participation Plan

1. Who do you intend to contact in addition to property owners within 1,000 feet of the site, if any?

Only contact the property owners within 1,000 feet of the site.

2. Where do you plan to host the Public Participation Meeting? Ensure that the meeting is held in person at a convenient location for interested parties.

4934 Stone Mountain Highway, Lilburn, GA 30047

3. What date and time do you plan to host the Public Participation Meeting? Ensure that the meeting is held at a convenient time for interested parties, e.g. not during typical work hours on weekdays.

June 27, 2025 @ 7pm

4. What is your method for providing opportunities for discussion with interested parties at the Public Participation Meeting?

Interactive meeting presenting the proposed concept plan and supporting documentation



Public Participation Report

1. List all groups that you notified of the requested application. Include a copy of the notification package and stamped Postal Service Form 3877 (attached) with itemized name and address of each addressee.

We notified all of the people (108 addresses) on the list provided by Gwinnett County

2. Provide the date, time, and location of all meeting(s) that the applicant and/or representative attended to discuss an application with interested parties.

Eric Johansen (Owner Representative) attended the meeting on July 27, 2025 @ 7:00 pm

at 4934 Stone Mountain Hwy to discuss the application with any interested parties. See sign in sheet

3. Provide the number of people who participated in the meeting(s). Include the sign-in sheet(s) with meeting date, time, location, and attendee names.

Asfaw Ambaye (owner of property) attended and Eric Johansen (Owner Representative) attended.

The 2 people above met with the adjacent property owner Tires Plus manager. See sign in sheet

4. What issues and concerns were expressed by attendees at the meeting(s)?

The Tires Plus manager was not happy about a competing auto business next door

and will not support Interparcel Access.

5. What are the applicant's responses to the issues and concerns that were expressed at the meetings? What changes to the development will be made?

The applicant will request a variance to avoid Interparcel Access

Exhibit I: Internal and External Agency Review Comments

[attached]



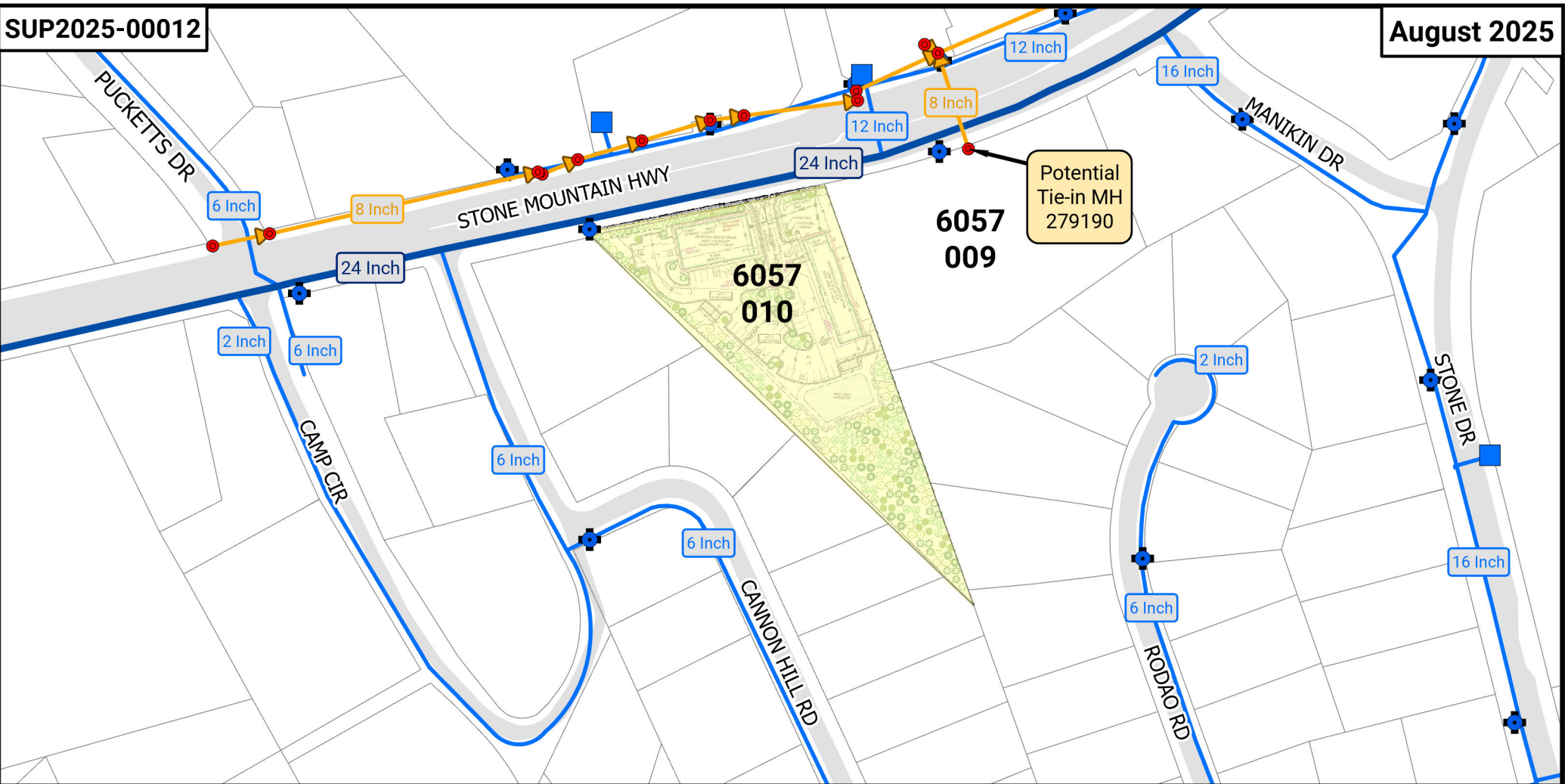
Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:		06.20.2025	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 2	
Reviewer Email Address:		Brent.Hodges@gwinnettcountry.com	
Case Number:		SUP2025-00012	
Case Address:		4934 Stone Mountain Highway, Lilburn, 30047	
Comments:		<input checked="" type="checkbox"/> X	<input type="checkbox"/> YES <input type="checkbox"/> NO
1	Stone Mountain Highway (SR 10/US 78) is a principal arterial. The Average Daily Traffic Volume (ADT) is 56,300.		
2	The nearest Ride Gwinnett facility is located 0.15 mile to the east at US 78 and Mankin Drive (stop 7020 / route 70).		
3	The design and location of the site driveway is subject to the review and approval of the Georgia Department of Transportation (GDOT).		
4	Per Section 360-100 of the UDO, a 12' concrete trail shall be constructed along the site frontage.		
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input type="checkbox"/> YES <input checked="" type="checkbox"/> X NO
1			
2			
3			
4			
5			
6			
7			



Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:				
Department/Agency Name:		DWR		
Reviewer Name:		Mike Pappas		
Reviewer Title:		GIS Planning Manager		
Reviewer Email Address:		Michael.pappas@gwinnettcountry.com		
Case Number:		SUP2025-00012		
Case Address:		4934 Stone Mountain Highway		
Comments:		<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO
1	Water: The proposed development may connect to an existing 24-inch water main located along the southern right-of-way of Stone Mountain Highway.			
2	Sewer: A Sewer Capacity Certification (C2025-123-05) was approved in May 2025 for a 6,300 square foot dental office, a 5,222 square foot automotive repair shop, and 51 parking spaces. The proposed development plans to connect to an existing 8-inch gravity sewer on parcel 6057 009. An offsite easement will be required.			
3				
4				
5				
6				
7				
Recommended Zoning Conditions:		<input type="checkbox"/>	YES	<input checked="" type="checkbox"/> NO
1				
2				
3				
4				
5				
6				
7				

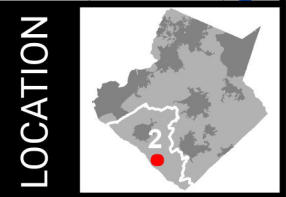
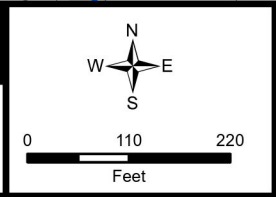


LEGEND

	Flow Management		Hydrant		Sewer Collector
	Pump Station		City		Sewer Interceptor
	Regional		Water Main		Sewer Force Main
	Manhole		Proposed Water Main		Proposed Sewer Collector

4934 Stone Mountain Hwy
C-2

Water & Sewer
Utility Map



Water Comments: The proposed development may connect to an existing 24-inch water main located along the southern right-of-way of Stone Mountain Highway.

Sewer Comments: A Sewer Capacity Certification (C2025-123-05) was approved in May 2025 for a 6,300 square foot dental office, a 5,222 square foot automotive repair shop, and 51 parking spaces. The proposed development plans to connect to an existing 8-inch gravity sewer on parcel 6057 009. An offsite easement will be required.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Exhibit J: Maps

[attached]



SUP2025-00012

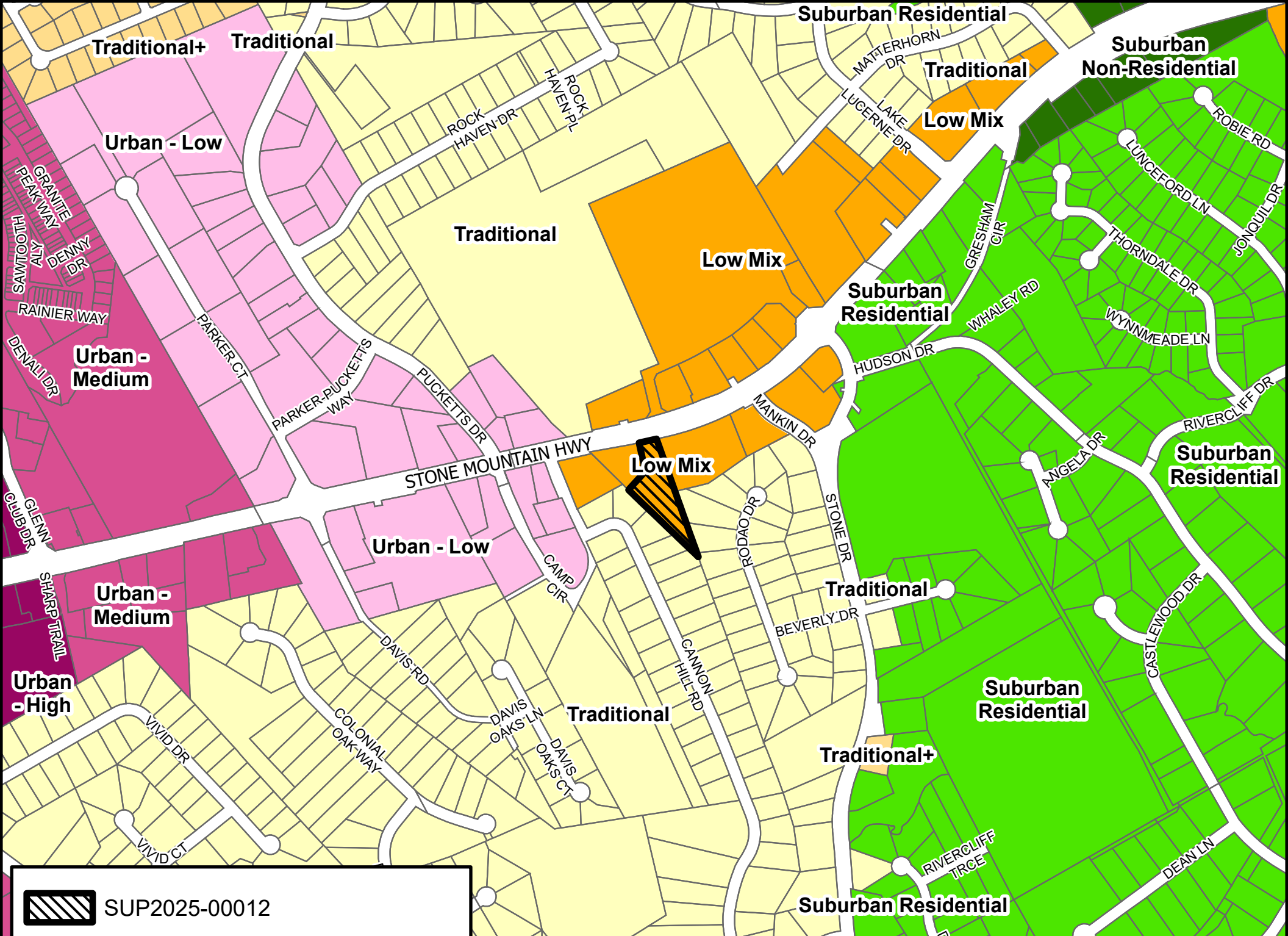
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Feet

Gwinnett County GIS

User: givill



 SUP2025-00012

Created: July 14, 2025

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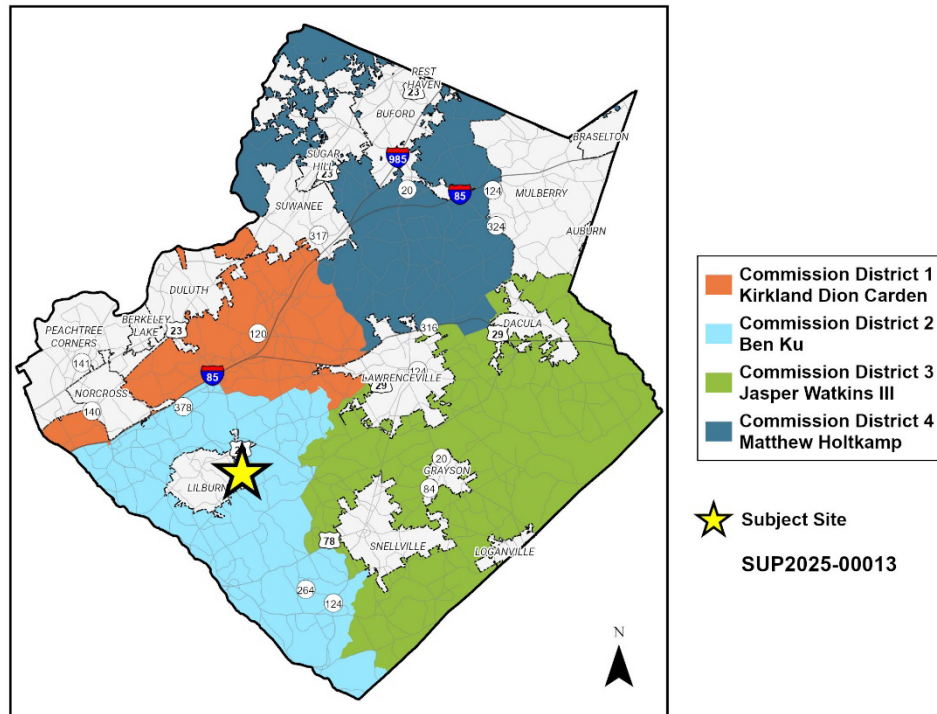
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2045 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION

PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: SUP2025-00013
Current Zoning: M-1 (Light Industry District)
Request: Special Use Permit (Renewal)
Address: 4139 Arcadia Industrial Circle
Map Number: R6125 022
Site Area: 1 acre
Square Feet: 7,025
Proposed Development: Vehicle Repair, Service, and Body Work Establishment
Commission District: District 2 – Commissioner Ku
Future Development Type: Suburban Non-Residential

Staff Recommendation: APPROVAL WITH CONDITIONS



Applicant: Michael Ayo
3640 Drayton Manor Run
Lawrenceville, GA 30046

Owner: Bernadino D’Almeida
4139 Arcadia Industrial Circle
Lilburn, GA 30047

Contact: Michael Ayo

Phone: 770.617.7000

Zoning History

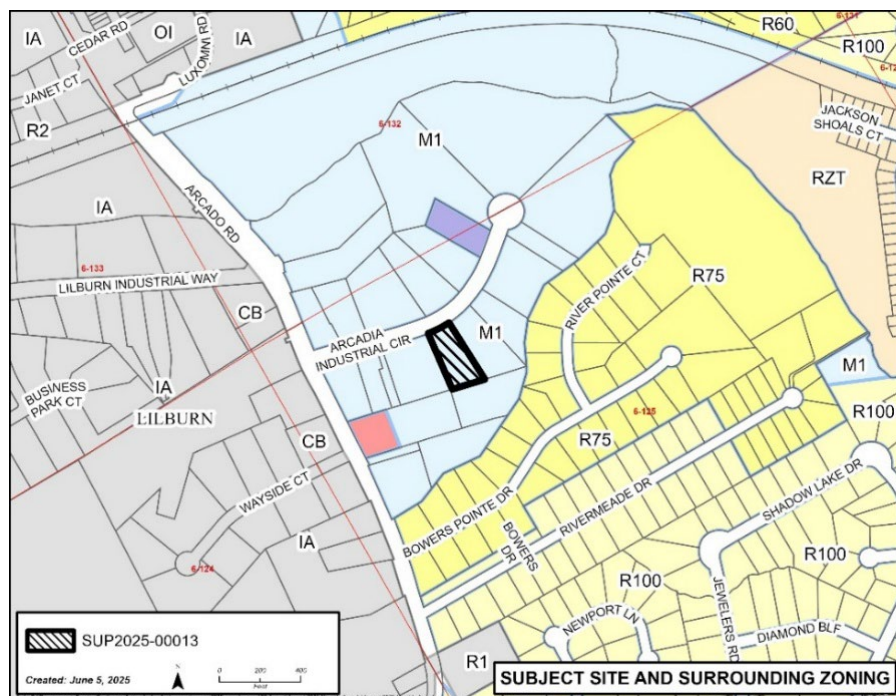
The subject property is zoned M-1 (Light Industry District). In 1971, the property was rezoned from R-100 (Single-Family Residence District) to M-1, pursuant to RZ-59-70. In 2018, a special use permit was approved for a vehicle repair, service, and body work establishment, pursuant to SUP2018-00064. Subsequently, the special use permit was renewed in 2021 and 2023, pursuant to SUP2021-00006 and SUP2023-00026, respectively.

Existing Site Condition

The subject property is a one-acre parcel located within Arcadia Industrial Park along Arcadia Industrial Circle, east of its intersection with Arcado Road. The property contains a 7,025-square-foot building with six vehicle bays, a concrete parking lot in the front and side yard, and an asphalt parking lot in the rear. A chain-link fence runs along the property lines, and a gated wooden fence encloses the building and parking lots. There are no sidewalks along Arcadia Industrial Circle. The nearest Ride Gwinnett transit stop is approximately 1.0 mile from the subject property.

Surrounding Use and Zoning

The subject site is surrounded by industrial uses. Several vehicle repair, service, and body work establishments are located on Arcadia Industrial Circle, including on parcels to the north and west. A tree service company and a vacant lot are located to the east and south, respectively. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning
Existing	Vehicle Repair, Service, and Body Work Establishment	M-1
North	Light Industrial (Vehicle Repair)	M-1
East	Light Industrial (Tree Service)	M-1
South	Vacant	M-1
West	Light Industrial (Vehicle Repair)	M-1

Project Summary

The applicant requests renewal of a special use permit for the existing vehicle repair, service, and body work establishment. No modification to the site is proposed as part of the application.

Zoning and Development Standards

The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Floor Area Ratio	Maximum 1.0	<1.0	YES
Lot Coverage	Minimum 80%	>80%	NO*
Front Yard Setback	Minimum 50'	>50'	YES
Rear Yard Setback	Minimum 50'	>50'	YES
Side Yard Setback	Minimum 25'	<25'	NO*
Building Height	Maximum 45'	<45'	YES
Parking	Minimum 23 spaces Maximum 35 spaces	34 spaces	YES
Landscape Strip	Minimum 10'	0'	NO*

* Legal non-conforming

Internal and External Agency Review

Internal and external agency review comments are attached (Exhibit F). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Special Use Permit Analysis: The standards governing the exercise of zoning power are outlined in Section 270-20.6 of the UDO. Staff makes the following findings related to the zoning requests:

A. Whether a proposed special use permit will permit a use that is suitable in view of the use and development of adjacent and nearby property.

There are several vehicle repair, service, and body work establishments located within Arcadia Industrial Park. Renewal of the special use permit will permit a use that is suitable in view of the use and development of adjacent and nearby property.

B. Whether a proposed special use permit will adversely affect the existing use or usability of adjacent or nearby property.

The vehicle repair, service, and body work establishment has been in operation since 2018.

Since 2023, this property has not received any code enforcement complaints. However, the existing chain-link fence encroaches into the right-of-way, and staff has recommended a condition to resolve the encroachment. The existing use and usability of adjacent or nearby properties would not be adversely impacted by the renewal of the special use permit if all conditions of approval are satisfied.

C. Whether the property to be affected by a proposed special use permit has a reasonable economic use as currently zoned.

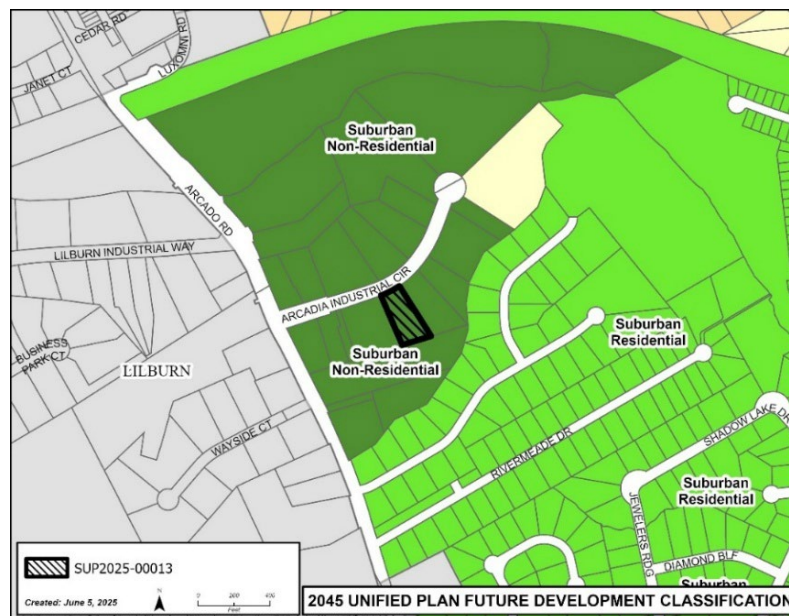
The property has a reasonable economic use as currently zoned.

D. Whether the proposed special use permit will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

No additional impact on public facilities would be anticipated for the special use permit renewal in the form of traffic, utility demand, stormwater runoff and schools.

E. Whether the proposed special use permit is in conformity with the policy and intent of the Unified Plan and Future Development Map; and

The Unified Plan's Future Development Map indicates "Suburban Non-Residential" for the subject property, which anticipates existing non-residential uses to largely stay the same. Auto-oriented commercial is an appropriate use, and this special use permit would facilitate the continuation of an auto-oriented establishment. The proposed special use permit is in conformity with the policy and intent of the Unified Plan and Future Development Map.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed special use permit.

There are no other conditions giving support for approval or disapproval of the proposal.

Staff Recommendation

Based on the staff's evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the special use permit request.

Staff Recommended Conditions

Approval of a special use permit for a vehicle repair, service, and body work establishment in M-1 (Light Industry District), subject to the following conditions:

1. The special use of the property shall be limited to a vehicle repair, service, and body work establishment, with the following uses prohibited:
 - a. Vehicle sales.
 - b. Salvage of inoperable vehicles.
 - c. Outdoor storage of automotive parts or tires.
2. All repair activities shall take place indoors. Any vehicles awaiting repair shall be parked in the enclosed parking area.
3. The proposed use shall be in general conformance with Exhibit B: Site Plan and Exhibit C: Building Elevations dated received May 23, 2025, subject to the review and approval of the Department of Planning and Development.
4. The existing chain-link fence shall be removed from the right-of-way.

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Application and Disclosure of Campaign Contributions
- F. Internal and External Agency Review Comments
- G. Maps

Exhibit A: Site Visit Photos



Existing vehicle repair, service, and body work establishment



Front parking lot and driveway



Existing fence within the right-of-way



Side lot



Side lot



Rear lot

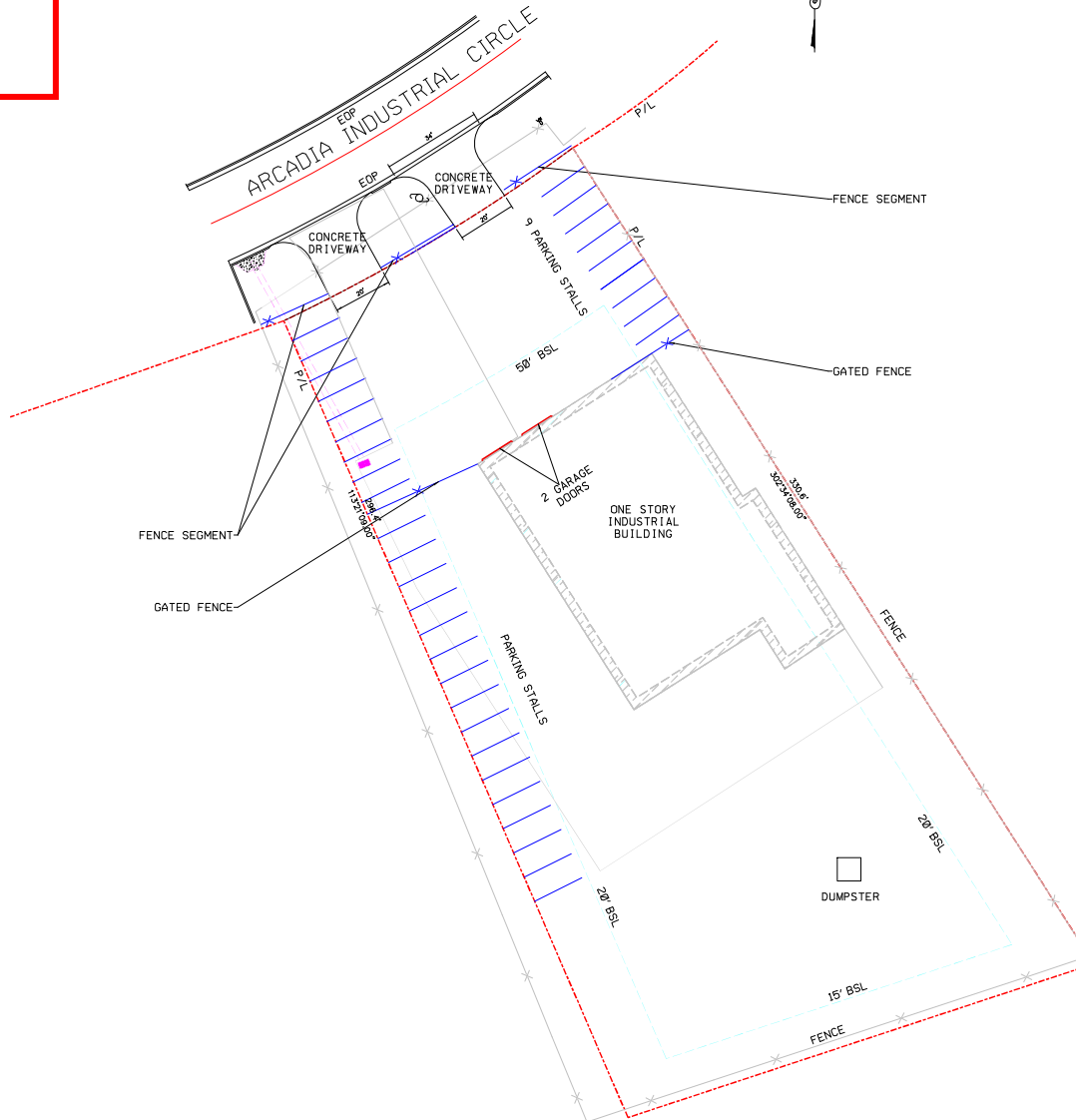
Exhibit B: Site Plan

[attached]

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

5/23/2025



**Ayus Engineers &
Home Inspection Services, L.L.C.**
3640 Drayton Manor Run
Lawrenceville, GA 30046
Tel. (770) 617-7000
ayusengineers@gmail.com



CONSULTANT
ADDRESS
ADDRESS
PHONE
FAX
e-MAIL

CONSULTANT
ADDRESS
ADDRESS
PHONE
FAX
e-MAIL

NO.	DESCRIPTION	DATE
0	SITE PLAN	04/27/2023

WORKSHOP

4139 ARCADIA IND. CIR.
Lilburn, GA 30047

SITE PLAN

Project number	PRJ 021 AYUS
Date	04/27/2023
Drawn by	A. MIDDLETON
Checked by	x.xxxxxx
S-2	
Scale	1' = 20'

Exhibit C: Building Elevations

[attached]

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

5/23/2025



GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

5/23/2025



RECEIVED

5/23/2025

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

RECEIVED

5/23/2025



Exhibit D: Letter of Intent and Applicant's Response to Standards

[attached]

Bernadino D'Almeida
4139 Arcadia Industrial Circle
Lilburn, GA30047
Tel. (404) 422-1869

July 1, 2025

Gwinnett County
Department of Planning and Development (Zoning)
446 West Crogan Street Suite 300
Lawrenceville, GA 30046

Ra: 4139 Arcadia Industrial Circle-Letter of Intent

This is to inform you of my intention to apply for a Special Use Permit to operate the above address as an auto repair facility.

Hours of operation will be from 8:00AM to 6:00PM daily except Sundays. Currently, there are two (2) employees beside me (three in all).

- Parking spaces are striped and shown on the site plan
- The dumpster is located at the back of building and shown on the plan
- Fencing is installed along the parcel perimeter
- 6 Bays of parking X 3 = 18 spaces in front of building; 9 on either side;

All applicable payments have been made.

Please call or email if you have any question or additional comments.

Thank you,

Baba

Bernadino D'Almeida

Pursuant to requirements of the United Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

- A. Whether a proposed special use permit will permit a use that is suitable in view of the use and development of adjacent and nearby property:
Yes, the proposed request will permit a use that is suitable in view of the use and development of adjacent and nearby properties. There will be no negative impacts to adjacent properties as most of them are operating a similar business.
- B. Whether a proposed special use permit will adversely affect the existing use or usability of adjacent or nearby property:
No, the proposed request will NOT adversely affect the existing use or usability of adjacent or nearby property. All their operations will be contained and limited to their property only, without disturbance to existing or adjacent properties.
- C. Whether the property to be affected by a proposed special use permit has reasonable economic use as currently zoned:
N/A - Since no property will be affected.
- D. Whether the proposed special use permit will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:
The proposed request will NOT result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities or schools since all of their operations are off the streets and Public Right of Way.
- E. Whether the proposed special use permit is in conformity with the policy and intent of the Unified Plan and Future Development Map:
Yes, the proposed request is in conformity with the policy and intent of the Unified Plan and Future Development Map of the area.
- F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed special use permit:
There are none other existing or changing conditions affecting the use and development of the property.

Exhibit E: Application and Disclosure of Campaign Contributions

[attached]

SPECIAL USE PERMIT APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
Name: <u>Michael Ayo</u>	Name: <u>Bernadino D'Almeida</u>
Address: <u>3640 Drayton Manor Run</u>	Address: <u>4139 Arcadia Industrial Circle</u>
City: <u>Lawrenceville</u>	City: <u>Lilburn</u>
State: <u>GA</u> ZIP: <u>30046</u>	State: <u>GA</u> ZIP: <u>30047</u>
Phone: <u>770.617.7000</u>	Phone: <u>404.422.1869</u>
Email: <u>mik.ayo55@yahoo.com</u>	Email: <u>babab10@hotmail.com</u>
Contact Person: <u>Michael Ayo</u> Phone: <u>770.617.7000</u>	
Contact's Email: <u>mik.ayo55@yahoo.com</u>	
APPLICANT IS THE:	
<input checked="" type="checkbox"/> OWNER'S AGENT <input type="checkbox"/> PROPERTY OWNER <input type="checkbox"/> CONTRACT PURCHASER	
Existing/Proposed Zoning District(s): <u>M-1</u>	
Parcel Number(s): <u>R6125 022</u> Acreage: <u>0.99</u>	
Property Address(es): <u>4139 Arcadia Industrial Circle</u>	
Proposed Development: <u>Vehicle Repair and Body Work Establishment Renewal</u>	
Variance(s): <u>N/A</u> Waiver(s): <u>N/A</u>	
Building/Leased Sq. Ft.: <u>7,025</u> Floor Area Ratio: <u>N/A</u>	

GWINNETT COUNTY

CASE NUMBER : SUP2025-00013

PRIMARY ADDRESS:	
RECEIVED DATE:	5/30/2025
APPLICATION STATUS:	Received
DESCRIPTION:	
PARCEL NUMBER:	6125 022
APPLICATION / PROJECT NAME:	Automobile Repairs and Automobile Body Repair

OWNER INFORMATION

OWNER NAME	ADDRESS	PHONE#	CITY/STATE/ZIP
DALMEIDA BERNADINO	4139 ARCADIA INDUSTRIAL CIR SW STE A		LILBURN, GA, 30047-2906

CONTACTS INFORMATION

CONTACTS ROLE	NAME	ADDRESS	PHONE#	CITY/STATE/ZIP
Applicant	Michael Ayo	3640 Drayton Manor Run		Lawrenceville GA 30046
Property Owner	Bernadino D'Almeida		4044221869	
Owner's Agent	Michael Ayo	3640 Drayton Manor Run	7706177000	Lawrenceville GA 30046
Contact	Michael Ayo		7706177000	

CASE INFORMATION

ADDITIONAL DETAILS

CONSTRUCTING MORE THAN 5,000SQ
FEET OF NONRESIDENTIAL
BUILDINGS AND/OR ADDITIONS?:

DISTRIBUTING MORE THAN 10,000
SQUARE FEET OF LAND?:

PUBLIC PARTICIPATION PLAN
REQUIRED:

NO

UNDEFINED

NO

APPLICANT INFORMATION

APPLICANT IS THE:

OWNER'S AGENT

CAMPAIGN CONTRIBUTIONS

ANY CAMPAIGN CONTRIBUTIONS?:

NO

DIGITAL SIGNATURE

APPLICANT DIGITAL SIGNATURE:

MICHAEL AYO

PRE-APPLICATION DETAILS

PRE-APPLICATION RECORD
NUMBER:

ZAM2025-00126

PROJECT DETAILS

DESCRIPTION:

AUTOMOBILE REPAIR AND AUTOBODY REPAIRS

PROJECT NAME:

AUTOMOBILE REPAIRS AND AUTOMOBILE BODY REPAIR

SPECIAL USE PERMIT DETAILS

APPLICATION REFERENCE:

SUP1

SUP2025-00013

BUILDING LEASED SQ. FT:

7,025 SQUARE FEET

MR

Exhibit F: Internal and External Agency Review Comments

[attached]

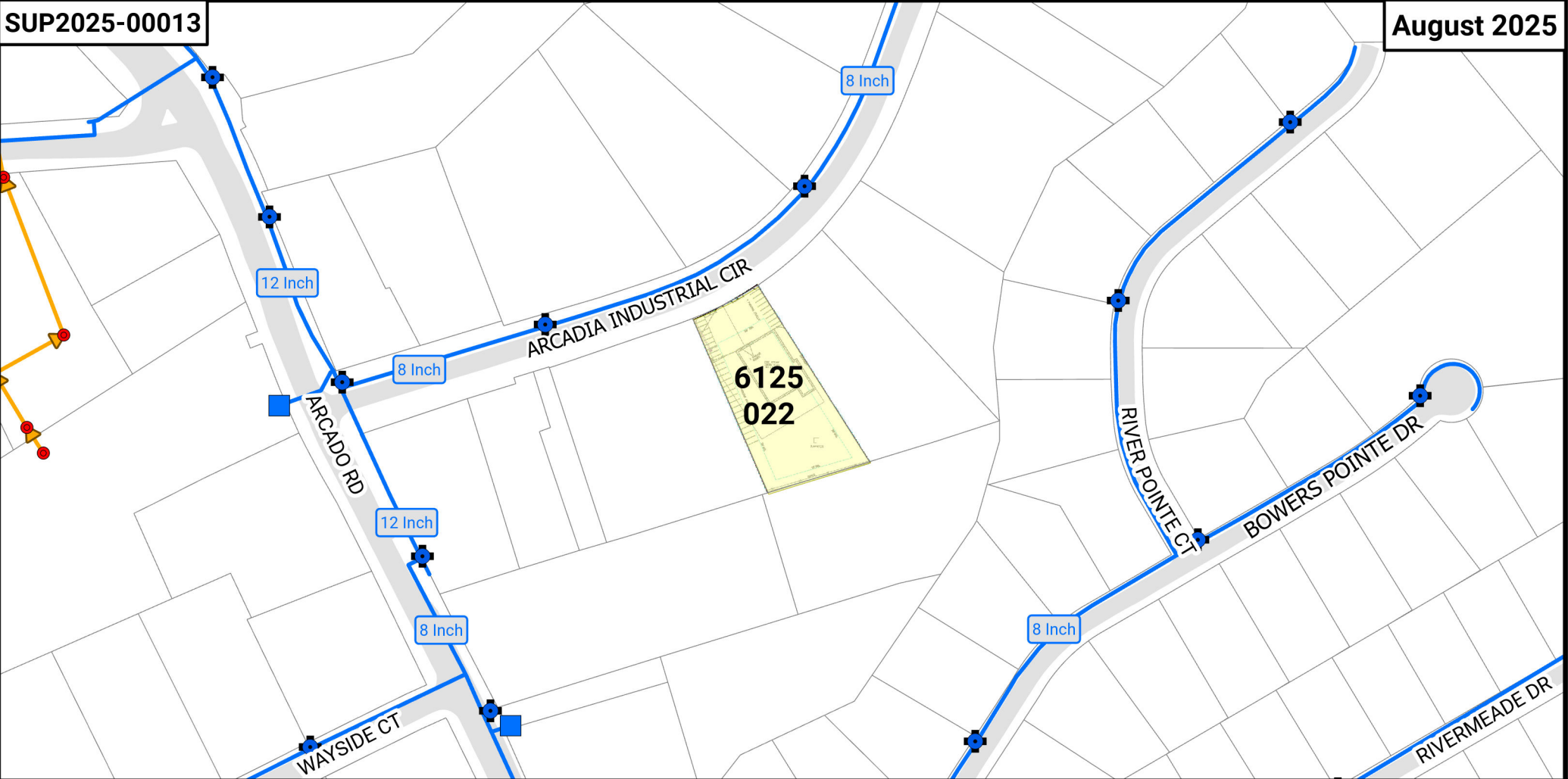


Department of Planning and Development TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:			
Department/Agency Name:		DWR	
Reviewer Name:		Mike Pappas	
Reviewer Title:		GIS Planning Manager	
Reviewer Email Address:		Michael.pappas@gwinnettcountry.com	
Case Number:		SUP2025-00013	
Case Address:		4139 Arcadia Industrial Cir	
Comments:		<input type="checkbox"/>	YES
		<input checked="" type="checkbox"/>	X
		<input type="checkbox"/>	NO
1	Water: DWR does not have comments for this Special Use Permit. The existing building is connected to public water.		
2	Sewer: DWR does not have comments for this Special Use Permit. The existing building is on septic and will remain on septic.		
3			
4			
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	YES
		<input checked="" type="checkbox"/>	X
		<input type="checkbox"/>	NO
1			
2			
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021

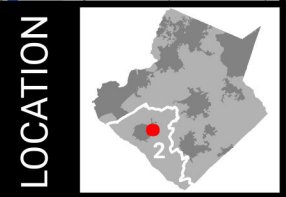
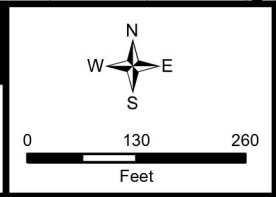


LEGEND

	Flow Management		Hydrant		Sewer Collector
	Pump Station		City		Sewer Interceptor
	Regional		Water Main		Sewer Force Main
	Manhole		Proposed Water Main		Proposed Sewer Collector

4139 Arcadia Industrial Cir
M-1

Water & Sewer
Utility Map



Water Comments: DWR does not have comments for this Special Use Permit. The existing building is connected to public water.

Sewer Comments: DWR does not have comments for this Special Use Permit. The existing building is on septic and will remain on septic.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Exhibit G: Maps

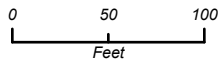
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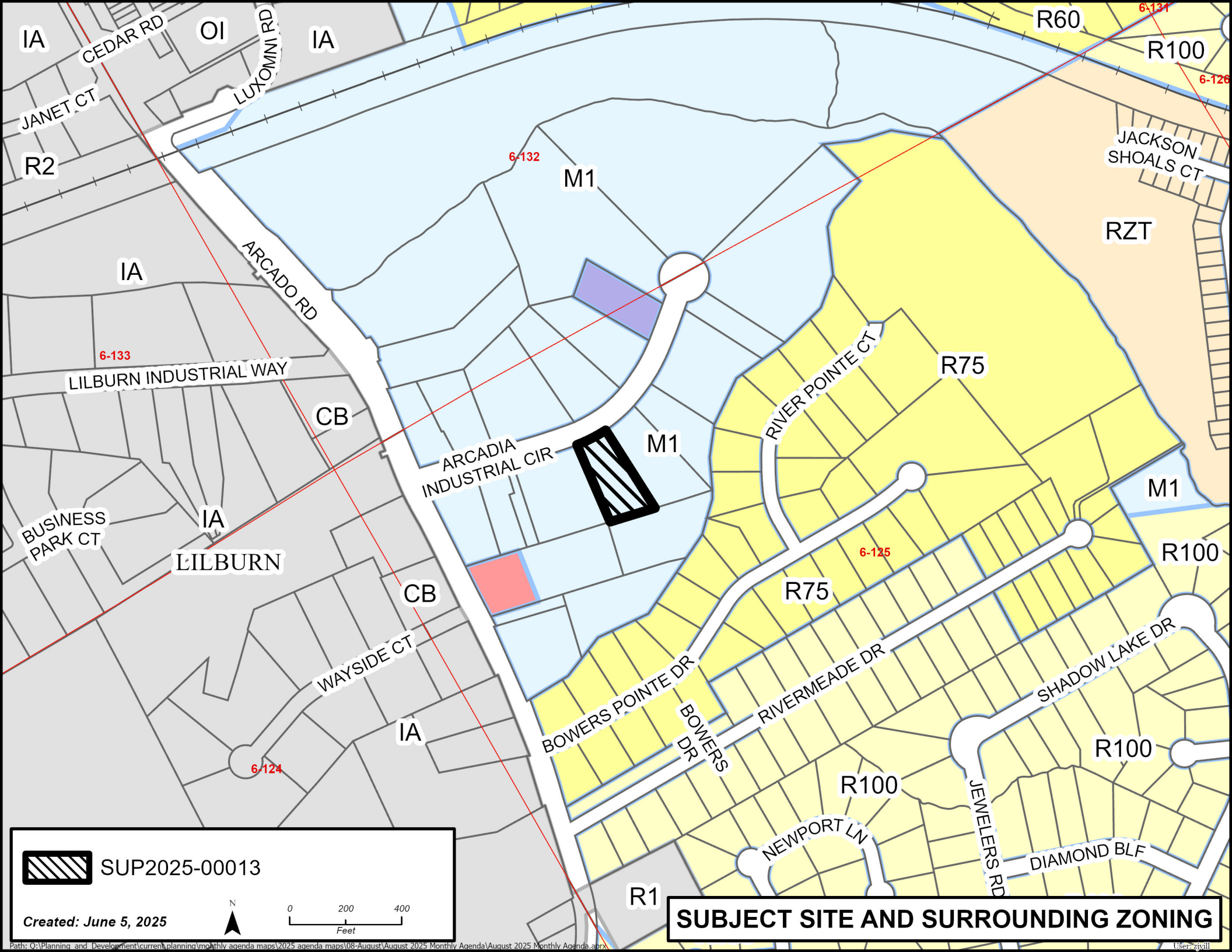
ARCADIA INDUSTRIAL CIR



SUP2025-00013

Created: June 3, 2025



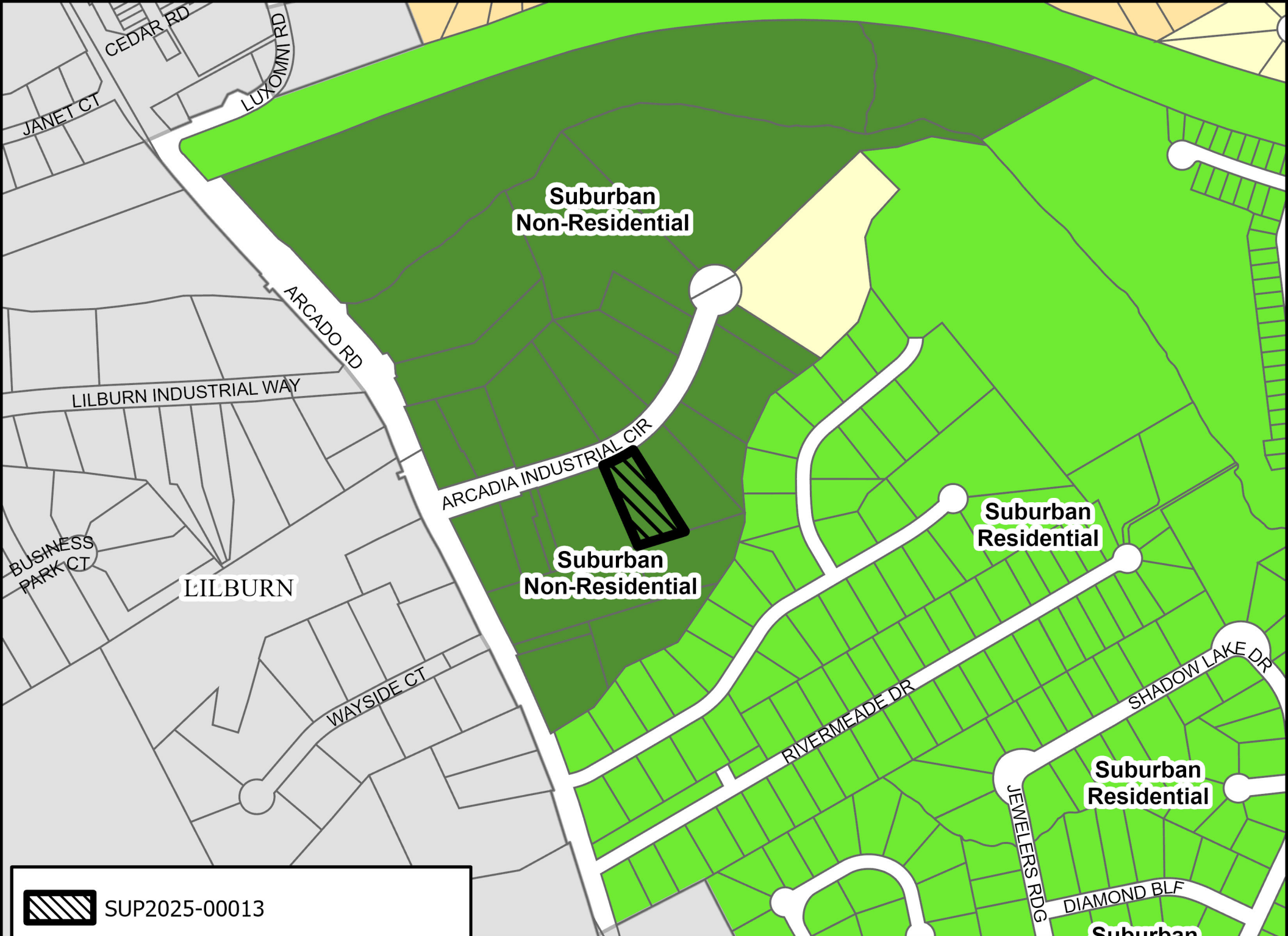


SUP2025-00013

Created: June 5, 2025



SUBJECT SITE AND SURROUNDING ZONING



 SUP2025-00013

Created: June 5, 2025



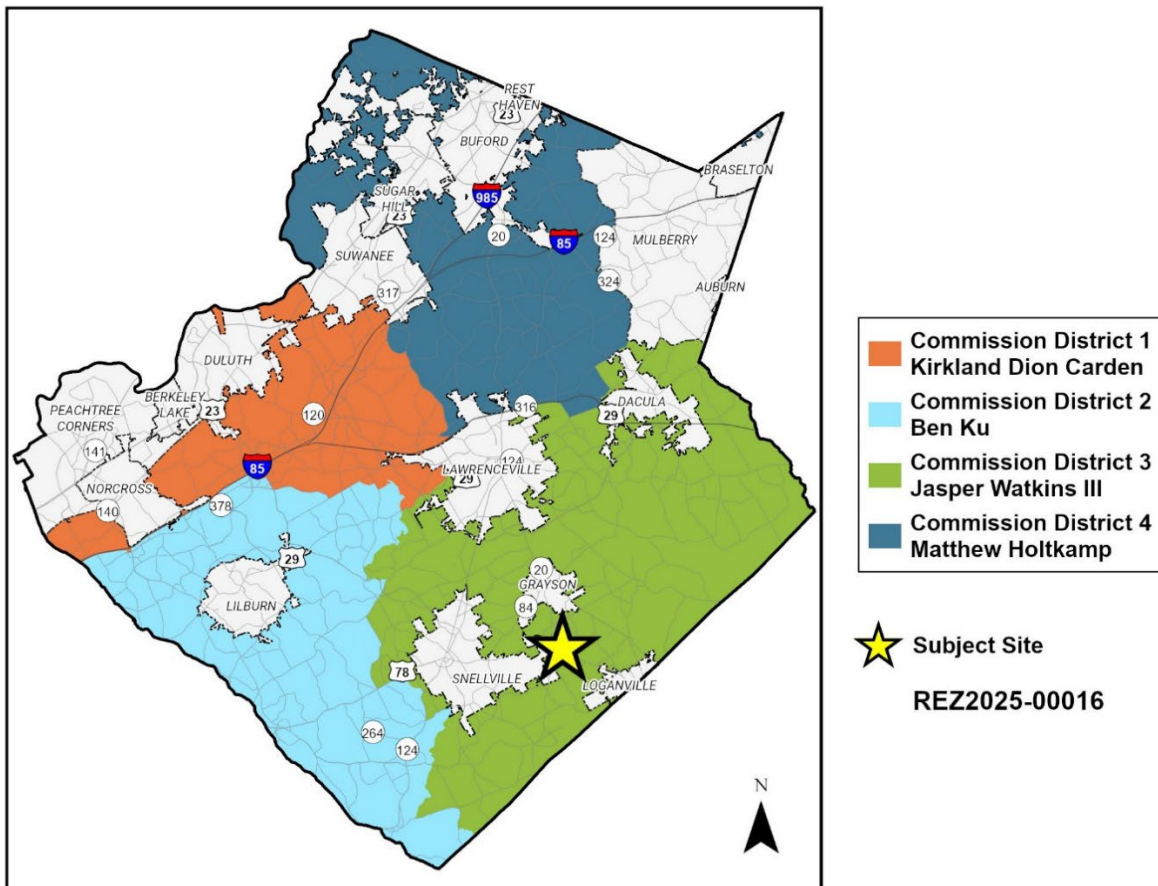
0 200 400
Feet

2045 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION

PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: REZ2025-00016
Current Zoning: MH (Manufacture Housing)
Request: Rezoning to **R-TH** (Single-Family Townhouse District)
Additional Request: Variance
Address: 3235 Langley Road
Map Number: R5125 037
Site Area: 14.36 acres
Units: 129
Proposed Development: Townhouses
Commission District: District 3 – Commissioner Watkins
Future Development Type: Neighborhood Traditional

Staff Recommendation: **APPROVAL WITH CONDITIONS**



Applicant: Reliant Homes GA, LLC
c/o Mahaffey Pickens Tucker, LLP
1550 North Brown Road, Suite 125
Lawrenceville, GA 30043

Owner: 3235 Langley Investment, LLC
PO Box 2655
Loganville, GA 30052

Contact: Gabrielle Schaller

Phone: 770.232.0000

Zoning History

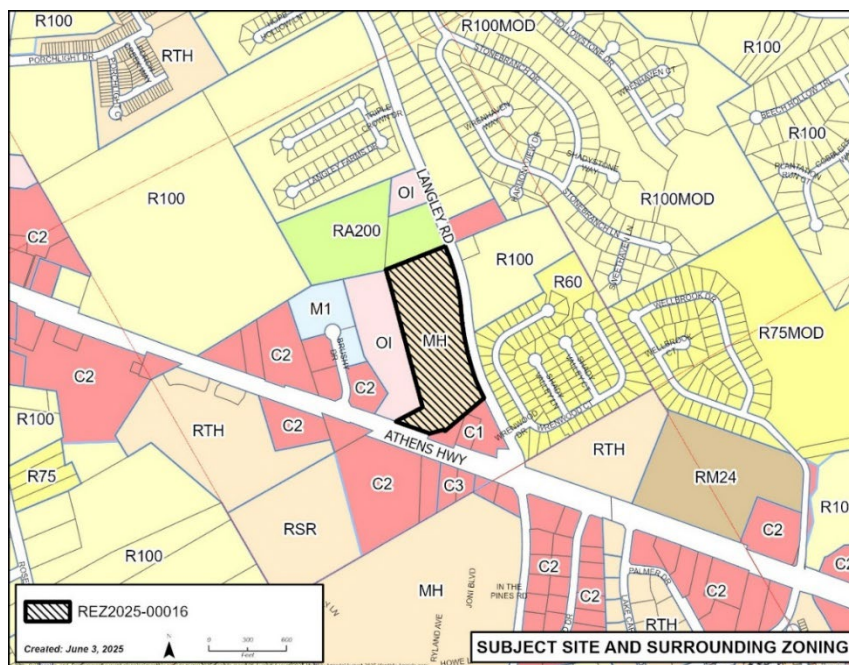
The property is zoned MH (Manufacture Housing). In 1970, the property was rezoned from RA-200 (Agriculture-Residence District) to MH for a manufactured home park, pursuant to RZ-11-70.

Existing Site Condition

The subject property is a 14.36-acre parcel located at the northwestern quadrant of Langley Road and Athens Highway. The site contains a manufactured home park and is accessed by driveways along Langley Road and Athens Highway. There is no sidewalk along either road frontage. The nearest Ride Gwinnett transit stop is approximately 4.7 miles from the property.

Surrounding Use and Zoning

The property is surrounded by residential, institutional, and commercial uses. Residences on large lots and within the Langley Farms subdivision are to the north. A place of worship and the Wrenwood Hills subdivision are to the east, across Langley Road. The Langley Overlook townhouse subdivision and Rosemont Grayson apartments are located farther east on Athens Highway. A small commercial building is located southeast of the property, at the intersection of Langley Road and Athens Highway. A place of worship is located to the west. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Townhouses	R-TH	8.98 units per acre
North	Single-Family Residential	RA-200	0.28 units per acre
East	Place of Worship	R-100	N/A
	Single-Family Residential	R-60	3.84 units per acre
	Townhouses	R-TH	7.68 units per acre
South	Commercial	C-1	N/A
West	Place of Worship	O-I	N/A

Project Summary

The applicant requests rezoning of a 14.36-acre parcel from MH to R-TH for townhouses, including:

- 129 townhouses including 51 rear-loaded units and 78 front-loaded units, yielding a density of 8.98 units per acre.
- Two-story townhouses with two-car garages and a minimum heated floor area of 1,719 square feet.
- Exterior building materials primarily of brick, with accents of cementitious siding, board and batten and/or shake on the front façade, and cementitious siding on the side and rear façades.
- 3.4 acres of open space, including 0.92 acres of usable open space, comprised of a pool with a cabana, pocket park, pavilion, and picnic benches.
- 21 off-street parking spaces adjacent to the amenity area, and 18 on-street parallel guest parking spaces dispersed throughout the subdivision.
- One full-access entrance with a deceleration lane and a 5-foot-wide sidewalk along Langley Road, and one right-in/right-out entrance with a 12-foot-wide multi-use path along Athens Highway.
- A 35-foot-wide undisturbed buffer and a stub street along the northern property line, a 10-foot-wide landscape strip along Athens Highway and Langley Road, and a 40-foot-wide building setback along the remaining property lines.
- Two stormwater management facilities along the western property line.

Zoning and Development Standards

The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Density	Maximum 10 units per acre	8.98 units per acre	YES
Project Area	Minimum 2 acres	14.36 acres	YES
Front Yard	Minimum 10'	>10'	YES
Rear Yard	Minimum 20'	>20'	YES
Side Yard	Minimum 5'	>5'	YES
Building Height	Maximum 40'	<40'	YES
Open Space	Minimum 10% or 1.44 acres	23.68% or 3.4 acres	YES
Usable Open Space	Minimum 5% or 0.72 acres	6.41% or 0.92 acres	YES
Recreation Area Parking	Minimum 6 spaces	6 spaces	YES
Guest Parking	Minimum 33 spaces	33 spaces	YES
Landscape Strip	Minimum 10'	10'	YES
Zoning Buffer	Minimum 35'	35'	YES

Variance Request

The applicant is seeking a variance from the following provision of Title II of the UDO:

1. Section 240-70.1.B Inter-parcel Vehicle Access.

The applicant is requesting a variance to not provide inter-parcel access to the adjacent non-residential properties.

Public Participation

The applicant held a community meeting on February 12, 2025, at the Hampton Inn & Suites in Snellville. There were six community members in attendance who raised concerns regarding traffic, amenity, stormwater management and the development process. The applicant discussed the development process, the proposed home sizes, unit mix, and amenity features as well as traffic and detention pond design. The public participation plan and report are shown in Exhibit H.

Internal and External Agency Review

Internal and external agency review comments are attached (Exhibit I). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Rezoning Request Analysis: The standards governing the exercise of zoning power are outlined in Section 270-20.6. of the UDO. Staff makes the following findings related to the rezoning request:

A. Whether a proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The property is surrounded by residential, institutional, and commercial uses. The site is located along a portion of Athens Highway that is experiencing development of higher density. The Langley Overlook townhouses and Rosemont Grayson apartments are east of the property, and the Brooks Lake townhouses are planned to the west along Athens Highway. The proposed townhouse development would be compatible with development patterns of the area, thus the requested rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.

B. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.

The proposed townhouses would provide a transition from more intense uses along Athens Highway to single-family uses to the north. A 35-foot-wide undisturbed buffer abutting the RA-200 zoned property and a 40-foot-wide building setback to the west and south would mitigate potential impacts on surrounding properties. The proposed rezoning will not adversely affect the existing use or usability of adjacent or nearby property.

C. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.

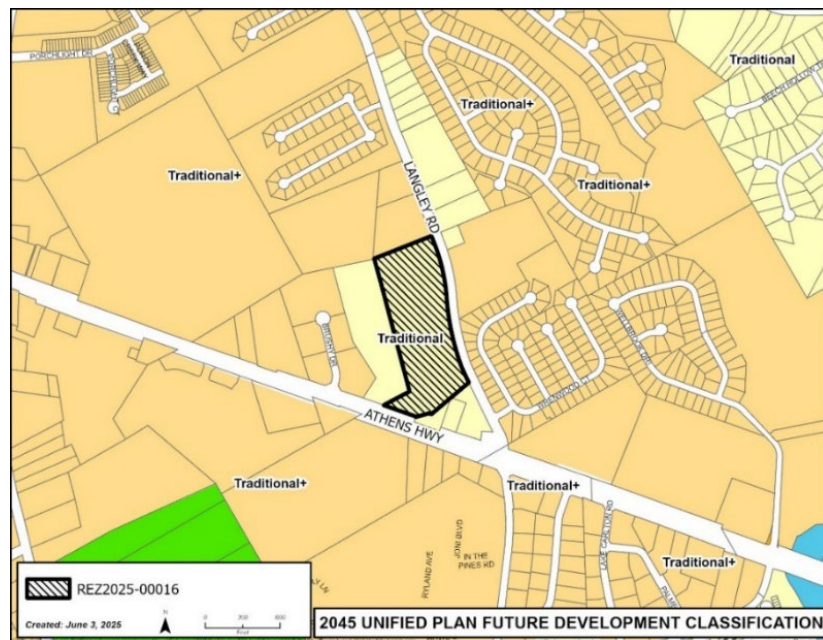
The property has a reasonable economic use as currently zoned.

D. Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

An increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts could be mitigated with appropriate conditions, site development requirements, and planning. The traffic impact study (Exhibit G) estimated the development would generate 61 morning and 73 evening peak hour trips. Staff has recommended a condition to provide a left-turn lane and a deceleration lane along Langley Road as well as a deceleration lane along Athens Highway to address traffic concerns. An increased impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit I).

E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map; and

The Unified Plan's Future Development Map indicates "Neighborhood Traditional" for the subject property, which envisions low density single-family residential development due to the lack of sewer access. Given the availability of sewer, the property could be considered "Neighborhood Traditional+", which envisions gentle density through smaller footprint homes in predominantly single-family residential areas. Townhouses are a recommended use, and R-TH is a recommended zoning district for the future development type. In addition, there are townhouses within Neighborhood Traditional+ nearby. Rear-loaded residences are an appropriate design in this future development type, and the proposal includes 59 rear-loaded townhouses. The proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning.

There are no other conditions giving support for approval or disapproval of the proposal.

Variance Requests Analysis: The standards for granting variances are outlined in Section 270-90.7 of the UDO. Staff makes the following findings related to the variance request:

The applicant is requesting a variance to not provide inter-parcel access to the adjacent non-residential properties. The development will have access to both Athens Highway and Langley Road, and a stub street is proposed along the northern property line. Approval of the variance request would not nullify the intent of the UDO.

Staff Recommendation

Based on the staff's evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

In addition, staff recommends **APPROVAL** of the following variance:

1. To not provide inter-parcel access to the adjacent non-residential properties.

Staff Recommended Conditions

Approval as R-TH (Single-Family Townhouse District) for townhouses, subject to the following conditions:

1. The development shall be limited to townhouses and accessory uses, not exceeding 129 units.
2. The proposed development shall be constructed in general conformance with Exhibit B: Site Plan dated received May 28, 2025, and Exhibit C: Building Elevations dated received March 5, 2025, with revisions required by zoning conditions and the Unified Development Ordinance, subject to the review and approval of the Department of Planning and Development.
3. The minimum heated floor area shall be 1,700 square feet.
4. Usable open space shall be provided in general conformance with Exhibit B: Site Plan dated received May 28, 2025, including, but not limited to, a swimming pool and cabana, a pocket park, a pavilion, and picnic benches, subject to the review and approval of the Department of Planning and Development.
5. The following roadway improvements shall be provided, prior to the issuance of a Certificate of Occupancy, subject to the review and approval of the Gwinnett County Department of Transportation and Georgia Department of Transportation:
 - a. A full-access entrance, a deceleration lane, and a left-turn lane along Langley Road.
 - b. A right-in/right-out entrance and a deceleration lane along Athens Highway.
6. Natural vegetation shall remain on the property until the issuance of a development permit.
7. All grassed areas within lots and usable open space shall be sodded.

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Application and Disclosure of Campaign Contributions
- F. DWR Sewer Capacity Certification Letter
- G. Traffic Impact Study
- H. Public Participation Plan and Report
- I. Internal and External Agency Review Comments
- J. Maps

Exhibit A: Site Visit Photos



View facing north from proposed entrance on Langley Road



View facing west from proposed entrance on Athens Highway



View of existing mobile home park



View of existing mobile home park



View from Wrenwood Hills Subdivision, east of proposal



View of Langley Overlook townhouse community, under development

Exhibit B: Site Plan

[attached]

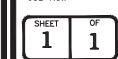
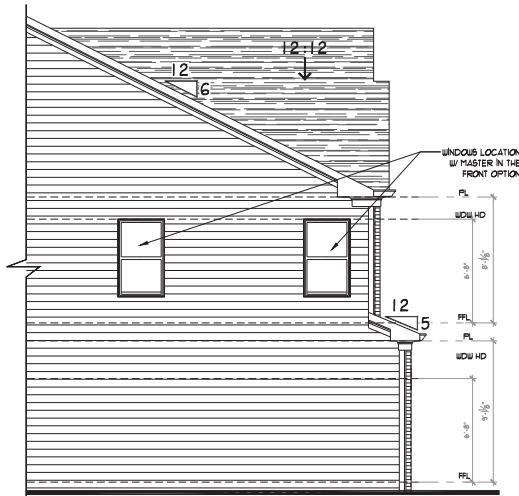
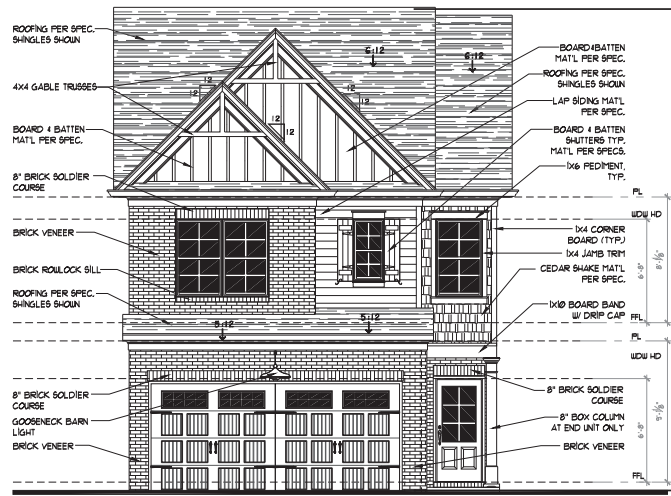


Exhibit C: Building Elevations

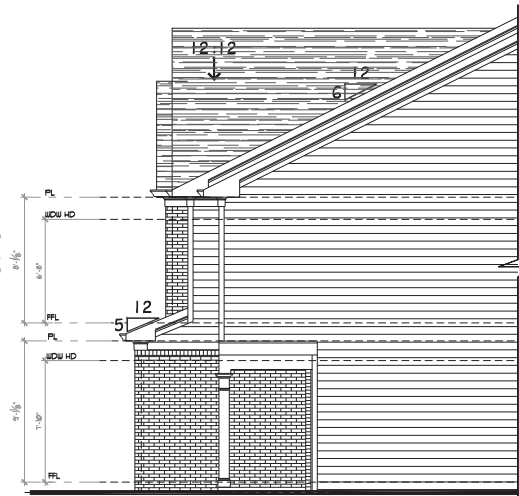
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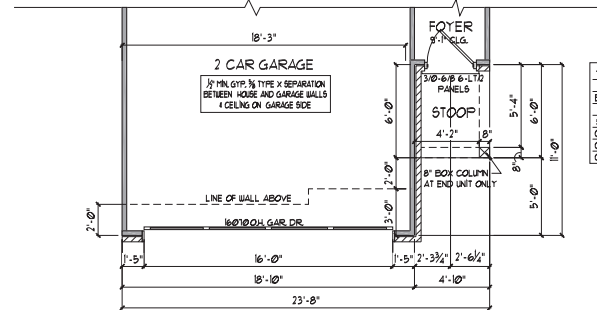
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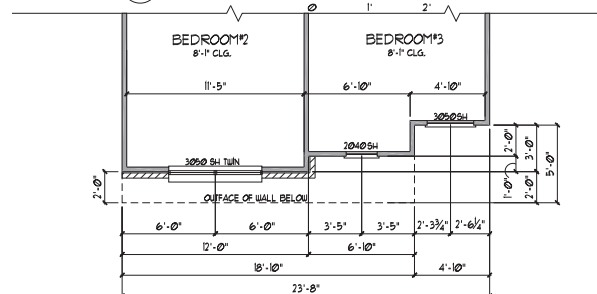
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2 1st Floor Plan Elevation 'A'
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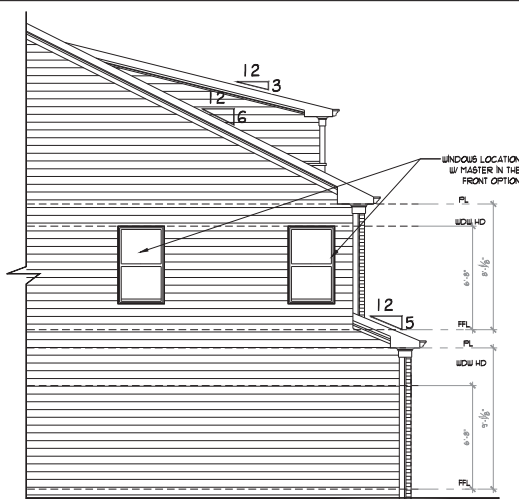
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SCALE: 1/8" = 1'-0"

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BRICK	151	61%
SECONDARY MATERIALS PERCENTAGE	127	49%
CEMENTITIOUS BOARD & BATTEN	59	24%
CEMENTITIOUS LAP SIDING	31	12%
CEMENTITIOUS SHAKE SIDING	26	10%

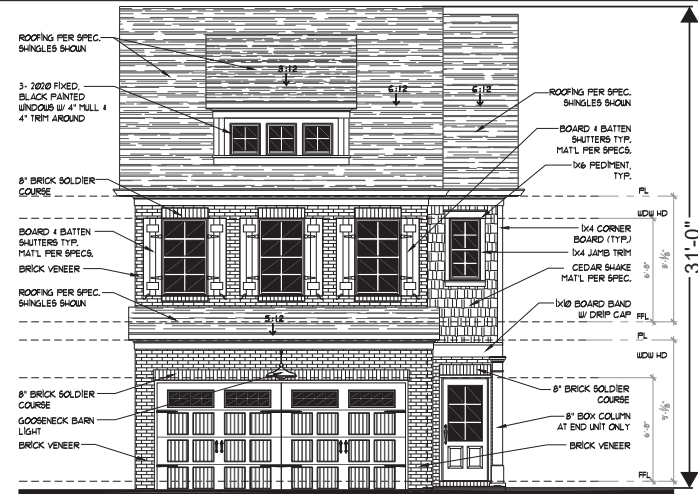
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 BRICK- PINE HALL- BEACON HILL
 MORTAR- IVORY
 SIDING- CLASSIC FRENCH GRAY SW0071
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
RECEIVED
 3.5.2025

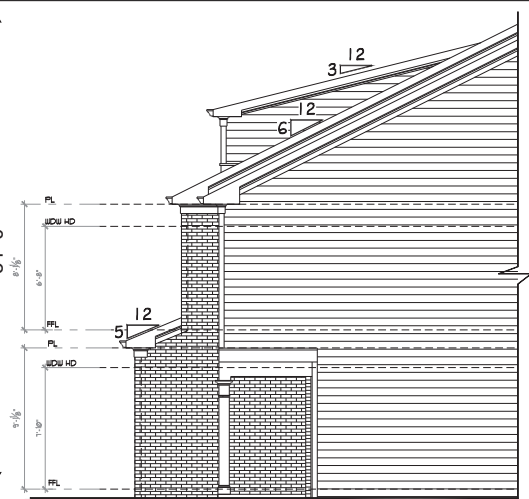
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PROJECT NAME:	PLAN#1 INMAN TOWNHOMES GWINNETT COUNTY, GA	
CLIENT/BUILDER:	RIH 574 CONTERS RD. LOGANVILLE, GA 30052	
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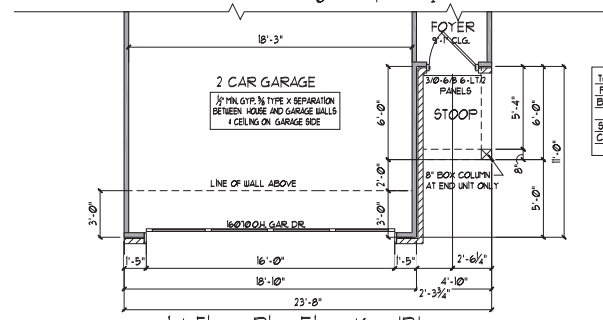
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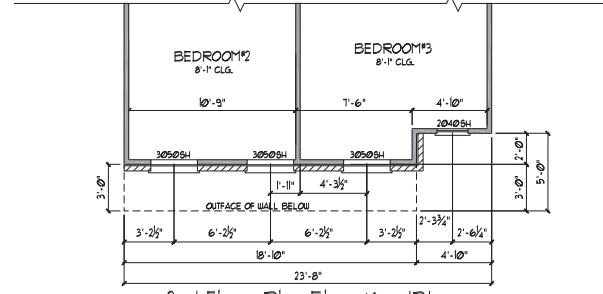
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SCALE: 1/8" = 1'-0"



3 2nd Floor Plan Elevation 'B'
SCALE: 1/8" = 1'-0"

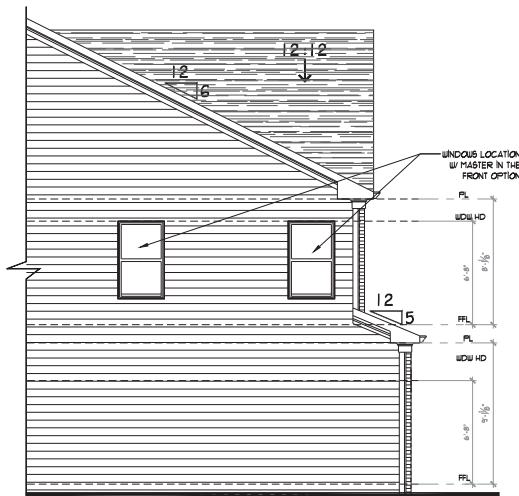
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BRICK	51	55%
SECONDARY MATERIALS PERCENTAGE	26	5%
CEMENTITIOUS SHAKE SIDING	26	5%

COLOR SELECTIONS "B" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK-MERIDIAN OLD EDISTO
 MORTAR- IVORY
 SIDING- MEGA GREIGE SW1031
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

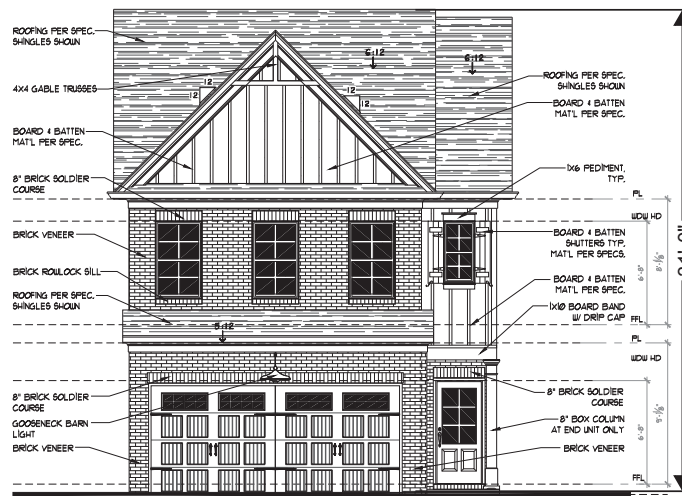
GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
RECEIVED
 3.5.2025

DESIGNER:	VIEWPOINT DESIGN	4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com	PHONE (404) 518-0956
NO.	DESCRIPTION	DATE	
PROJECT NAME: PLAN#1 INMAN TOWNHOMES GWINNETT COUNTY, GA			
CLIENT/BUILDER: RIH 574 CONTERS RD LOGANVILLE, GA 30052			
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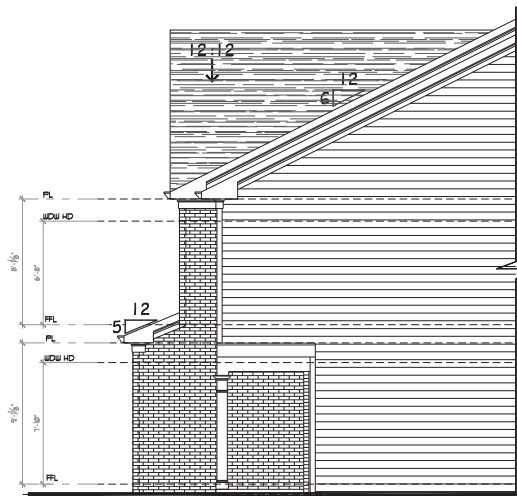
© COPYRIGHT VIEWPOINT DESIGN, LLC



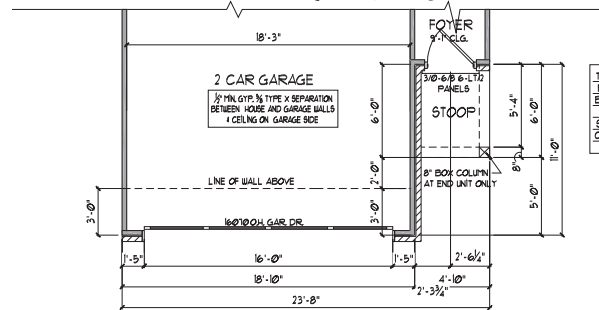
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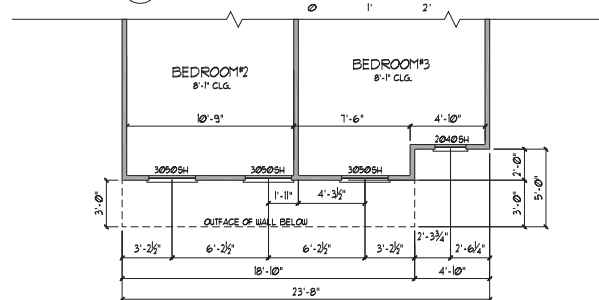
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SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'C'
SCALE: 1/8" = 1'-0"



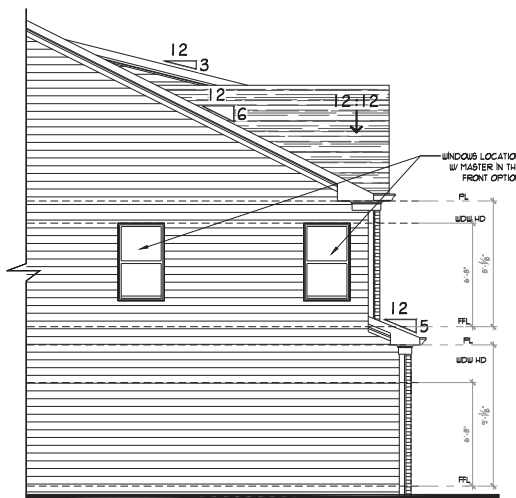
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BRICK	51	60%
SECONDARY MATERIALS PERCENTAGE	101	40%
CEMENTITIOUS SHAKE SIDING	101	40%

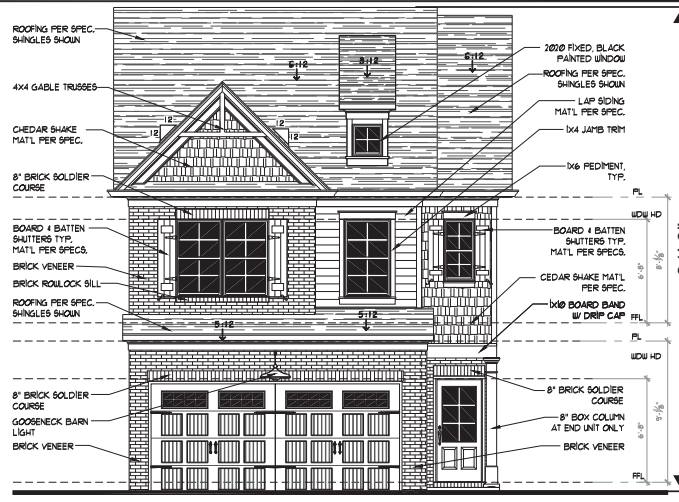
COLOR SELECTIONS "C" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- PINE HALL- SHADOW CREEK
 MORTAR- IVORY
 SIDING- GAUNTLET GRAY SW1019
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
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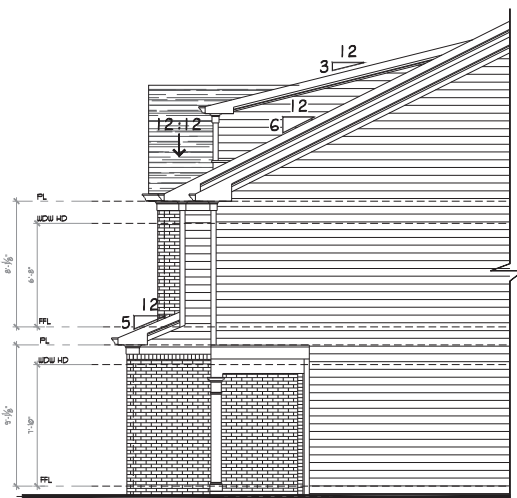
DESIGNER:	NO.	DESCRIPTION:	DATE:
VIEWPOINT DESIGN			
4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com PHONE (404) 518-0956			
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PROJECT NAME:	PLAN #1		
	INMAN TOWNHOMES		
	GWINNETT COUNTY, GA		
CLIENT/BUILDER:	RIH 574 CONYERS RD. LOGANVILLE, GA 30052		
SHEET TITLE:	FRONT ELEVATION 'C'		
Date:	11/4/2024		
Scale:	AS NOTED		
Drawn By:	GC		
Job No.:	N/A		
Sheet:	A1.3		



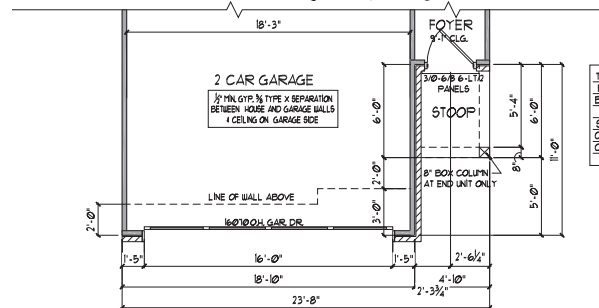
4 Left Side Elevation 'D'
SCALE: 1/8" = 1'-0"



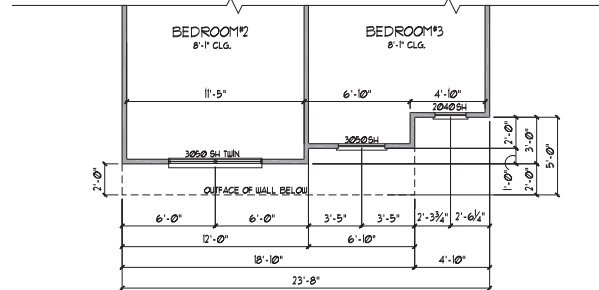
1 Front Elevation 'D'
SCALE: 1/8" = 1'-0"



5 Right Side Elevation 'D'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'D'
SCALE: 1/8" = 1'-0"



3 2nd Floor Plan Elevation 'D'
SCALE: 1/8" = 1'-0"

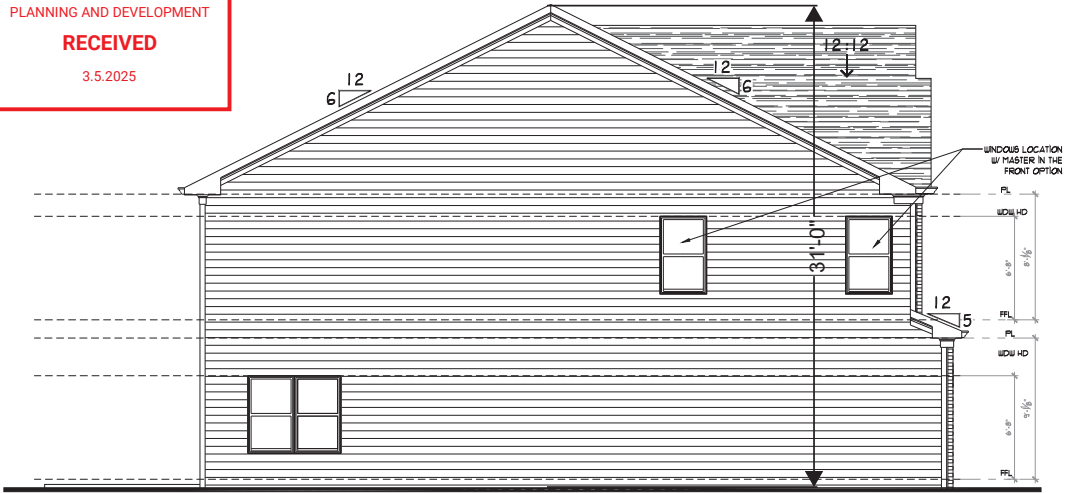
TOTAL WALL AREA:	212	100%
PRIMARY MATERIALS PERCENTAGE	126	59%
BRICK	126	59%
SECONDARY MATERIALS PERCENTAGE	86	41%
CEMENTITIOUS SHAKE SIDING	56	26%
CEMENTITIOUS LAP SIDING	30	15%

COLOR SELECTIONS "D" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- GENERAL SHALE- FRASIER CANYON
 MORTAR- IVORY
 SIDING- STUDIO CLAY SW9172
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

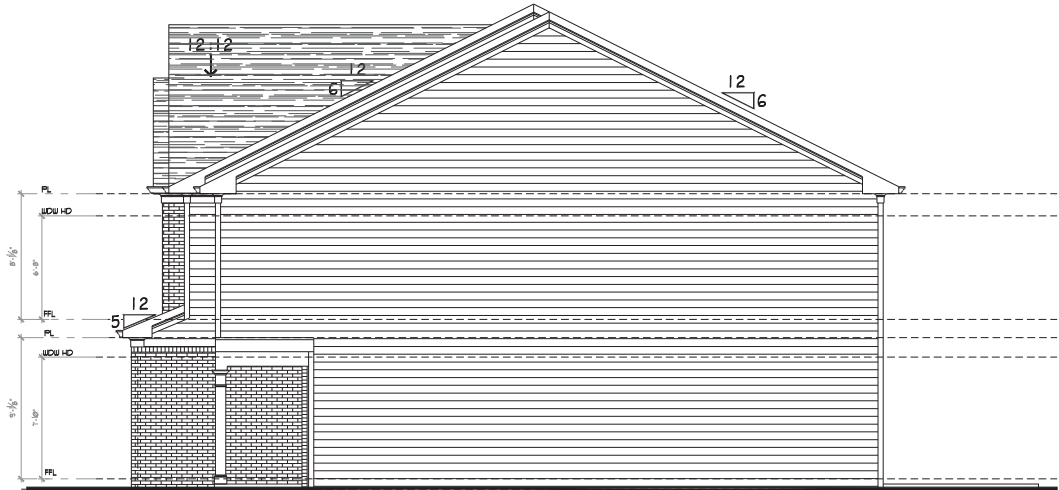
GWINNETT COUNTY
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DESIGNER:	VIEWPOINT DESIGN	4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com	PHONE (404) 518-0956
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PROJECT NAME:	PLAN#1 INMAN TOWNHOMES GWINNETT COUNTY, GA		
CLIENT/BUILDER:	RIH 574 CONTERS RD LOGANVILLE, GA 30052		
SHEET TITLE:	FRONT ELEVATION 'D'		
Date:	11/4/2024	Scale:	AS NOTED
Drawn By:	GC	Job No.:	N/A
Sheet:	A1.4		

GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RECEIVED
3.5.2025



1 Left Side Elevation 'A' - PLAN#1
SCALE: 1/8" = 1'-0"



2 Right Side Elevation 'A' - PLAN#1
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	DATE

DESIGNER:
VIEWPOINT DESIGN
4841 BELLE ESTATES RD.
SUWANEE, GEORGIA 30024
gc.viewpointdesign@gmail.com
PHONE (404) 518-0956

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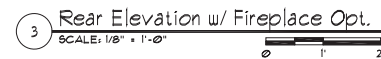
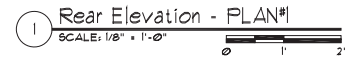
PROJECT NAME:
PLAN#1
INMAN TOWNHOMES
GWINNETT COUNTY, GA

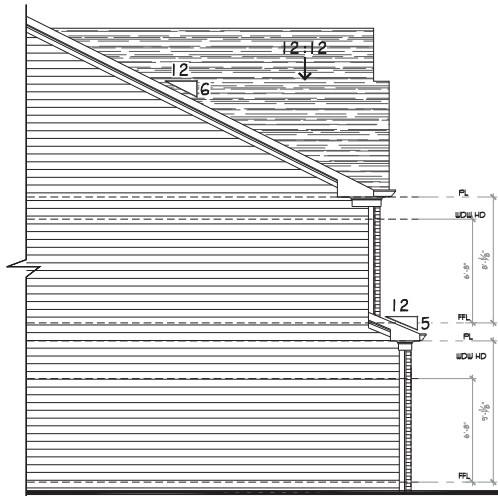
CLIENT/BUILDER:
RIH
574 CONVERS RD
LOGANVILLE, GA 30052

SHEET TITLE:
SIDE ELEVATIONS

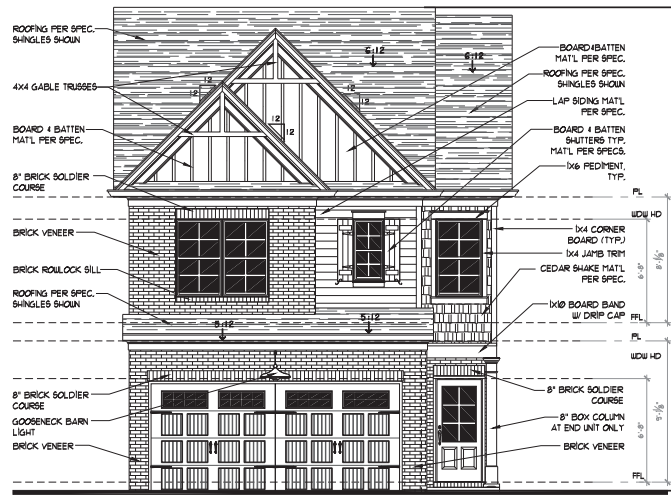
Date: 11/4/2024
Scale: AS NOTED
Drawn By: GC
Job No: N/A
Sheet: **A2.1**

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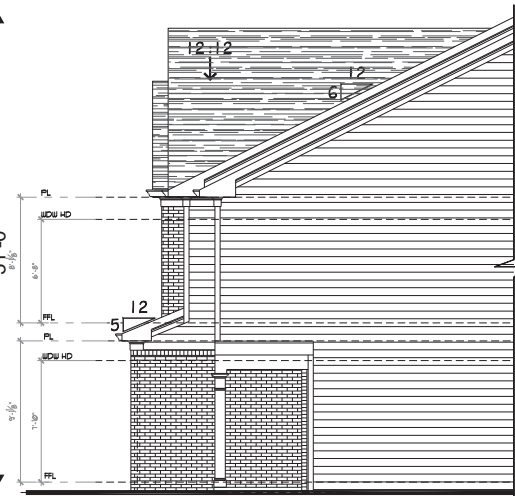
A2.2



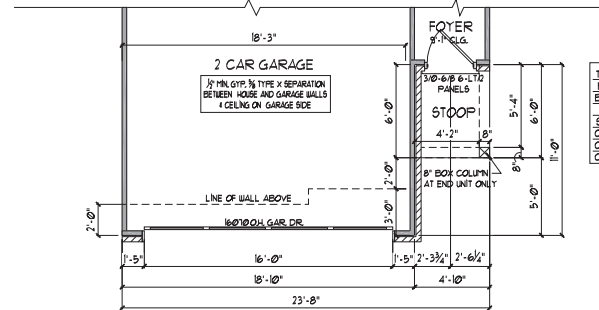
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SCALE: 1/8" = 1'-0"



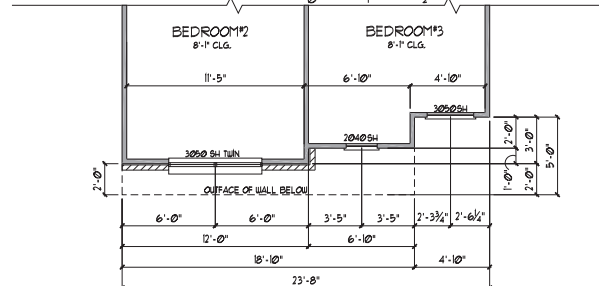
1 Front Elevation 'A'
SCALE: 1/8" = 1'-0"



5 Right Side Elevation 'A'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'A'
SCALE: 1/8" = 1'-0"



3 2nd Floor Plan Elevation 'A'
SCALE: 1/8" = 1'-0"

TOTAL WALL AREA:	248	100%
PRIMARY MATERIALS PERCENTAGE	51	51%
BRICK	51	51%
SECONDARY MATERIALS PERCENTAGE	127	49%
CEMENTITIOUS BOARD & BATTEN	59	24%
CEMENTITIOUS LAP SIDING	31	12%
CEMENTITIOUS SHAKE SIDING	26	10%

COLOR SELECTIONS "A" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- PINE HALL- BEACON HILL
 MORTAR- IVORY
 SIDING- CLASSIC FRENCH GRAY SW0011
 TRIM- PURE WHITE SW7005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

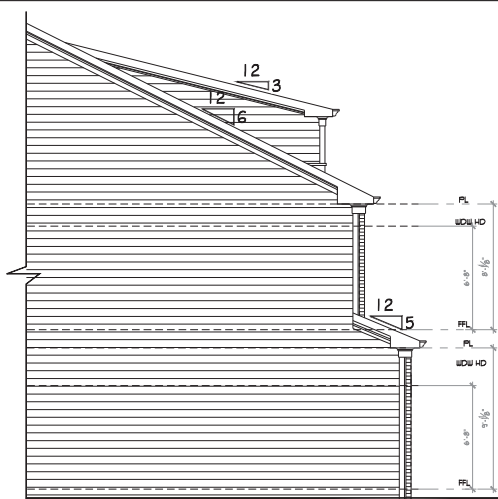
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DESIGNER:	VIEWPOINT DESIGN
NO.	PLAN#2
DESCRIPTION:	INMAN TOWNHOMES GWINNETT COUNTY, GA
DATE:	11/4/2024
CLIENT/BUILDER:	RIH
SHEET TITLE:	FRONT ELEVATION 'A'
Drawn By:	GC
Scale:	AS NOTED
Job No.:	N/A
Sheet:	A1.1

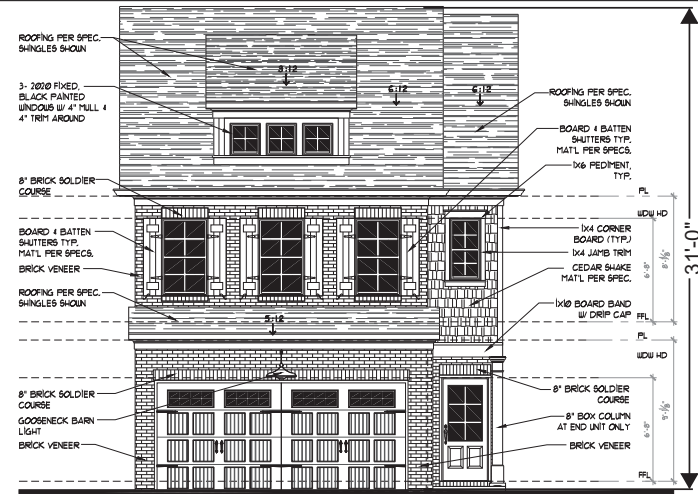
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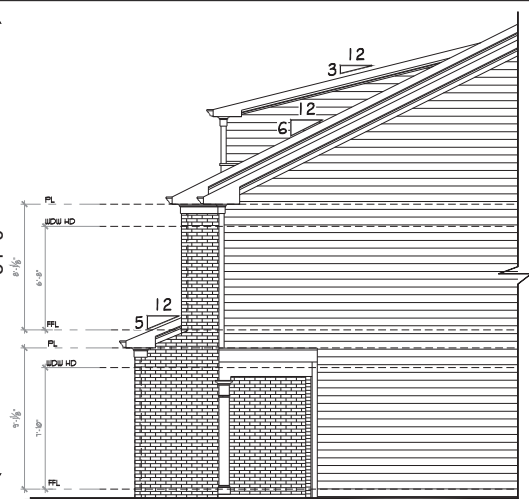
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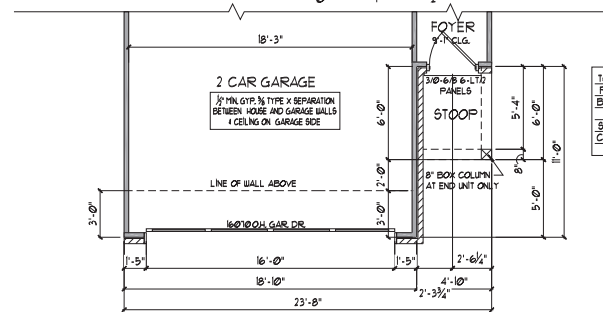
4 Left Side Elevation 'B'
SCALE: 1/8" = 1'-0"



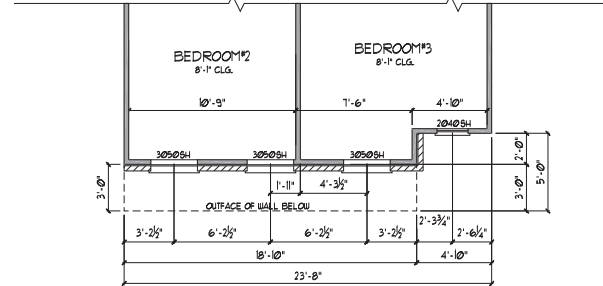
1 Front Elevation 'B'
SCALE: 1/8" = 1'-0"



5 Right Side Elevation 'B'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'B'
SCALE: 1/8" = 1'-0"



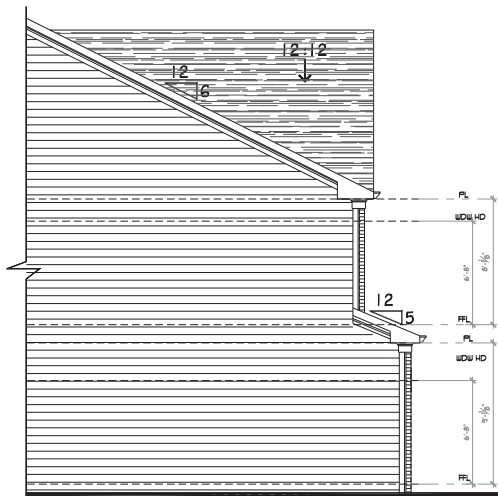
3 2nd Floor Plan Elevation 'B'
SCALE: 1/8" = 1'-0"

TOTAL WALL AREA:	111	100%
PRIMARY MATERIALS PERCENTAGE	51	55%
BRICK	51	55%
SECONDARY MATERIALS PERCENTAGE	26	5%
CEMENTITIOUS SHAKE SIDING	26	5%

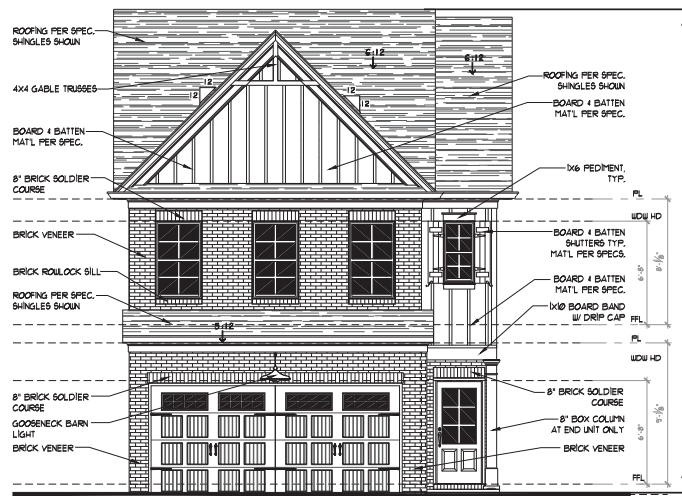
COLOR SELECTIONS "B" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK-MERIDIAN OLD EDISTO
 MORTAR- IVORY
 SIDING- MEGA GREIGE SW1031
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
RECEIVED
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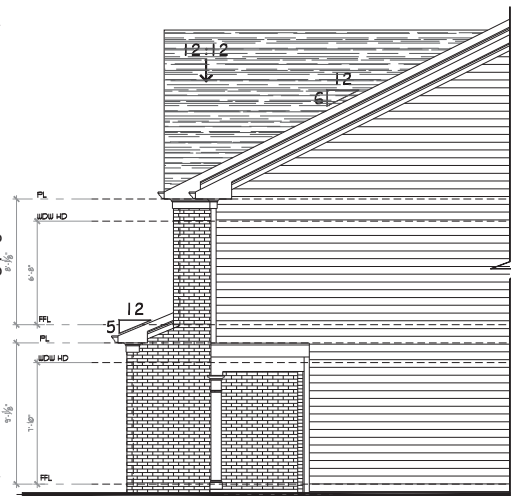
DESIGNER:	VIEWPOINT DESIGN
NO.	
DESCRIPTION:	
DATE:	
4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com PHONE (404) 518-0956	
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PROJECT NAME:	PLAN#2 INMAN TOWNHOMES GWINNETT COUNTY, GA
CLIENT/BUILDER:	RIH 574 CONTERS RD LOGANVILLE, GA 30052
SHEET TITLE:	FRONT ELEVATION 'B'
Date:	11/4/2024
Scale:	AS NOTED
Drawn By:	GC
Job No.:	N/A
Sheet:	A1.2



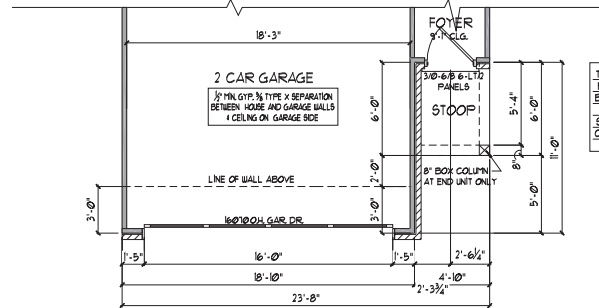
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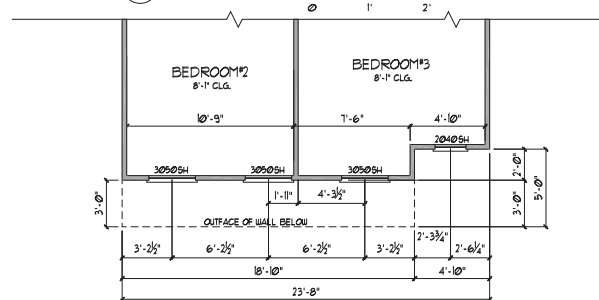
1 Front Elevation 'C'
SCALE: 1/8" = 1'-0"



5 Right Side Elevation 'C'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'C'
SCALE: 1/8" = 1'-0"



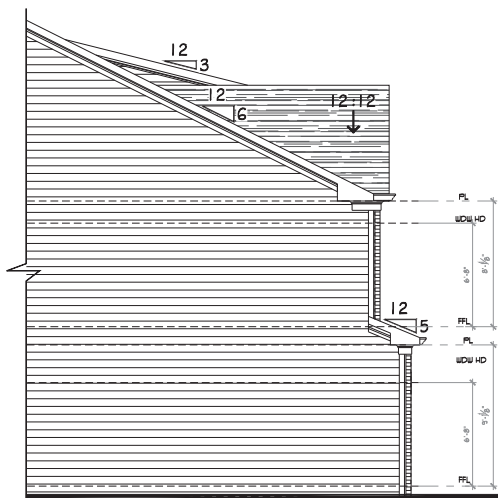
3 2nd Floor Plan Elevation 'C'
SCALE: 1/8" = 1'-0"

TOTAL WALL AREA:	252	100%
PRIMARY MATERIALS PERCENTAGE	151	60%
BRICK	151	60%
SECONDARY MATERIALS PERCENTAGE	101	40%
CEMENTITIOUS SHAKE SIDING	101	40%

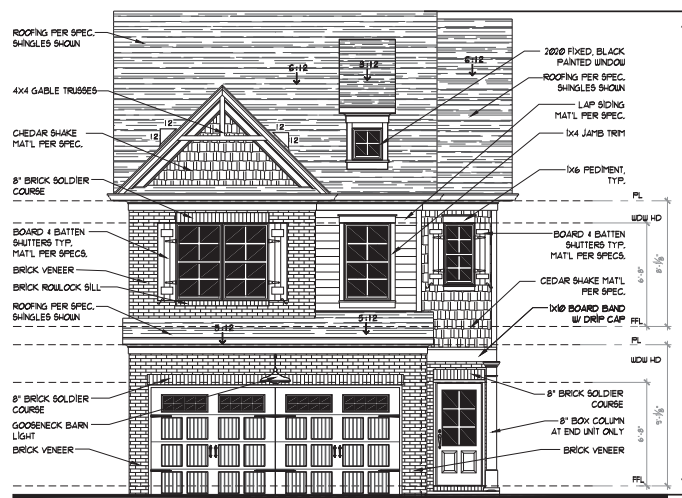
COLOR SELECTIONS "C" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- PINE HALL- SHADOW CREEK
 MORTAR- IVORY
 SIDING- GAUNTLET GRAY SW1013
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
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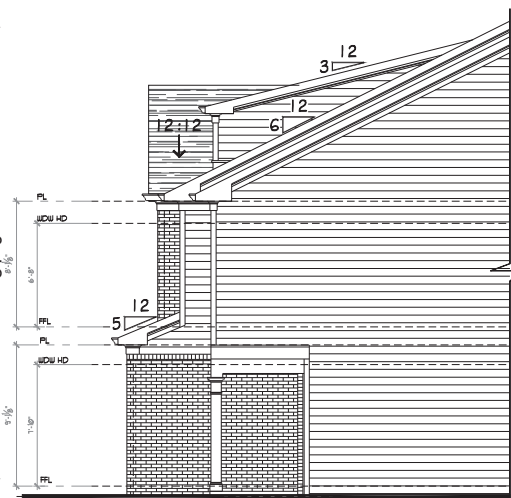
DESIGNER:	VIEWPOINT DESIGN
NO.	PLAN#2
DESCRIPTION:	INMAN TOWNHOMES GWINNETT COUNTY, GA
DATE:	11/4/2024
4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com PHONE (404) 518-0956	
CLIENT BUILDER RIH 574 CONTERS RD LOGANVILLE, GA 30052	
SHEET TITLE FRONT ELEVATION 'C'	
Drawn By	GC
Scale	AS NOTED
Job No.	N/A
Sheet	A1.3



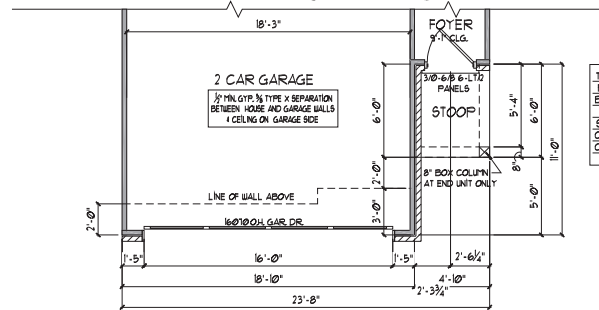
4 Left Side Elevation 'D'
SCALE: 1/8" = 1'-0"



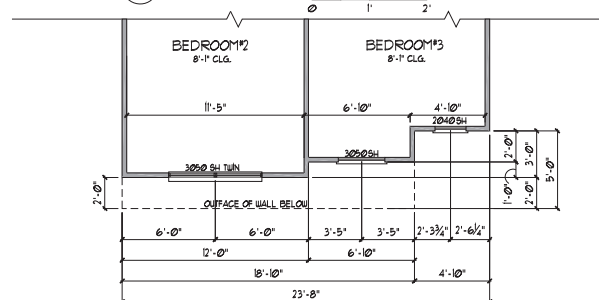
1 Front Elevation 'D'
SCALE: 1/8" = 1'-0"



5 Right Side Elevation 'D'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'D'
SCALE: 1/8" = 1'-0"



3 2nd Floor Plan Elevation 'D'
SCALE: 1/8" = 1'-0"

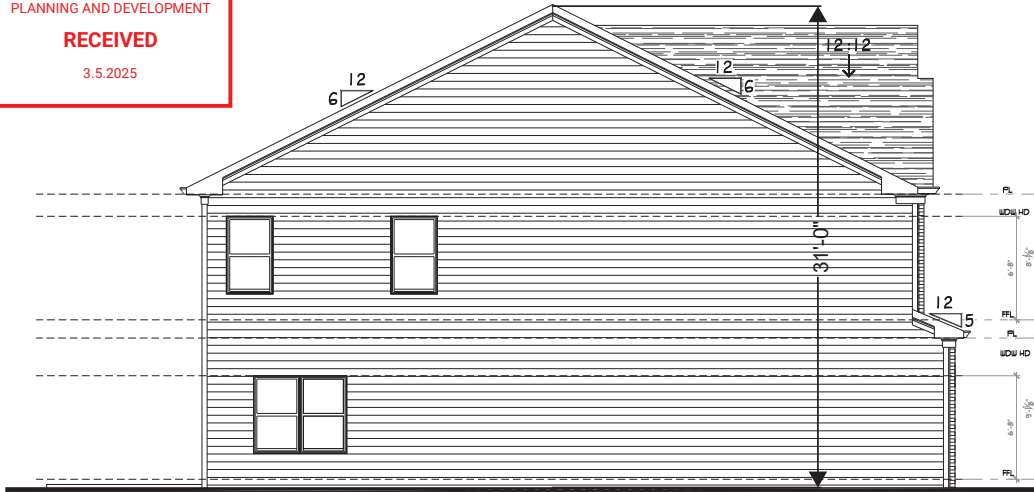
TOTAL WALL AREA:	72	100%
PRIMARY MATERIALS PERCENTAGE	126	55%
BRICK	126	55%
SECONDARY MATERIALS PERCENTAGE	86	41%
CEMENTITIOUS SHAKE SIDING	56	26%
CEMENTITIOUS LAP SIDING	30	15%

COLOR SELECTIONS "D" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- GENERAL SHALE- FRASIER CANYON
 MORTAR- IVORY
 SIDING- STUDIO CLAY SW9172
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

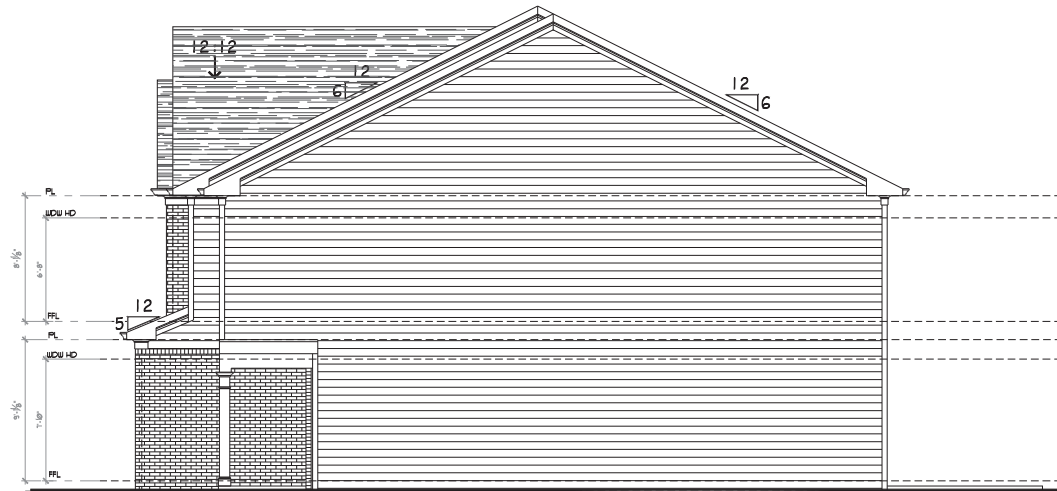
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RECEIVED
 3.5.2025

DESIGNER:	VIEWPOINT DESIGN
NO.	DATE:
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PROJECT NAME:	PLAN#2 INMAN TOWNHOMES GWINNETT COUNTY, GA
CLIENT/BUILDER:	RIH 574 CONTERS RD LOGANVILLE, GA 30052
SHEET TITLE:	FRONT ELEVATION 'D'
Date:	11/4/2024
Scale:	AS NOTED
Drawn By:	GC
Job No.:	N/A
Sheet:	A1.4

GWINNETT COUNTY
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3.5.2025



1 Left Side Elevation 'A' - PLAN#2
SCALE: 1/8" = 1'-0"



2 Right Side Elevation 'A' - PLAN#2
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	DATE

DESIGNER:
VIEWPOINT DESIGN
4841 BELLE ESTATES RD.
SUWANEE, GEORGIA 30024
gc.viewpointdesign@gmail.com
PHONE (404) 518-0956

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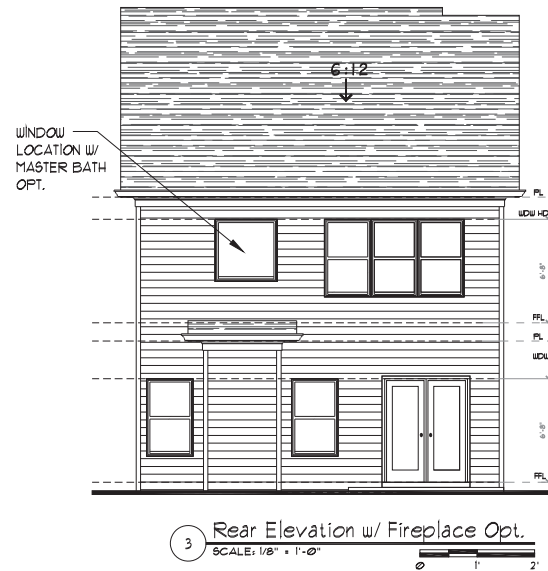
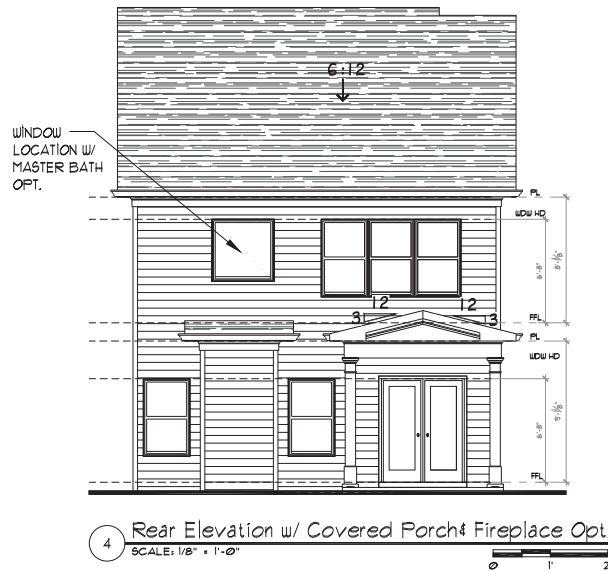
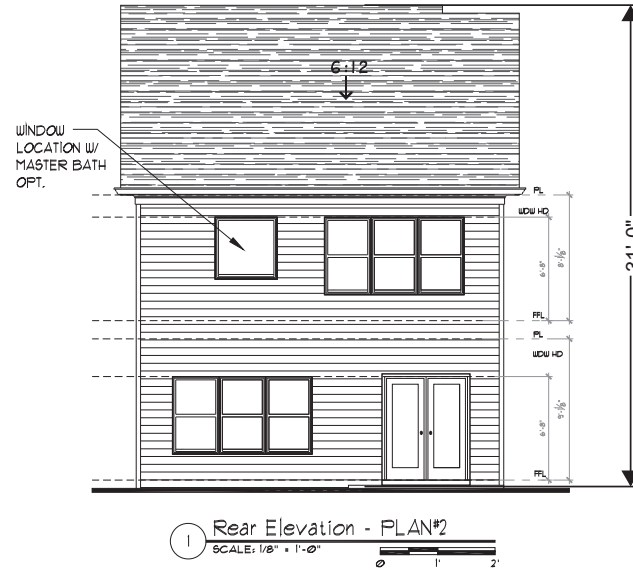
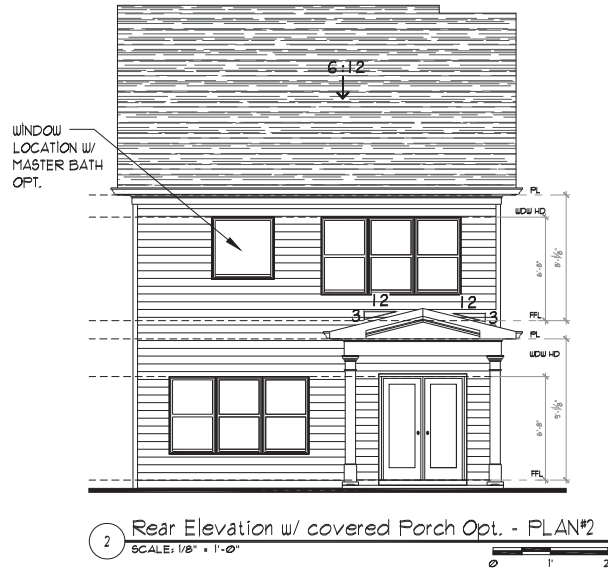
PROJECT NAME:
PLAN#2
INMAN TOWNHOMES
GWINNETT COUNTY, GA

CLIENT/ BUILDER:
RIH
574 CONVERS RD
LOGANVILLE, GA 30052

SHEET TITLE
SIDE
ELEVATIONS

Date: 11/4/2024
Scale: AS NOTED
Drawn By: GC
Job No: N/A

Sheet
A2.1



NO.	DESCRIPTION	DATE

DESIGNER:
VIEWPOINT DESIGN
 4841 BELLE ESTATES RD.
 SUWANEE, GEORGIA 30024
 gc.viewpointdesign@gmail.com
 PHONE (404) 518-0956

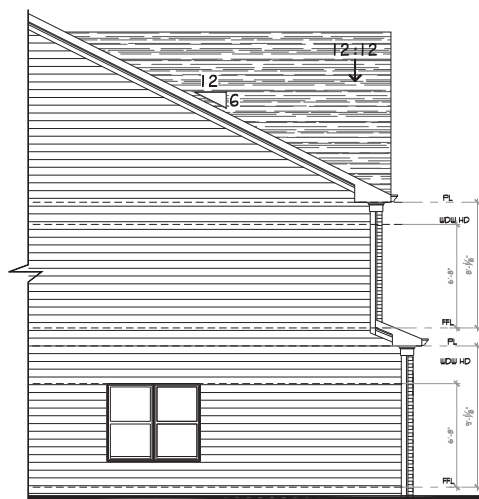
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PROJECT NAME:
PLAN#2
 INMAN TOWNHOMES
 GWINNETT COUNTY, GA

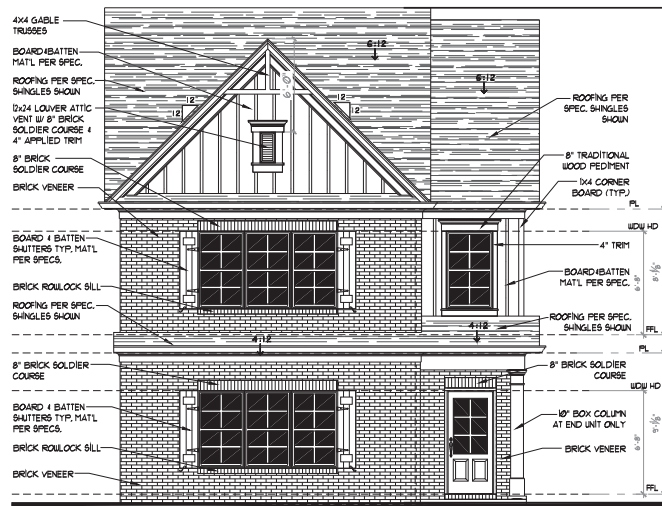
CLIENT/ BUILDER:
RIH
 574 CONVERS RD
 LOGANVILLE, GA 30052

SHEET TITLE:
REAR ELEVATIONS

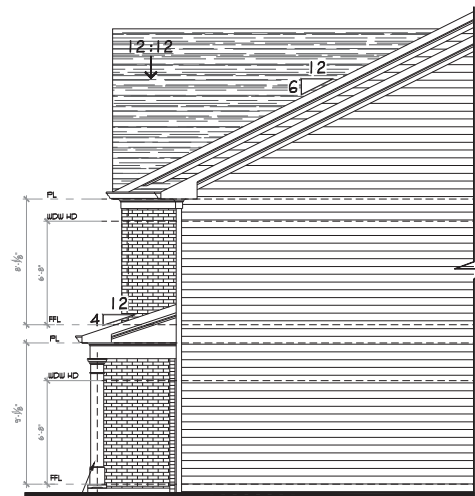
Date: 11/4/2024
 Scale: AS NOTED
 Drawn By: GC
 Job No: N/A
 Sheet: **A2.2**



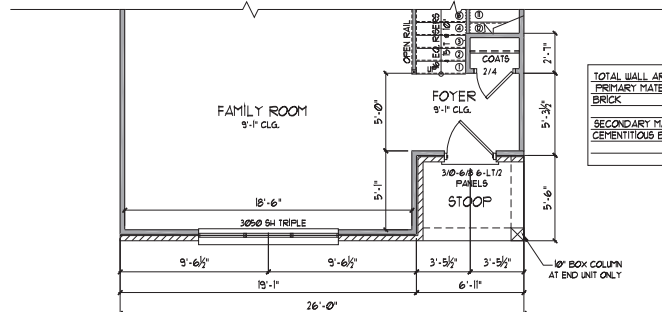
4 Left Side Elevation 'A'
SCALE: 1/8" = 1'-0"



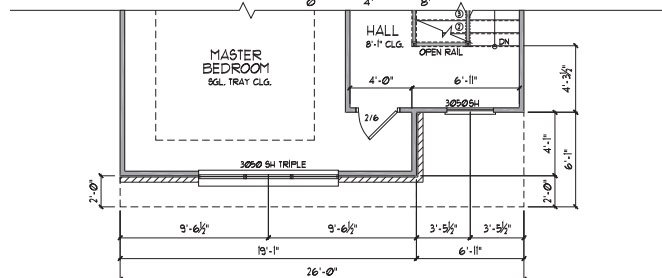
1 Front Elevation 'A'
SCALE: 1/4" = 1'-0"



5 Right Side Elevation 'A'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'A'
SCALE: 1/4" = 1'-0"



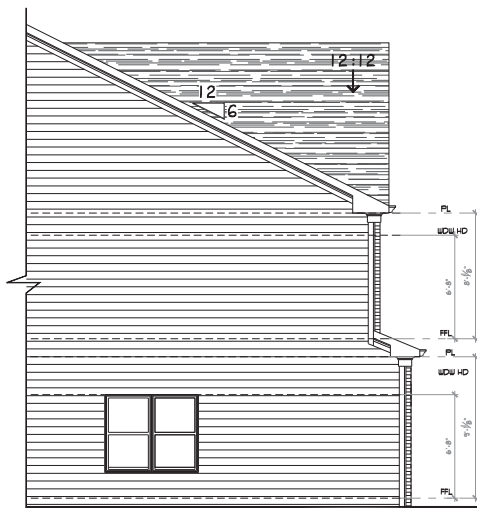
3 2nd Floor Plan Elevation 'A'
SCALE: 1/4" = 1'-0"

TOTAL WALL AREA:	346	100%
PRIMARY MATERIALS PERCENTAGE	295	14%
BRICK	295	14%
SECONDARY MATERIALS PERCENTAGE	91	26%
CEMENTITIOUS BOARD & BATTEN	91	26%

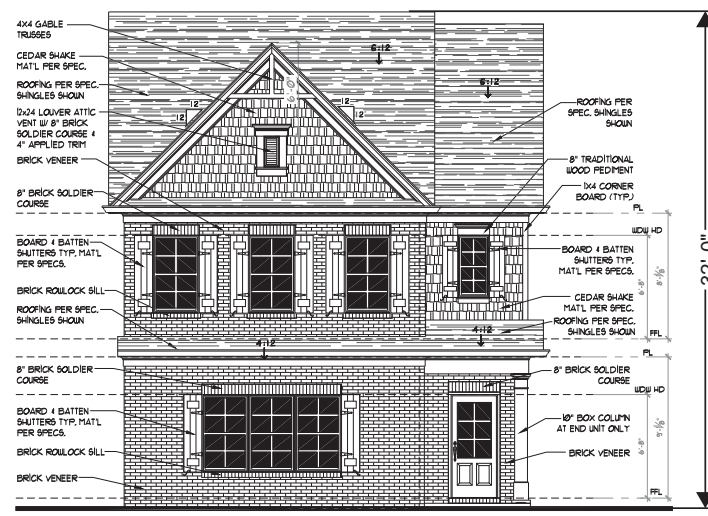
COLOR SELECTIONS "A" ELEVATION:
 ROOF- TIMBERLINE WEATHERWOOD
 BRICK- PINE HALL- BEACON HILL
 MORTAR- IVORY
 SIDING- CLASSIC FRENCH GRAY SW0011
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
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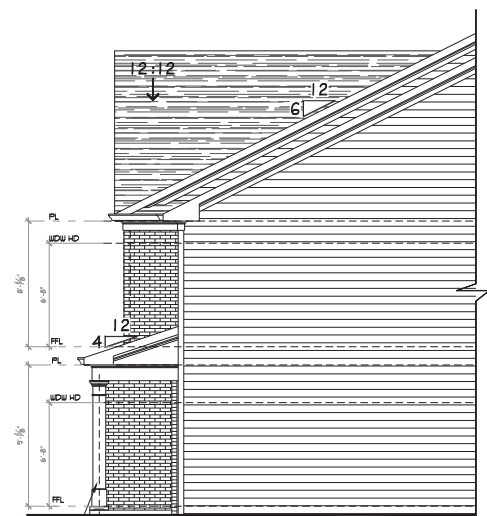
DESIGNER:	VIEWPOINT DESIGN
NO.	DESCRIPTION: DATE:
4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com PHONE (404) 518-0956	
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PROJECT NAME:	PLAN#3 INMAN TOWNHOMES GWINNETT COUNTY, GA
CLIENT/BUILDER:	RIH 574 CONTERS RD. LOGANVILLE, GA 30052
SHEET TITLE:	FRONT ELEVATION 'A'
Date:	12/5/2024
Scale:	AS NOTED
Drawn By:	GC
Job No.:	N/A
Sheet:	A1.1



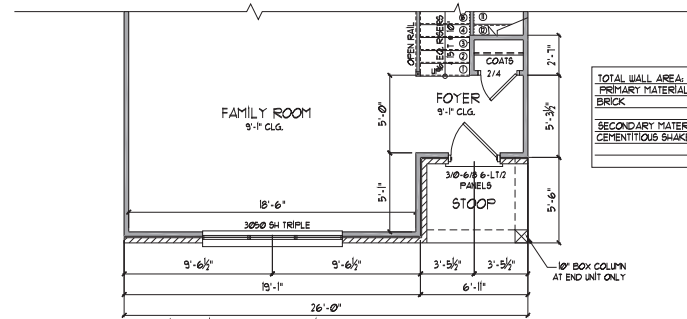
4 Left Side Elevation 'B'
SCALE: 1/8" = 1'-0"



4 Front Elevation 'B'
SCALE: 1/4" = 1'-0"

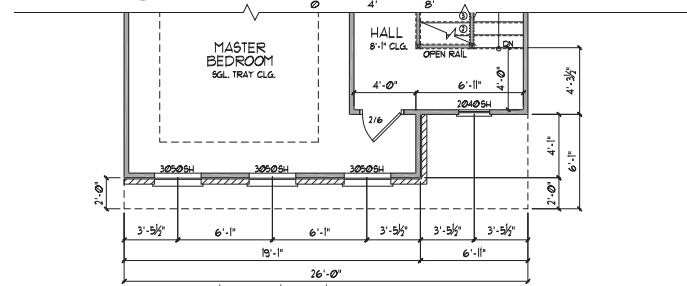


5 Right Side Elevation 'B'
SCALE: 1/8" = 1'-0"



5 1st Floor Plan Elevation 'B'
SCALE: 1/4" = 1'-0"

TOTAL WALL AREA:	353	100%
PRIMARY MATERIALS PERCENTAGE	255	72%
BRICK	255	72%
SECONDARY MATERIALS PERCENTAGE	98	28%
CEMENTITIOUS SHAKE SIDING	98	28%

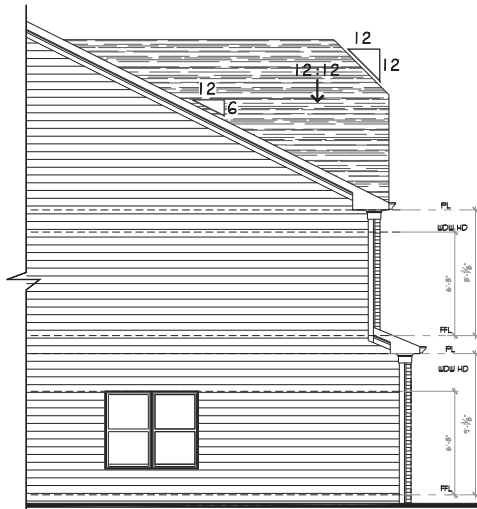


6 2nd Floor Plan Elevation 'B'
SCALE: 1/4" = 1'-0"

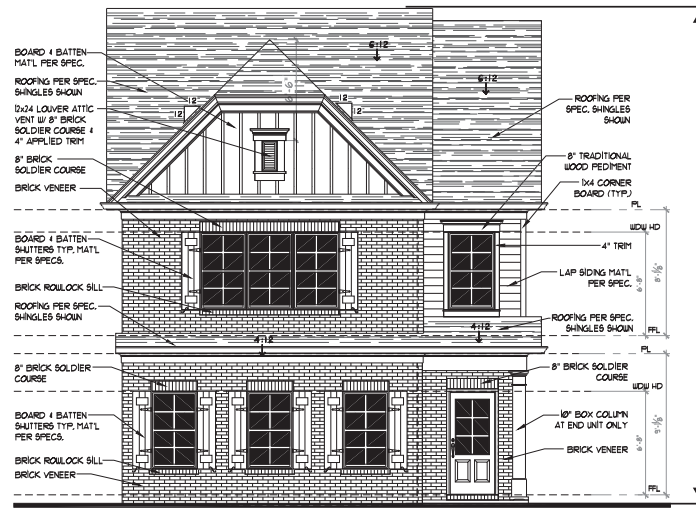
COLOR SELECTIONS "B" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK-MERIDIAN OLD EDISTO
 MORTAR- IVORY
 SIDING- MEGA GREIGE SW1031
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
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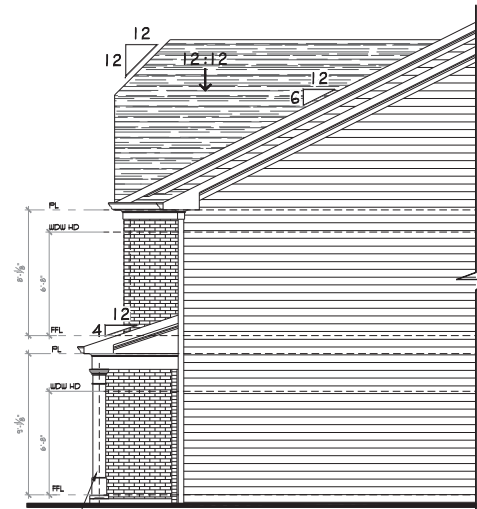
DESIGNER:	NO.	DESCRIPTION:	DATE:	
DESIGNER:	VIEWPOINT DESIGN			
	4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com PHONE (404) 518-0956			
PROJECT NAME:	PLAN#3			
	INMAN TOWNHOMES GWINNETT COUNTY, GA			
CLIENT/BUILDER:	RIH			
	574 CONYERS RD. LOGANVILLE, GA 30052			
SHEET TITLE:	FRONT ELEVATION 'B'			
	Date	12/5/2024	Scale	AS NOTED
	Drawn By	GC	Sheet	N/A
	Sheet	A1.2		



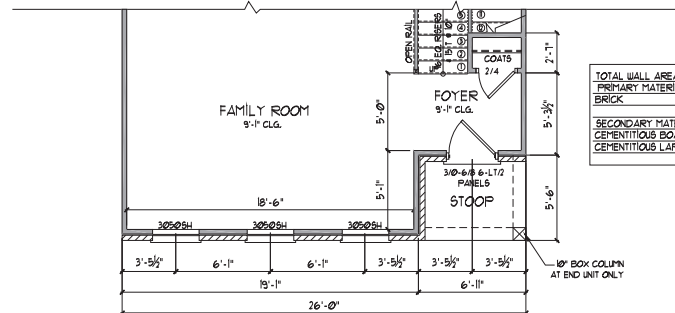
4 Left Side Elevation 'C'
SCALE: 1/8" = 1'-0"



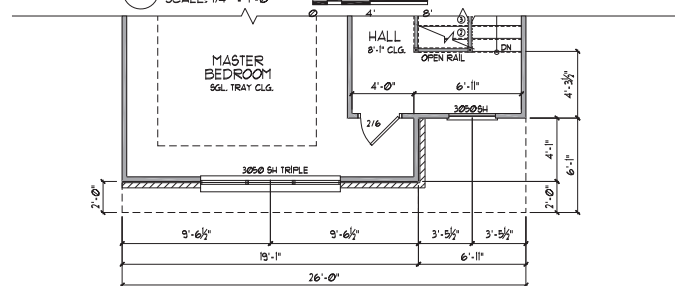
1 Front Elevation 'C'
SCALE: 1/4" = 1'-0"



5 Right Side Elevation 'C'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'C'
SCALE: 1/4" = 1'-0"



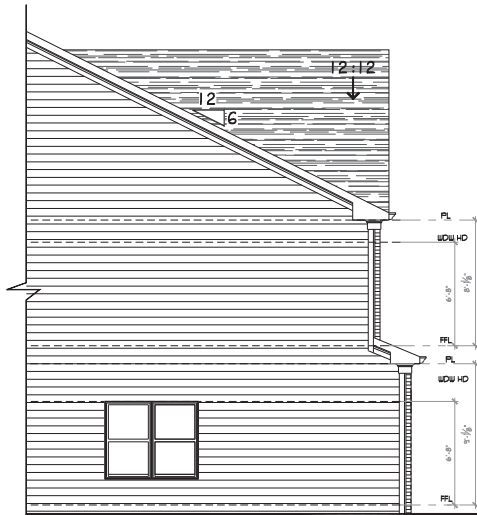
3 2nd Floor Plan Elevation 'C'
SCALE: 1/4" = 1'-0"

TOTAL WALL AREA:	346	100%
PRIMARY MATERIALS PERCENTAGE	255	74%
BRICK	255	74%
SECONDARY MATERIALS PERCENTAGE	91	26%
CEMENTITIOUS BOARD & BATTEN	61	18%
CEMENTITIOUS LAP SIDING	30	9%

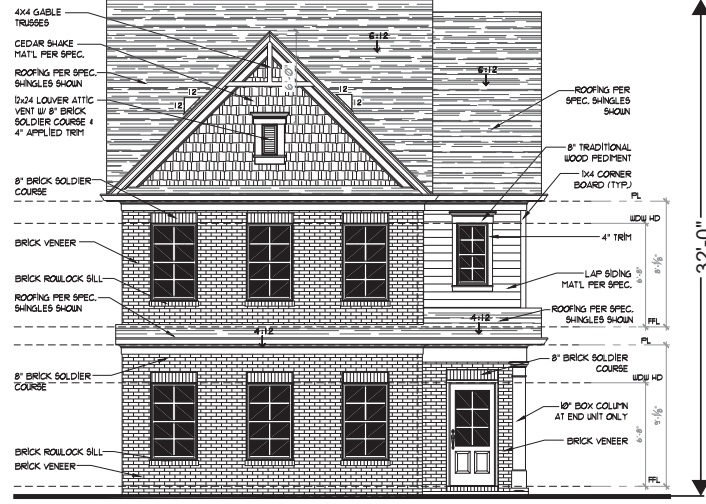
COLOR SELECTIONS "C" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- PINE HALL- SHADOW CREEK
 MORTAR- IVORY
 SIDING- GAUNTLET GRAY SW1013
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
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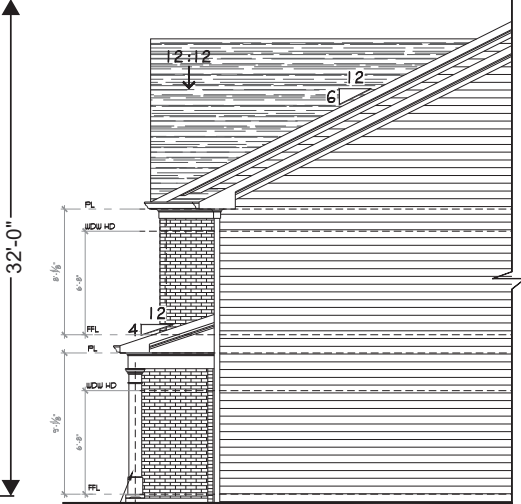
DESIGNER:	DESCRIPTION:	DATE:
VIEWPOINT DESIGN		
4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com		
PHONE (404) 518-0956		
PROJECT NAME:	PLAN#3	
	INMAN TOWNHOMES	
	GWINNETT COUNTY, GA	
CLIENT/BUILDER:	RIH	
	574 CONYERS RD. LOGANVILLE, GA 30052	
SHEET TITLE:	FRONT ELEVATION 'C'	
Date:	12/5/2024	
Scale:	AS NOTED	
Drawn By:	GC	
Job No.:	N/A	
Sheet:	A1.3	



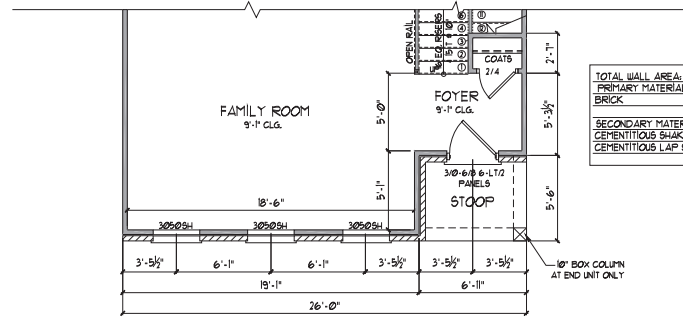
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SCALE: 1/8" = 1'-0"



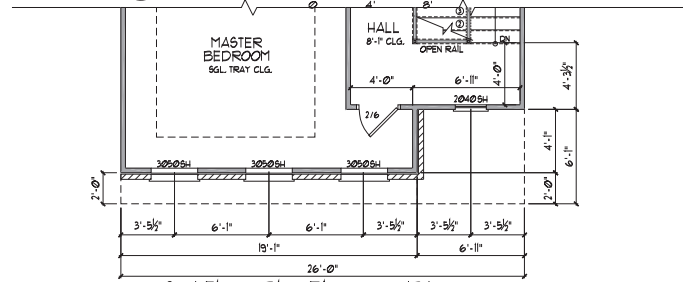
4 Front Elevation 'D'
SCALE: 1/4" = 1'-0"



5 Right Side Elevation 'D'
SCALE: 1/8" = 1'-0"



5 1st Floor Plan Elevation 'D'
SCALE: 1/4" = 1'-0"



6 2nd Floor Plan Elevation 'D'
SCALE: 1/4" = 1'-0"

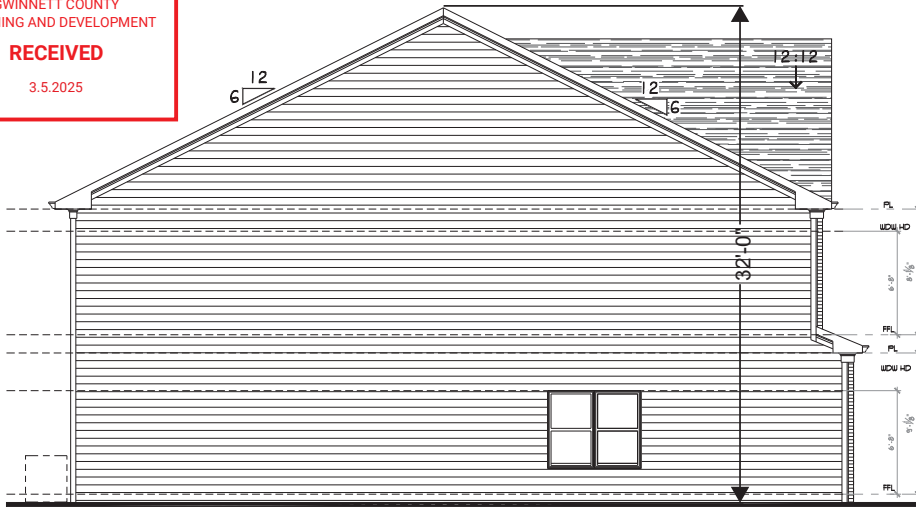
TOTAL WALL AREA:	353	100%
PRIMARY MATERIALS PERCENTAGE	295	12%
BRICK	255	12%
SECONDARY MATERIALS PERCENTAGE	58	28%
CEMENTITIOUS SHAKE SIDING	61	21%
CEMENTITIOUS LAP SIDING	31	1%

COLOR SELECTIONS "D" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- GENERAL SHALE- FRASIER CANYON
 MORTAR- IVORY
 SIDING- STUDIO CLAY SW9172
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

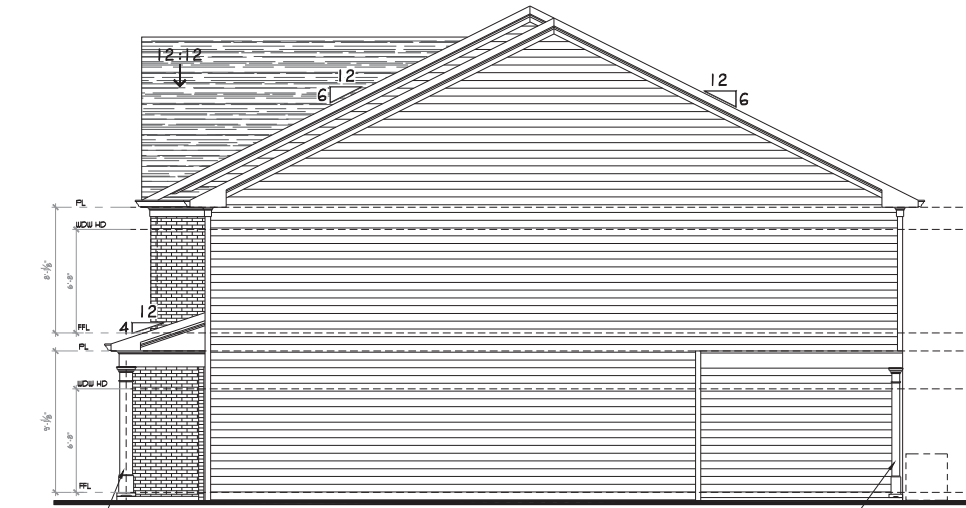
GWINNETT COUNTY
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VIEWPOINT DESIGN			
4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com PHONE (404) 518-0956			
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PROJECT NAME:	PLAN#3		
	INMAN TOWNHOMES		
	GWINNETT COUNTY, GA		
CLIENT/BUILDER:	RIH 574 CONYERS RD LOGANVILLE, GA 30052		
SHEET TITLE:	FRONT ELEVATION 'D'		
Date:	12/5/2024	Scale:	AS NOTED
Drawn By:	GC	Job No.:	N/A
Sheet:	A1.4		

GWINNETT COUNTY
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3.5.2025



4 Left Side Elevation 'A'
SCALE: 1/4" = 1'-0"



5 Right Side Elevation 'A'
SCALE: 1/4" = 1'-0"



3 Rear Elevation
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE

DESIGNER:
VIEWPOINT DESIGN
4841 BELLE ESTATES RD.
SUWANEE, GEORGIA 30024
gc.viewpointdesign@gmail.com
PHONE (404) 518-0956

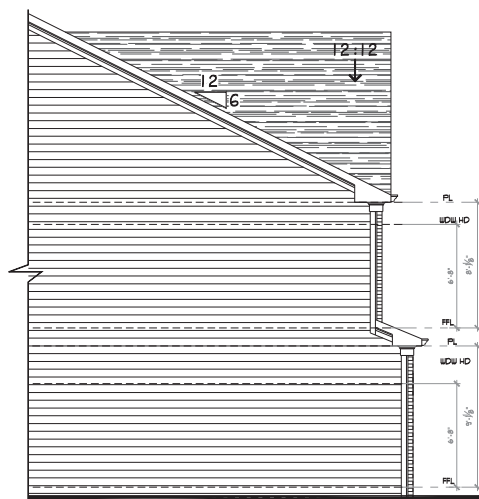
PROJECT NAME:
PLAN#3
INMAN TOWNHOMES
GWINNETT COUNTY, GA

CLIENT/ BUILDER:
RIH
574 CONVERS RD
LOGANVILLE, GA 30052

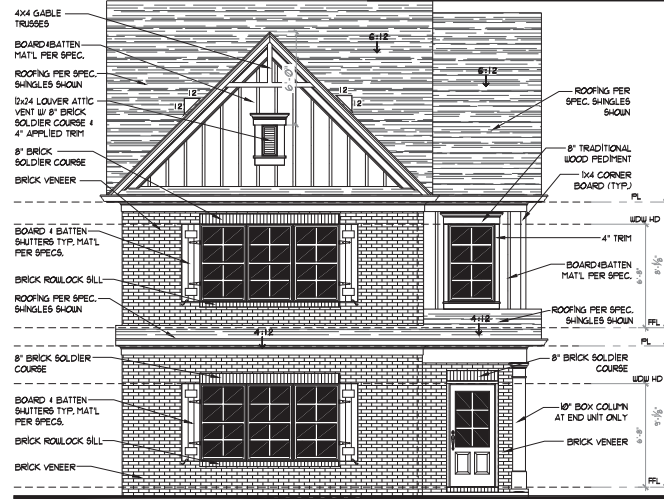
SHEET TITLE
SIDE & REAR ELEVATIONS

Date: 12/5/2024
Scale: AS NOTED
Drawn By: GC
Job No: N/A

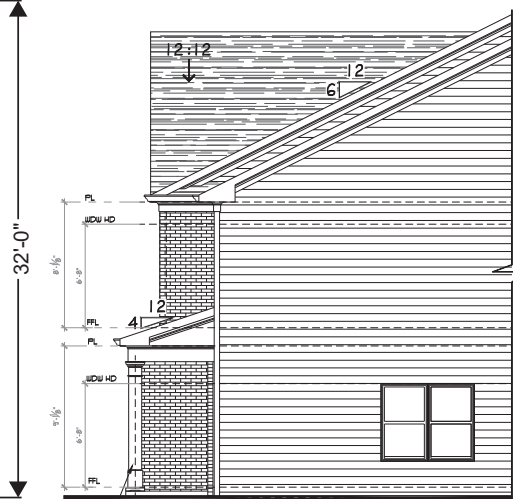
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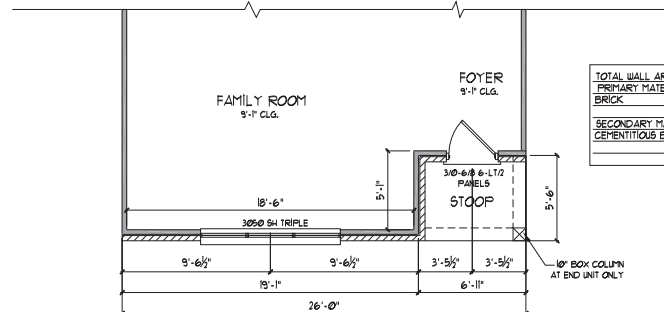
4 Left Side Elevation 'A'
SCALE: 1/8" = 1'-0"



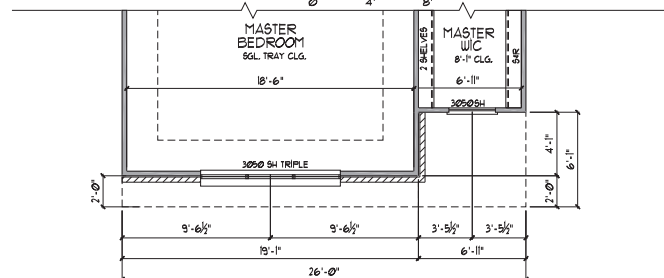
1 Front Elevation 'A'
SCALE: 1/4" = 1'-0"



5 Right Side Elevation 'A'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'A'
SCALE: 1/4" = 1'-0"



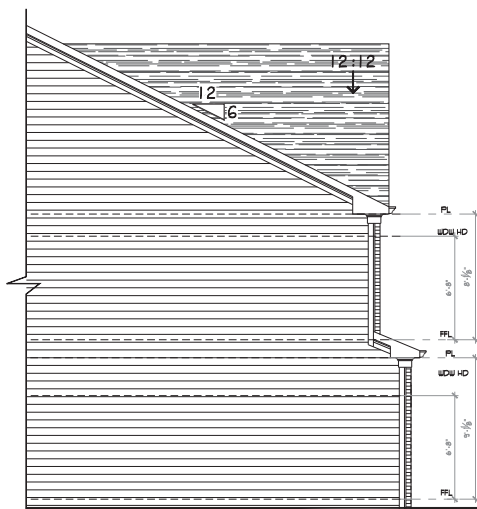
3 2nd Floor Plan Elevation 'A'
SCALE: 1/4" = 1'-0"

TOTAL WALL AREA:	346	100%
PRIMARY MATERIALS PERCENTAGE	295	14%
BRICK	295	14%
SECONDARY MATERIALS PERCENTAGE	91	26%
CEMENTITIOUS BOARD + BATTEN	91	26%

COLOR SELECTIONS "A" ELEVATION:
 ROOF- TIMBERLINE WEATHERWOOD
 BRICK- PINE HALL- BEACON HILL
 MORTAR- IVORY
 SIDING- CLASSIC FRENCH GRAY SW0011
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

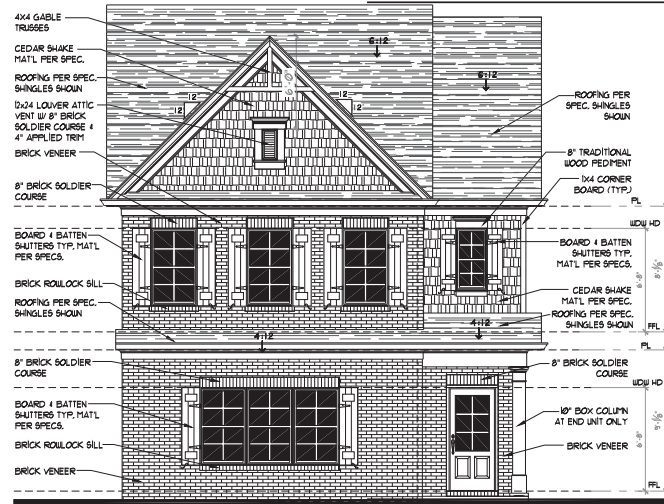
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PROJECT NAME:	PLAN #4 INMAN TOWNHOMES GWINNETT COUNTY, GA		
CLIENT/BUILDER:	RIH 574 CONYERS RD. LOGANVILLE, GA 30052		
SHEET TITLE:	FRONT ELEVATION 'A'		
Date:	12/5/2024	Scale:	AS NOTED
Drawn By:	GC	Job No.:	N/A
Sheet:	A1.1		



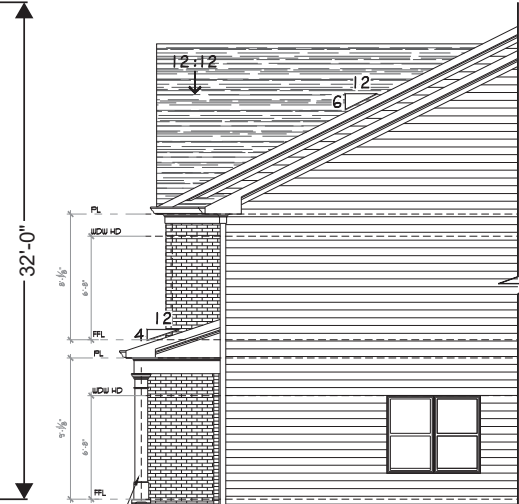
4 Left Side Elevation 'B'

SCALE: 1/8" = 1'-0"



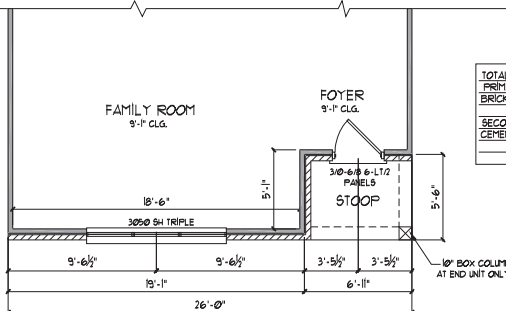
4 Front Elevation 'B'

SCALE: 1/4" = 1'-0"



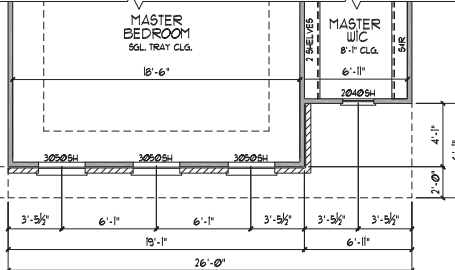
5 Right Side Elevation 'B'

SCALE: 1/8" = 1'-0"



5 1st Floor Plan Elevation 'B'

SCALE: 1/4" = 1'-0"



6 2nd Floor Plan Elevation 'B'

SCALE: 1/4" = 1'-0"



TOTAL WALL AREA:	353	100%
PRIMARY MATERIALS PERCENTAGE	255	72%
BRICK	255	72%
SECONDARY MATERIALS PERCENTAGE	98	28%
CEMENTITIOUS SHAKE SIDING	98	28%

COLOR SELECTIONS "B" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK-MERIDIAN OLD EDISTO
 MORTAR- IVORY
 SIDING- MEGA GREIGE SW1031
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
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DESIGNER:	NO.	DESCRIPTION:	DATE:
VIEWPOINT DESIGN			

DESIGNER: VIEWPOINT DESIGN
 4841 BELLE ESTATES RD.
 SUWANNEE, GEORGIA 30024
 gc.viewpointdesign@gmail.com
 PHONE (404) 518-0956

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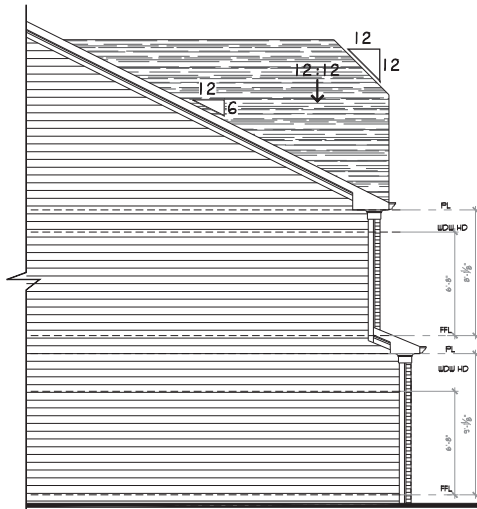
PROJECT NAME: PLAN#4
 INMAN TOWNHOMES
 GWINNETT COUNTY, GA

CLIENT/BUILDER: RIH
 574 CONYERS RD.
 LOGANVILLE, GA 30052

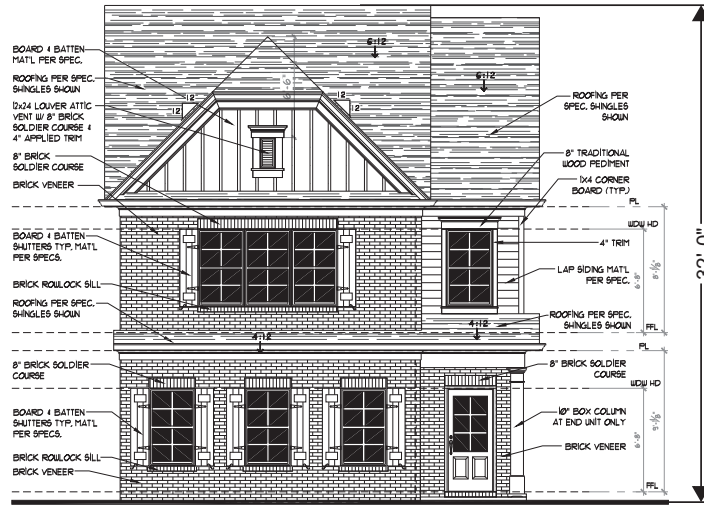
SHEET TITLE: FRONT ELEVATION 'B'

Date: 12/5/2024
 Scale: AS NOTED
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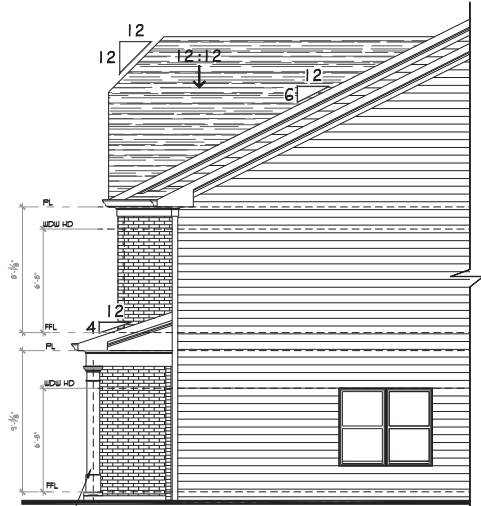
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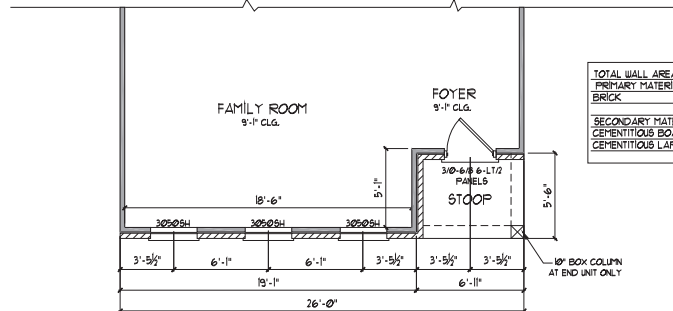
4 Left Side Elevation 'C'
SCALE: 1/8" = 1'-0"



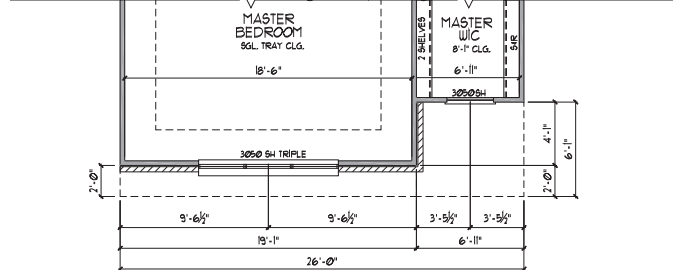
1 Front Elevation 'C'
SCALE: 1/4" = 1'-0"



5 Right Side Elevation 'C'
SCALE: 1/8" = 1'-0"



2 1st Floor Plan Elevation 'C'
SCALE: 1/4" = 1'-0"



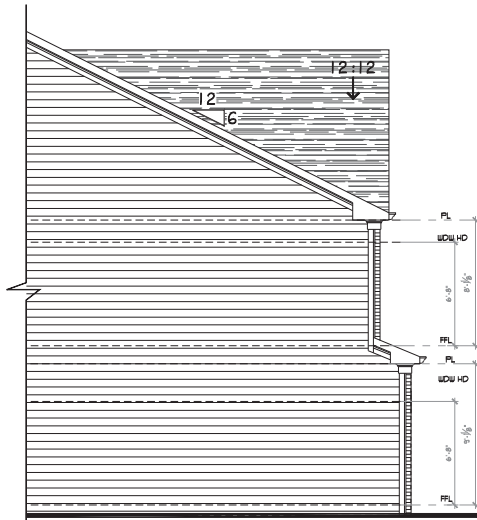
3 2nd Floor Plan Elevation 'C'
SCALE: 1/4" = 1'-0"

TOTAL WALL AREA:	346	100%
PRIMARY MATERIALS PERCENTAGE	255	74%
BRICK	255	74%
SECONDARY MATERIALS PERCENTAGE	91	26%
CEMENTITIOUS BOARD & BATTEN	61	18%
CEMENTITIOUS LAP SIDING	30	9%

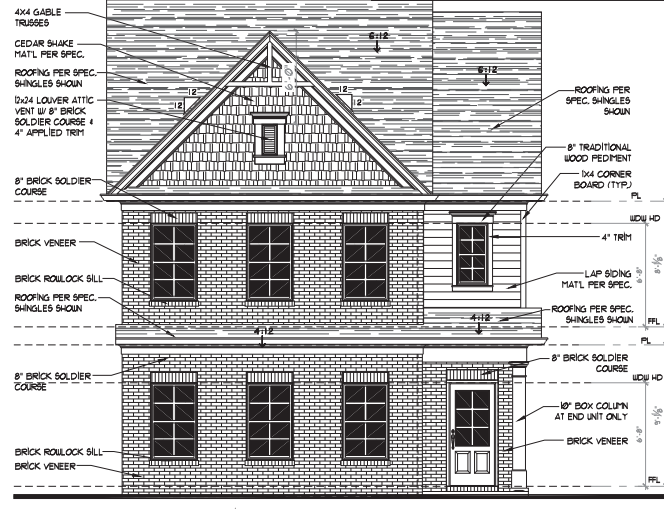
COLOR SELECTIONS "C" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- PINE HALL- SHADOW CREEK
 MORTAR- IVORY
 SIDING- GAUNTLET GRAY SW7019
 TRIM- PURE WHITE SW7005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
RECEIVED
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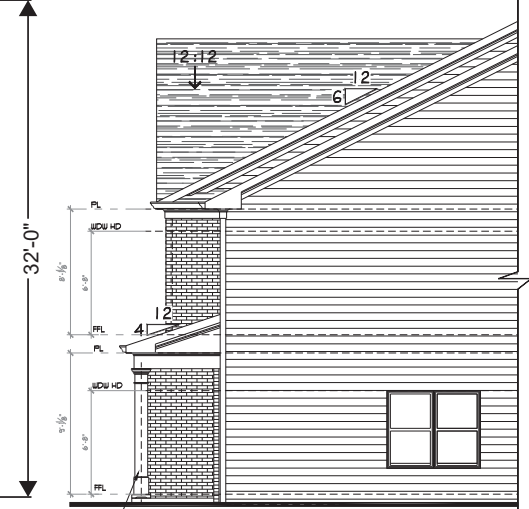
DESIGNER:	VIEWPOINT DESIGN
NO.	
DESCRIPTION:	DATE:
4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com PHONE (404) 518-0956	
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PROJECT NAME:	PLAN#4
CLIENT/BUILDER:	INMAN TOWNHOMES GWINNETT COUNTY, GA
SHEET TITLE:	FRONT ELEVATION 'C'
Date:	12/5/2024
Scale:	AS NOTED
Drawn By:	GC
Iss. No.:	N/A
Sheet:	A1.3



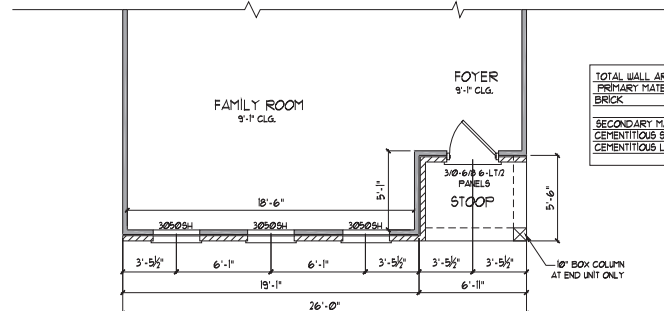
4 Left Side Elevation 'D'
SCALE: 1/8" = 1'-0"



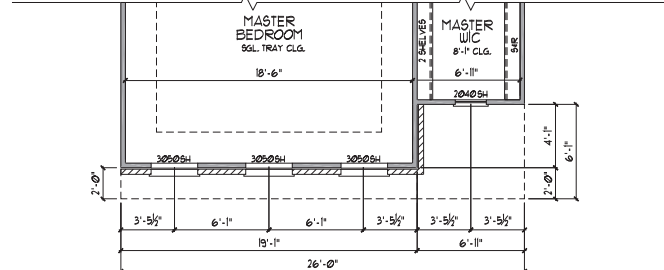
4 Front Elevation 'D'
SCALE: 1/4" = 1'-0"



5 Right Side Elevation 'D'
SCALE: 1/8" = 1'-0"



5 1st Floor Plan Elevation 'D'
SCALE: 1/4" = 1'-0"



6 2nd Floor Plan Elevation 'D'
SCALE: 1/4" = 1'-0"

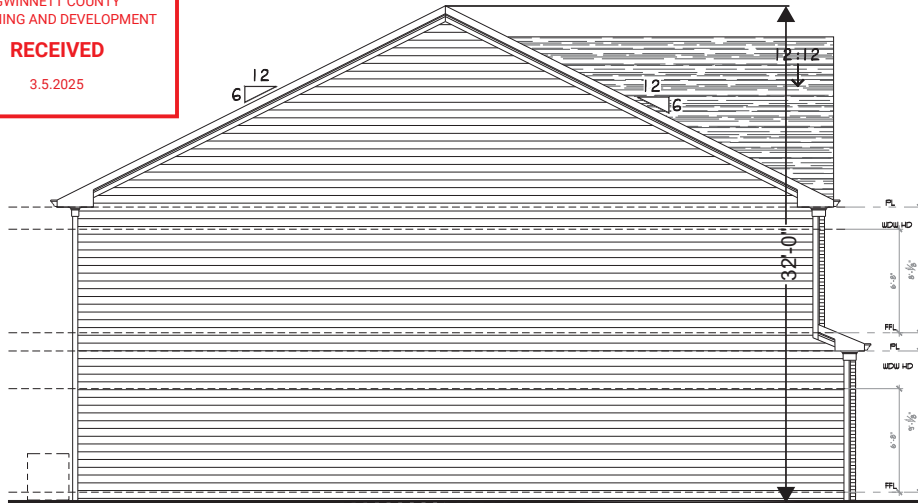
TOTAL WALL AREA:	353	100%
PRIMARY MATERIALS PERCENTAGE	295	17%
BRICK	255	12%
SECONDARY MATERIALS PERCENTAGE	58	28%
CEMENTITIOUS SHAKE SIDING	61	21%
CEMENTITIOUS LAP SIDING	31	1%

COLOR SELECTIONS "D" ELEVATION:
 ROOF- TIMBERLINE WEATHERED WOOD
 BRICK- GENERAL SHALE- FRASIER CANYON
 MORTAR- IVORY
 SIDING- STUDIO CLAY SW9172
 TRIM- PURE WHITE SW1005
 SHUTTERS- MUSKET BROWN
 DOOR- MUSKET BROWN
 *COLOR SELECTIONS SUBJECT TO CHANGE

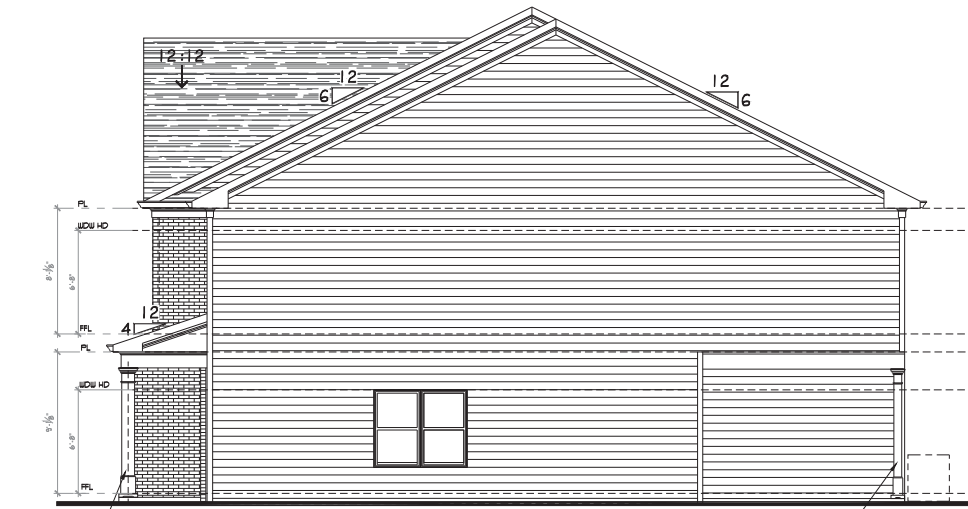
GWINNETT COUNTY
 PLANNING AND DEVELOPMENT
RECEIVED
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DESIGNER:	DESCRIPTION:	DATE:
VIEWPOINT DESIGN		
4841 BELLE ESTATES RD. SUWANNEE, GEORGIA 30024 gc.viewpointdesign@gmail.com PHONE (404) 518-0956		
PROJECT NAME:	PLAN #4	
	INMAN TOWNHOMES GWINNETT COUNTY, GA	
CLIENT/BUILDER:	RIH	
	574 CONTERS RD LOGANVILLE, GA 30052	
SHEET TITLE:	FRONT ELEVATION 'D'	
Date:	12/5/2024	
Scale:	AS NOTED	
Drawn By:	GC	
Job No.:	N/A	
Sheet:	A1.4	

GWINNETT COUNTY
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3.5.2025



1 Left Side Elevation 'A'
SCALE: 1/4" = 1'-0"
0 4' 8'



2 Right Side Elevation 'A'
SCALE: 1/4" = 1'-0"
0 4' 8'



3 Rear Elevation
SCALE: 1/4" = 1'-0"
0 4' 8'

NO.	DESCRIPTION	DATE

DESIGNER:
VIEWPOINT DESIGN
4841 BELLE ESTATES RD.
SUWANEE, GEORGIA 30024
gc.viewpointdesign@gmail.com
PHONE (404) 518-0956

PROJECT NAME:
PLAN#4
INMAN TOWNHOMES
GWINNETT COUNTY, GA

CLIENT/ BUILDER:
RIH
574 CONVERS RD
LOGANVILLE, GA 30052

SHEET TITLE
SIDE & REAR ELEVATIONS

Date: 12/5/2024
Scale: AS NOTED
Drawn By: GC
Job No: N/A
Sheet: **A2.1**

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3.5.2025



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3.5.2025



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3-3-2025



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3.5.2025



Exhibit D: Letter of Intent and Applicant's Response to Standards

[attached]



David Belle Isle
Matthew P. Benson
Catherine W. Davidson
Gerald Davidson, Jr.*
Brian T. Easley
Rebecca B. Gober
John D. Hipes*
Christopher D. Holbrook
Jessica R. Kelly
Shane M. Lanham
Julia A. Maxwell

Jeffrey R. Mahaffey
John N. Mahaffey
Steven A. Pickens
Jack M. Ryan
Gabrielle H. Schaller
S. Tess Shaheen
Andrew D. Stancil
Michael A. Tralongo
R. Lee Tucker, Jr.

*Of Counsel

LETTER OF INTENT FOR REZONING APPLICATION

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and attached rezoning application (the “Application”) on behalf of Reliant Homes GA, LLC (the “Applicant”) requesting the rezoning of an approximately 14.36-acre tract of land (the “Property”) situated along Langley Road west of its intersection with Athens Highway. The Property is located within the Traditional/Traditional+ Future Development Area of the Gwinnett County 2045 Unified Plan (the “2045 Plan”) and is currently zoned MH.

The Applicant submits the Application requesting to rezone the Property to the R-TH zoning classification of the Gwinnett County Unified Development Ordinance (the “UDO”) to develop the Property as an attractive townhome community with a total of 129 homes. The homes would be constructed with attractive architectural design and building materials as depicted in the renderings submitted with the Application and would meet or exceed the requirements of the UDO’s Architectural Design Standards for Detached Residential Buildings. All the homes would include two-car garages and would have a minimum heated floor area of 1,719 square feet. The proposed development would be accessed by both Langley Road and Athens Highway. Open space

Sugarloaf Office || 1550 North Brown Road, Suite 125, Lawrenceville, Georgia 30043

Alpharetta Office || 178 South Main Street, Suite 250, Alpharetta, Georgia 30009

TELEPHONE 770 232 0000

FACSIMILE 678 518 6880

Page 45 of 78
www.mptlawfirm.com

REZ2025-00016

RP

in the proposed development would be activated by amenities such as a pocket park with grassed area and benches, pool, cabana, and sidewalks as depicted on the site plan submitted with the Application.

In order to use the Property as set forth on the submitted site plan and the Application, the Applicant also requests the following relief from the UDO:

- A variance from §240-70.1.B to allow for the development of the Property without inter-parcel connection with the adjacent non-single-family residential properties.

The proposed development is compatible with surrounding land uses and zoning classifications and fits within the established pattern of development. The surrounding area is characterized by residential and commercial uses. The proposed development is consistent with the two approved townhome developments across Athens Highway and another just across Langley Road. The proposed development is also consistent with other nearby residential uses such as the R-60 neighborhood across Langley Road and the Rosemont Grayson apartment complex just over .2 miles from the Property.

The proposed development is also in line with the policy and intent of the 2045 Plan which broadly promotes residential development and encourages a variety of housing types. Specifically, Chapter 4: Housing of the 2045 Plan provides abundant data and statistics that reflect a housing shortage in Gwinnett County. In the Needs & Opportunities section of Chapter 4, the 2045 Plan identifies a need of “More Housing Development” and provides that the “housing shortage inhibits population growth, business attraction, and other economic development by raising housing prices and failing to accommodate new residents.” The 2045 Plan crystalizes this policy when it provides

that a “higher volume of housing development is needed to meet economic goals and countywide growth potential.”

The proposed development is also compatible with the 2045 Plan’s specific land use policies for the Property’s Future Development Area, which is “Traditional/Traditional+.” The main difference between the Traditional and Traditional+ Future Development Areas is the presence of sewer infrastructure. As set forth in the Sewer Capacity Certification submitted with the Application, sewer is available to the Property and sufficient capacity exists in the system to serve the proposed development. Accordingly, the land use policies of the Traditional+ Future Development area are applicable to the Property. The 2045 Plan provides that R-TH is a recommended zoning classification for Traditional+. Traditional+ accommodates a variety of housing types including townhomes, quads/triplexes/duplexes, and single-family cottages.

The Applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Department of Planning & Development to answer any questions or to address any concerns relating to the matters set forth in this letter or in the Rezoning Application filed herewith. The Applicant respectfully requests your approval of these Applications. Applicant’s response to the Standards Governing the Exercise of the Zoning Power is attached as Exhibit “A.”

Respectfully submitted this 9th day of January, 2025.

MAHAFFEY PICKENS TUCKER, LLP

Gabrielle H. Schaller

Gabrielle H. Schaller
Attorneys for Applicant

Pursuant to requirements of the United Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

- A. Whether a proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property:

Yes, approval of the proposed Rezoning Application will permit a use that is suitable in view of the use and development of adjacent and nearby property. The proposed residential development is compatible with existing residential uses and will further diversify housing options in the surrounding area.

- B. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property:

No, approval of the proposed Rezoning Application will not adversely affect the existing use or usability of any of the nearby properties. Rather, the proposed development will complement the housing mix of the surrounding area.

- C. Whether the property to be affected by a proposed rezoning has reasonable economic use as currently zoned:

Due to the size, location, layout and dimensions of the subject property, the Applicant submits that the property does not have reasonable economic use as currently zoned.

- D. Whether the proposed rezoning will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

No, approval of the proposed rezoning will not result in an excessive or burdensome use of the infrastructure systems. The Property is in close proximity to major transportation corridors including Athens Highway and Langley Road. Water and sewer utilities are present in the area.

- E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map:

Yes, approval of the proposed rezoning is in conformity with the policy and intent of the Gwinnett County 2045 Unified Plan which encourages residential development. The subject property is in the Traditional/Traditional+ Future Development Area. Based on the presence of sewer, the proposed development should be analyzed under the policies of the Traditional+ Future Development Area, which specifically encourages the R-TH zoning classification.

- F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning:

The Applicant submits that the quality of the proposed homes, the character of surrounding development, and the availability of sewer provide additional supporting grounds for approval of the Application.

Exhibit E: Application and Disclosure of Campaign Contributions

[attached]

Please complete this application to amend the official zoning map of Gwinnett County and attach a letter of intent explaining what is proposed.

Applicant Information	Property Owner Information
Name: <u>Reliant Homes GA, LLC c/o Mahaffey Pickens Tucker, LLP</u> Address: <u>1550 North Brown Road, Suite 125</u> City: <u>Lawrenceville</u> State: <u>Georgia</u> Zip code: <u>30043</u> Phone: <u>770.232.0000</u> Email: <u>gschaller@mptlawfirm.com</u>	Name: <u>3235 Langley Investment, LLC</u> Address: <u>PO Box 2655</u> City: <u>Loganville</u> State: <u>Georgia</u> Zip code: <u>30052</u> Phone: _____ Email: _____
Contact person: <u>Gabrielle Schaller, attorney for Applicant</u> Phone: <u>770.232.0000</u> Contact's email: <u>gschaller@mptlawfirm.com</u>	
Applicant is the <div style="display: flex; justify-content: space-around; margin-top: 5px;"> <input type="checkbox"/> Owner's agent <input type="checkbox"/> Property owner <input checked="" type="checkbox"/> Contract purchaser </div>	
Present zoning district(s): <u>MH</u> Requested zoning district: <u>R-TH</u> Parcel number(s): <u>5125 037</u> Acreage: <u>14.36</u> Address of property: <u>3235 Langley Road</u> Proposed development: <u>Townhomes</u>	
RESIDENTIAL DEVELOPMENT No. of Lots/Dwelling Units <u>129</u> Dwelling Unit Size (Sq. Ft.): <u>MIN 1,719</u> Gross Density: <u>8.98</u> Net Density: <u>8.98</u>	NON-RESIDENTIAL DEVELOPMENT No. of Buildings/Lots: _____ Total Building Sq. Ft. _____ Density: _____

CONFLICT OF INTEREST CERTIFICATION FOR REZONING

The undersigned below, applying for a rezoning, has complied with the Official Code of Georgia Section 36-67A-1 and has submitted or attached the required information on the forms provided.

 VP

Signature of applicant

9/25/20224

Date

Reliant Homes GA, LLC, Ned Butler as its Vice President

Type or print name and title

9/25/2024

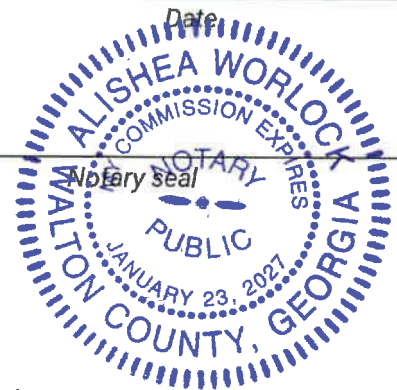
Date



Signature of notary public

9/25/24

Date



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250 or more to a member of the Gwinnett County Board of Commissioners or a member of the Gwinnett County Planning Commission?

☐ Yes

☒ No

Name

If the answer is yes, please complete the following section:

Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or more)	Date Contribution Was Made (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.



Disclosure of campaign contributions aggregating to \$250.00 or more to a member of the Board of Commissioners is required pursuant to Section 270-25.E. of the Unified Development Ordinance.

Name: Gabrielle Schaller

Relationship to Application (Applicant or Representative of Applicant): Representative of Applicant

Campaign Contributions? YES

Contributions:

Official Name	Contribution Amount	Date of Contribution	Contributor
Matthew Holtkamp	\$1,000.00	4/13/2023	Mahaffey Pickens Tucker, LLP
Nicole Love Hendrickson	\$2,500.00	8/11/2023	Mahaffey Pickens Tucker, LLP
Matthew Holtkamp	\$3,300.00	9/18/2023	Mahaffey Pickens Tucker, LLP
Kirkland Carden	\$3,300.00	9/27/2023	Mahaffey Pickens Tucker, LLP
Nicole Love Hendrickson	\$3,300.00	10/01/2024	Mahaffey Pickens Tucker, LLP
Kirkland Carden	\$2,000.00	10/25/2023	Lee Tucker
Nicole Love Hendrickson	\$500.00	10/02/2024	Shane Lanham

Exhibit F: DWR Sewer Capacity Certification Letter

[attached]



July 3, 2024

Ned Butler
Reliant Homes GA, LLC
P.O. Box 2655
Loganville, GA 30052



APPROVED



DENIED



CONDITIONALLY APPROVED

Sewer Capacity Request #C2024-157-07

Expiration Date: 07/03/2025

Tie-In Manhole FID: 2939613

RE: Sewer Availability for Proposed Development – Inman Place Townhomes
Parcel ID 5125 037

Dear Ned Butler:

Gwinnett County Department of Water Resources (GCDWR) has reviewed the impact of the proposed development consisting of 143 townhomes on the above parcel and determined:

Gwinnett County has adequate sewer capacity to serve the proposed development.

This confirmation is based on your anticipated annual average daily flow of 24.83 gpm discharging to the sewer tie-in manhole at Facility ID **2939613**.

Capacity Allocation: Sewer capacities are allocated only upon the issuance of a Development Permit, by Gwinnett County Planning & Development and after all applicable conditions established in this Sewer Capacity Certification, if any, are met.

Certification Expiration: The Sewer Capacity Certification is valid for 12 months from the date of this letter. If rezoning is approved, GCDWR will issue a revised Sewer Capacity Certification based on the approved units, as needed. The capacity request can be renewed for an additional 12 months. If a Development Permit has not been obtained by the expiration date above the developer may apply for renewal by providing evidence of active rezoning, plan review, or permitting efforts.

Once the Sewer Capacity Certification expires, the capacity is no longer allocated, and a new Sewer Capacity Certification request must be submitted for re-evaluation with no guarantee of available capacity. The evaluation will be based on the updated conditions of the sewer system.

Certification Invalidation: This certification is not valid if there are proposed changes to your development that could impact downstream sewer capacity (e.g. land use density, sewer tie-in manhole, parcel changes, and/or rezoning). In this case the development must resubmit for a new Sewer Capacity Request with updated information prior to the expiration of the previous one.



Please contact us at 678-376-7026 if you have any questions.

Sincerely,

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES

Lorraine Campagne, PE
Section Manager, Development Support
678.376.7058

C: Gwinnett County DWR – Raghu Vemuru, Engineer V; Mikala Weston, Engineer III
Gwinnett County P&D – Charli Young, Planning Manager; Geniva Sylvain, Engineer I; Christina Dejarnette, Engineer I

Exhibit G: Traffic Impact Study

[attached]

Inman Homes Residential Development

DATE:

March 10, 2025

LOCATION:

Loganville, Gwinnett County, Georgia

PREPARED FOR:

Reliant Homes

PREPARED BY:

NV5 Engineers and Consultants, Inc.
10745 Westside Way, Suite 300 Alpharetta, GA 30009
678.795.3600

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Appendix A: Development Concept Plan

Appendix B: Traffic Counts & Growth Rate Development Worksheet

Appendix C: Synchro Reports

A. Introduction

Reliant Homes proposes to construct a 129-unit single-family attached townhome development at the current site of the Inman Court Mobile Home Park, located at 3235 Langley Road SW, Loganville, Gwinnett County, Georgia. Per the proposed site plan, the development will have one full access point onto Langley Road and a right-in/right-out only access point onto US 78.

The traffic analysis in this report is for a single phase of construction. The purpose of this report is to identify the traffic expected to be generated by new vehicular trips when the proposed development is complete. The study evaluates Existing conditions for the following intersection:

1. US 78 / Athens Highway and Langley Road

Figure 1 depicts the site location in Loganville, Georgia and the study intersections listed above. The site location aerial is depicted in Figure 2. A copy of the development concept plan is included in Appendix A.

Figure 1: Vicinity Map

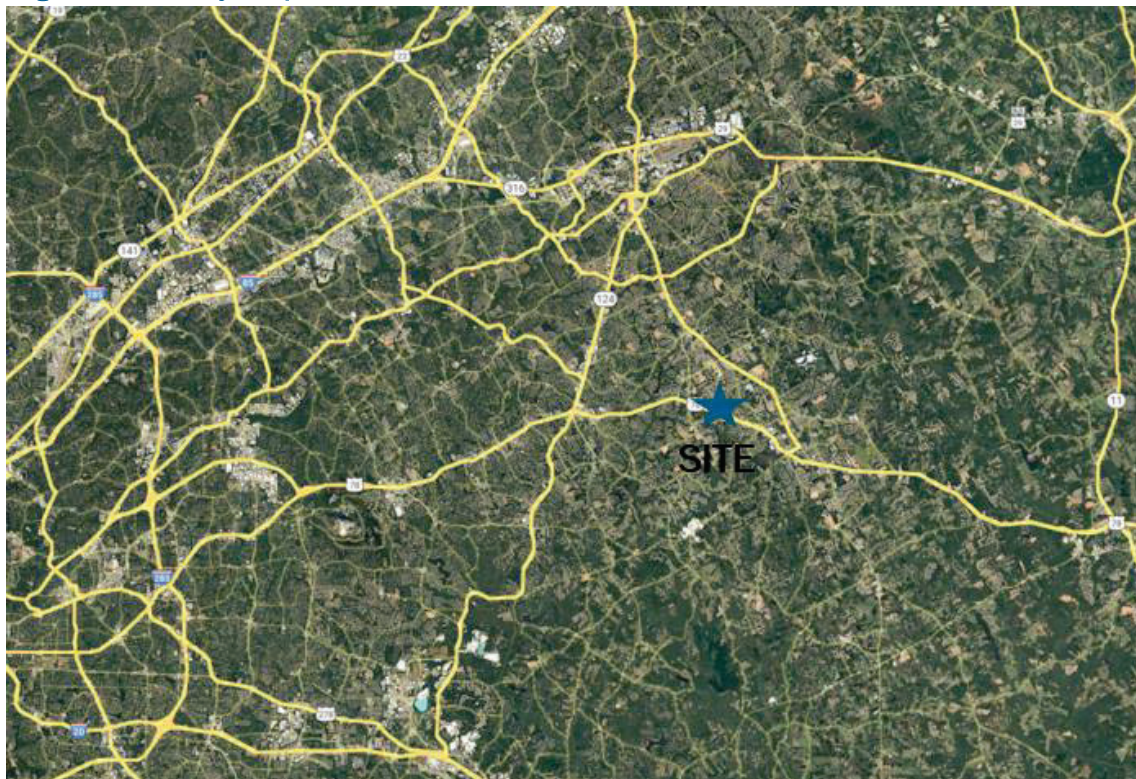


Figure 2: Site Location Aerial



B. Existing Conditions

B.1. Transportation Facilities

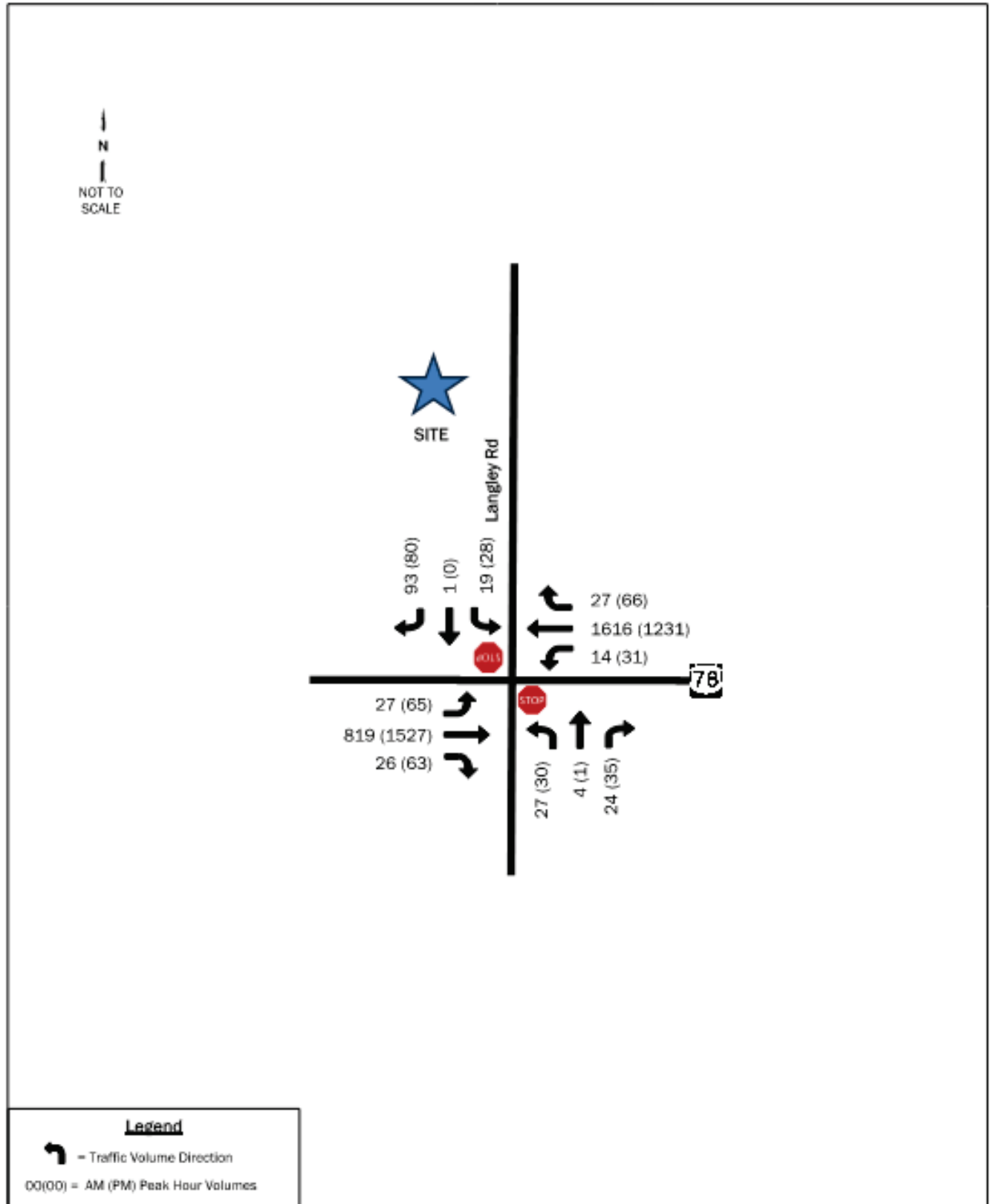
US 78 / Athens Highway is a four-lane principal arterial that runs east/west with a posted speed limit of 55 miles per hour (MPH) and the land uses along the highway is primarily commercial and residential. At the intersection of US 78 and Langley Road, US 78 has a two way left turn lane approximately 16 feet wide.

Langley Road is a two-lane undivided roadway that runs between Cooper Road and Midway Road. The posted speed limit along Langley Road is 40 miles per hour (MPH) and the land use along the roadway is primarily residential. At the intersection of US 78 and Langley Road, Langley Road is stop controlled.

B.2. Traffic Counts

Turning movement counts were collected on Thursday, February 6, 2025, for the US 78 and Athens Highway intersection. Northbound and southbound traffic counts were also collected on Langley Road directly south of the Corinth Baptist Church Driveway. The average daily traffic on US 78 and Langley Road is 34,986 and 2,395 vehicles per day, respectively. Counts were collected while schools were in session and are included in Appendix B.

Figure 3: 2025 Existing Traffic Volumes



C. Future Conditions

C.1. Background Growth

The growth rate in the study area is based upon an analysis of traffic data according to the Georgia Department of Transportation's (GDOT's) Traffic Analysis & Data Application (TADA). The project is expected to be built-out in 2027. When analyzing the historical AADT traffic counts from 2015 to 2023, a growth rate of 0.2% was calculated. Given the minimal growth rate, a conservative growth rate of 1% was used to evaluate projected traffic volumes for 2027. The AADT for US 78 and Langley Road will be 35,689 and 2,443 vehicles per day in 2027, respectively. The data used to develop the growth rate is included in Appendix B.

C.2. Project Trip Generation

Table 1 summarizes the project trip generation calculated using the Institute of Transportation Engineers' (ITE) Trip Generation Manual, 11th Edition, 2021. The new development consists of 129 single-family attached homes.

Table 1: Trip Generation

LAND USE	PERIOD	TOTAL	IN	OUT
Single-Family Attached Housing, LUC 215 (129 Dwelling Units)	Daily	932	466	466
	AM Peak Hour	61	19	42
	PM Peak Hour	73	42	31

The development will generate a total of 61 trips (19 entering and 42 exiting) during the AM peak hour, and a total of 73 trips (42 entering and 31 exiting) during the PM peak hour.

C.3. Trip Distribution and Assignment

The assignment and directional distribution of new project trips was based on traffic patterns analyzed in the overall study. Of the total trips generated by the new development, 50% are expected to come to/from the west, 25% are expected to come to/from the east and 25% are expected to come to/from the north. The trip distribution and trip development is shown in Figure 4 and Figure 5, respectively.

Figure 4: Project Trip Distribution

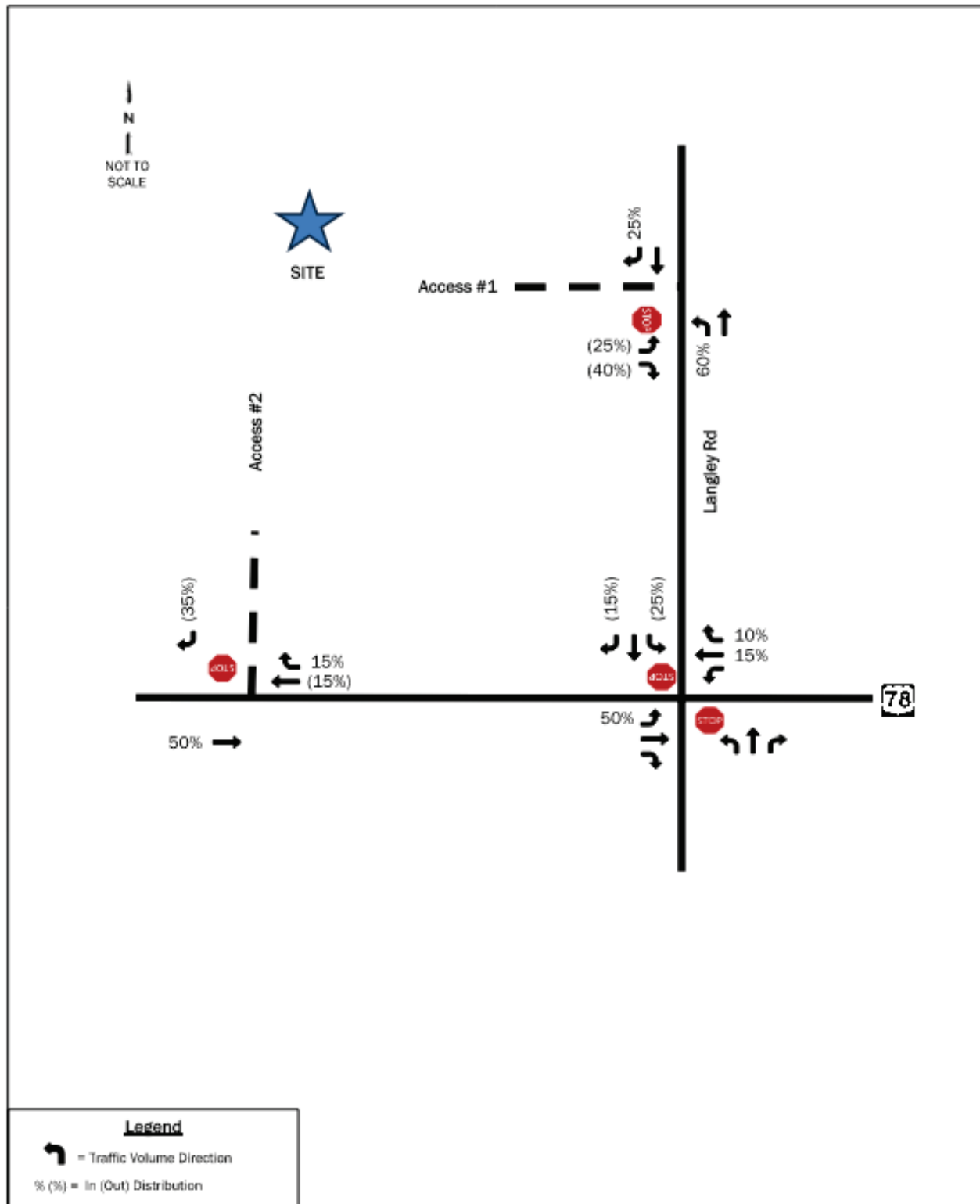
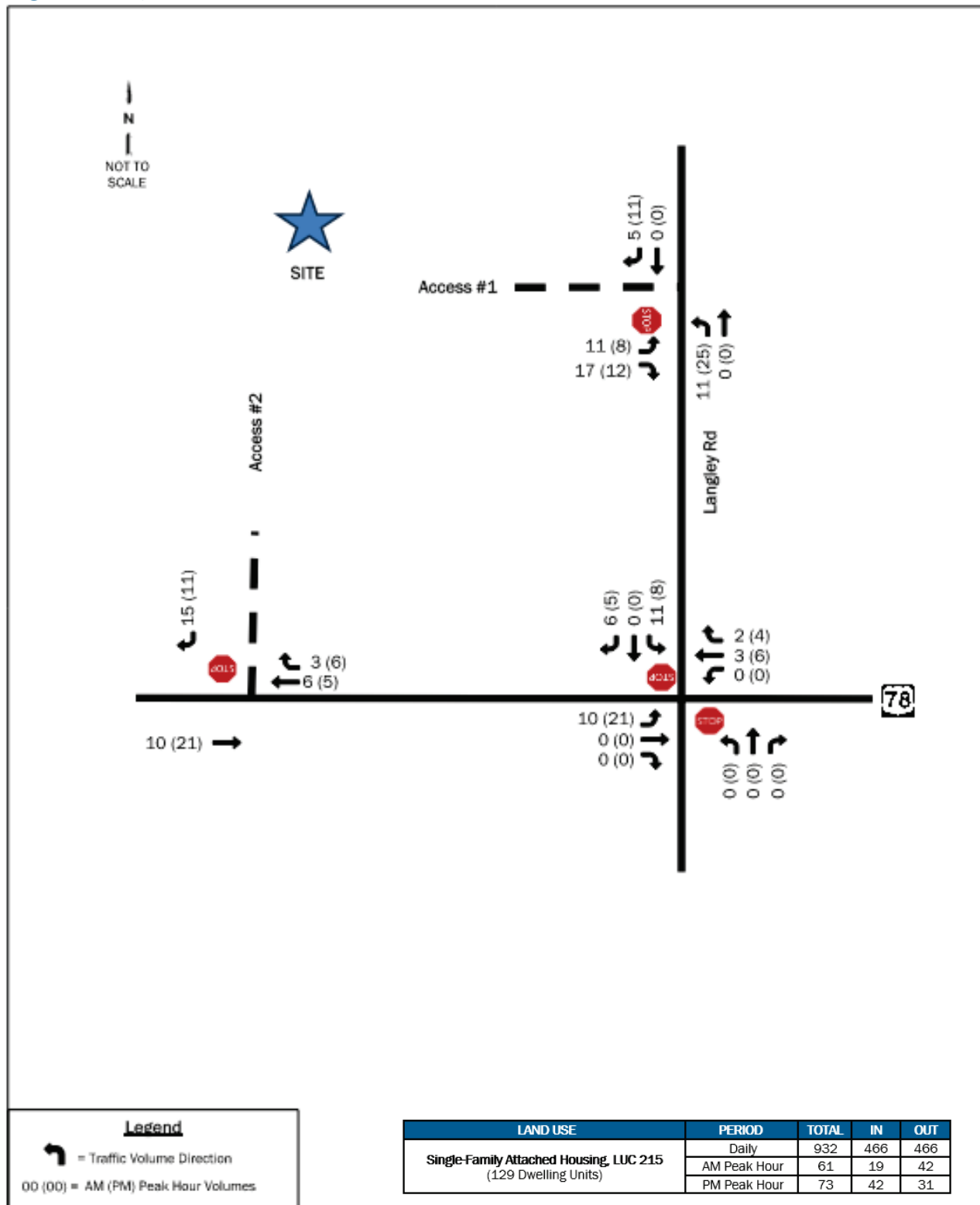


Figure 5: Project Development Trips



D. Traffic Impact Analysis

The analysis of the Existing conditions scenario for the study was performed using the traffic analysis software Synchro® 12. Average vehicular delays are calculated and reported as Levels of Service (LOS) as defined by the Highway Capacity Manual (HCM 7th Edition). HCM uses a grading system A through F, where A is the best (little to no delay), and F is the worst (very heavy delay). HCM Levels of Service (LOS) standards and Synchro® output reports are included in Appendix C.

D.1. 2025 Existing Conditions Analysis

The results of the 2025 Existing conditions capacity analysis are shown in Table 2 and include analysis of the traffic volumes presented in Figure 3.

Table 2: 2025 Existing Capacity Analysis

Intersection	Control	Movement	AM		PM	
			LOS	Delay	LOS	Delay
US 78 & Langley Road	Two-Way Stop-Control	EB	C	15.8	B	13.5
		WB	A	9.9	C	15.6
		NB	D	25.2	F	79.8
		SB	F	239.2	E	38.7

As shown in Table 2, the study intersection currently does not operate at a satisfactory Level of Service (LOS) for the northbound and southbound approaches during the AM and PM peak period. This is likely due to the high volume of traffic on US 78, resulting in expected delays for these approaches. Therefore, it is recommended that the county consider future traffic mitigation measures to address delays on the northbound and southbound approaches.

E. Turn Lane Evaluation

E.1. Left Turn Lane Evaluation

According to the Gwinnett County Department of Transportation's criteria for left-turn lanes, a left-turn lane is required for residential developments over 100 lots with an access on a 40 MPH roadway if there are less than 6,000 vehicles per day along the roadway, (see Table 3 below). Since that threshold is exceeded by the proposed development, a left-turn lane will be required at the proposed access onto Langley Road.

Table 3: Gwinnett County Turn Lane Criteria

Gwinnett County – Residential Developments *				TABLE I
Left Turn Lane Criteria				
Posted Speed Limit (mph)	2 Lane Routes -----ADT-----		More Than 2 Lanes on Main Road -----ADT-----	
	<6000	>=6000	<10,000	>=10,000
30 to 35	120 Lots	75 Lots	160 Lots	120 Lots
40 to 50	100 Lots	65 Lots	130 Lots	100 Lots
>= 55	75 lots	55 Lots	100 Lots	75 Lots

* Zoning Districts R-XX(X)

E.2. Right Turn Lane Evaluation

The need for a right turn lane was evaluated for the proposed residential driveway along US 78 using methodologies from the Georgia Department of Transportation (Access) Manual because US 78 is a designated Georgia State Route. Per Georgia Department of Transportation (GDOT) Traffic Analysis & Data Application (TADA) Counter Number (No.) 135-0061, located just east of Krisam Creek Drive, US 78 has an average annual daily traffic (AADT) of 34,000 vehicles. The posted speed limit along US 78 is 55 miles per hour (MPH). According to the trip distribution analysis, 15% of the inbound site trips will turn right from US 78 onto the driveway. The summary of these results is shown in Table 4.

Table 4: GDOT Turn Lane Evaluation

ID	Intersection	Movement/ Turn Lane	Turn Volume	GDOT Volume Threshold	GDOT Threshold met?
1	US 78 & Site Dwy	WBR	140 RT/Day	50 RT/Day	YES

F. Conclusions

A new residential development is proposed for construction along Langley Road in the city of Loganville, Gwinnett County, Georgia. The development will consist of 129 single family attached homes. Per the proposed site plan, the development will have one access point onto Langley Road and another access point onto US 78. The development has a projected build-out date of 2027.

When complete, the development is expected to generate a total of 932 new daily trips with 61 trips during the AM peak hour (19 entering and 42 exiting), and 73 during the PM peak hour (42 entering and 31 exiting).

The US 78 and Langley Road intersection has a very minimal historical growth rate when analyzing counts from 2015 to 2023. Therefore, existing counts were utilized in this study and a conservative growth rate of 1% was applied to existing Average Annual Daily Traffic (AADT) volumes to project future 2027 AADT volumes. In the Existing conditions, the study intersection will not operate at a satisfactory Level of Service (LOS) for the northbound and southbound directions. This is likely due to the high volume of traffic on US 78, resulting in expected delays for these approaches.

The proposed driveway from Langley Road warrants a left turn lane according to Gwinnett County turn lane criteria. Additionally, the proposed driveway from US 78 warrants a right turn deceleration lane in accordance with GDOT Access Management standards.

Exhibit H: Public Participation Plan and Report

[attached]



Public Participation Plan

1. Who do you intend to contact in addition to property owners within 1,000 feet of the site, if any?

~~Please see attached.~~

2. Where do you plan to host the Public Participation Meeting? Ensure that the meeting is held in person at a convenient location for interested parties.

~~Hampton Inn and Suites, 1905 Pharrs Rd, Snellville, Ga 30078, 6 p.m. February 12, 2025,~~

3. What date and time do you plan to host the Public Participation Meeting? Ensure that the meeting is held at a convenient time for interested parties, e.g. not during typical work hours on weekdays.

~~6 neighbors attended the meeting. See sign-in sheet attached. 4 applicant representatives attended the meeting as well.~~

4. What is your method for providing opportunities for discussion with interested parties at the Public Participation Meeting?

~~Desire for traffic light at Langley~~

~~Questions about building process, stormwater management, mix of units, amenities, covenants, size of~~

~~the homes, traffic calming, and view.~~



Public Participation Report

1. **List all groups that you notified of the requested application. Include a copy of the notification package and stamped Postal Service Form 3877 (attached) with itemized name and address of each addressee.**

Please see attached.

2. **Provide the date, time, and location of all meeting(s) that the applicant and/or representative attended to discuss an application with interested parties.**

Hampton Inn and Suites, 1905 Pharrs Rd, Snellville, Ga 30078, 6 p.m. February 12, 2025,

3. **Provide the number of people who participated in the meeting(s). Include the sign-in sheet(s) with meeting date, time, location, and attendee names.**

6 neighbors attended the meeting. See sign-in sheet attached. 4 applicant representatives attended the meeting as well.

4. **What issues and concerns were expressed by attendees at the meeting(s)?**

Desire for traffic light at Langley

Questions about building process, stormwater management, mix of units, amenities, covenants, size of the homes, traffic calming, and view.

5. **What are the applicant's responses to the issues and concerns that were expressed at the meetings? What changes to the development will be made?**

Applicant explained only DOT can put in a traffic light - developer cannot unilaterally do that. Encouraged neighbors to reach out to DOT and elected officials. Explained there will be a traffic study done and will be included in the application package they can access online. Building in phases. Will have a detention pond and will cooperate with DWR; Property values of neighbors will likely go up; unit mix will be three bedrooms; townhomes will be rear entry with garage doors in rear; Applicant anticipates homes will be for sale and not rentals; Likely will have a pool and cabana.

Exhibit I: Internal and External Agency Review Comments

[attached]



Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:		06.25.2025	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 2	
Reviewer Email Address:		Brent.Hodges@gwinnettcountry.com	
Case Number:		REZ2025-00016	
Case Address:		3235 Langley Road, Loganville, 30052	
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
1	Langley Road is a local road. The Average Daily Traffic (ADT) Volume is 1,975. Athens Highway (SR 10/US 78) is a principal arterial. The ADT is 34,000.	YES	NO
2	The nearest Ride Gwinnett facility is located 4.7 miles to the west at US 78 and Town Green (Stop 7001, Route 70).		
3	The design and location of the proposed Athens Highway site driveway is subject to the review and approval of the Georgia Department of Transportation (GDOT).		
4	A 5' concrete sidewalk shall be required along the entire site frontage of Langley Drive, per section 360-90 of the UDO. A 12' concrete trail shall be required along the Athens Highway site frontage, per section 360-100 of the UDO.		
5	Traffic Calming shall be required along any internal street that exceeds 500' without a control point.		
6			
7			
Recommended Zoning Conditions:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
1	The developer shall construct a SB right-turn lane, and a NB left turn lane along Langley Road into the site.		
2			
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021

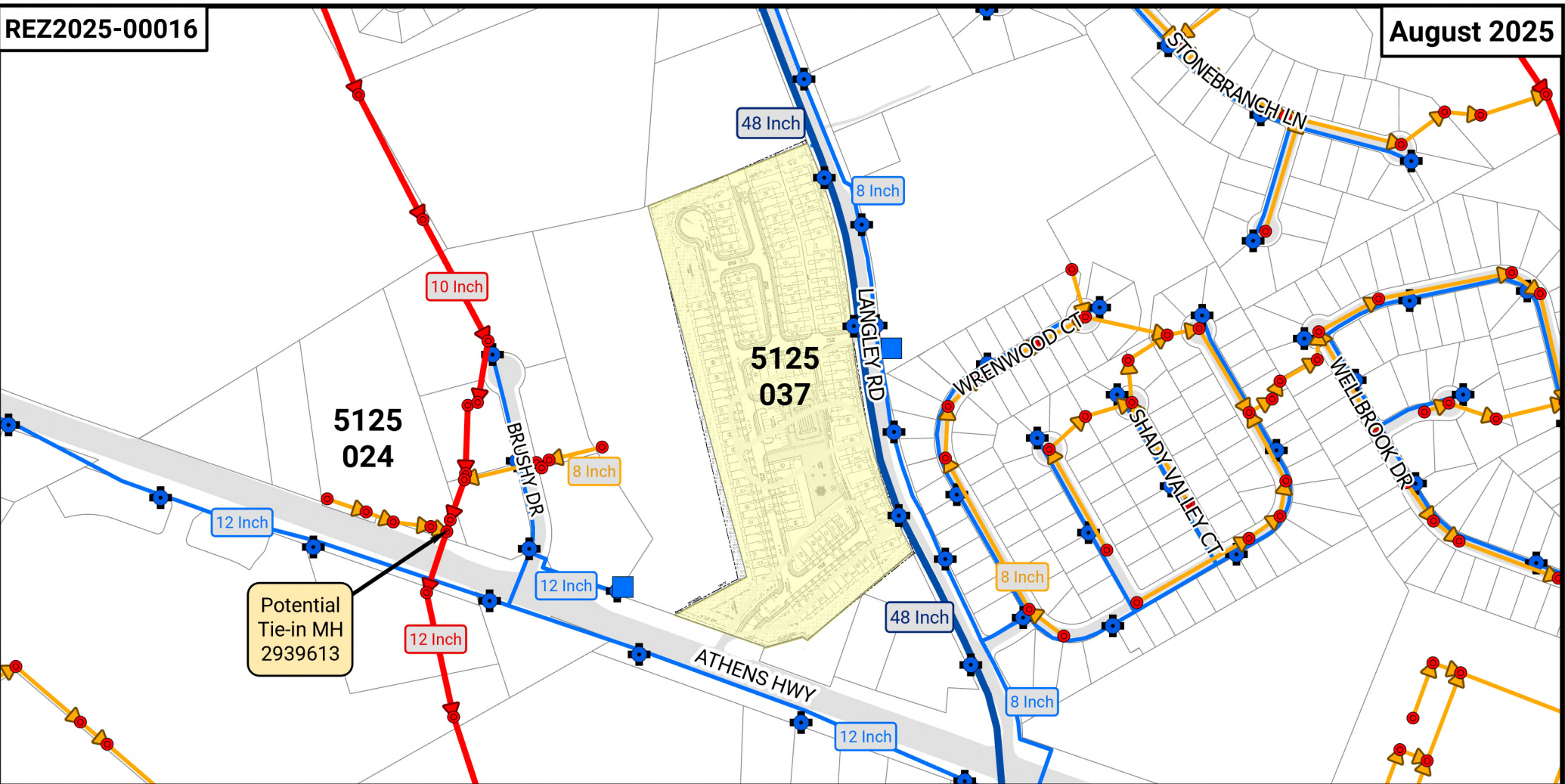


Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:			
Department/Agency Name:		DWR	
Reviewer Name:		Mike Pappas	
Reviewer Title:		GIS Planning Manager	
Reviewer Email Address:		Michael.pappas@gwinnettcounty.com	
Case Number:		REZ2025-00016	
Case Address:		3235 Langley Rd	
Comments:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
1	Water: The proposed development may connect to an existing 12-inch water main on the southern right-of-way of Athens Highway or extend an existing 12-inch water main on the northern right-of-way of Athens Highway across the frontage of the proposed development. The existing 48-inch water transmission main under the roadway of Langley Road must be avoided during all phases of construction, including the construction of driveways and connection to utilities.		
2	Sewer: A Sewer Capacity Certification (C2024-157-07) was approved in July 2024 for 143 townhomes. The proposed development plans to connect to an existing 12-inch gravity sewer on parcel 5125 024. An offsite easement may be required.		
3			
4			
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input checked="" type="checkbox"/>
1			
2			
3			
4			
5			
6			
7			

Note: Attach additional pages, if needed

Revised 7/26/2021

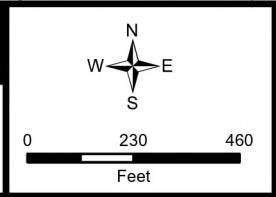


LEGEND

Flow Management	Hydrant	Sewer Collector
Pump Station	City	Sewer Interceptor
Regional	Water Main	Sewer Force Main
Manhole	Proposed Water Main	Proposed Sewer Collector

3235 Langley Rd
MH to R-TH

Water & Sewer Utility Map



Water Comments: The proposed development may connect to an existing 12-inch water main on the southern right-of-way of Athens Highway or extend an existing 12-inch water main on the northern right-of-way of Athens Highway across the frontage of the proposed development. The existing 48-inch water transmission main under the roadway of Langley Road must be avoided during all phases of construction, including the construction of driveways and connection to utilities.

Sewer Comments: A Sewer Capacity Certification (C2024-157-07) was approved in July 2024 for 143 townhomes. The proposed development plans to connect to an existing 12-inch gravity sewer on parcel 5125 024. An offsite easement may be required.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County BOC, AUGUST, 2025

											Proposed Zoning
	School	2025-26			2026-27			2027-28			Approximate Student Projections from Proposed Developments
		Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	
	Grayson High School	3738	3,000	738	3,850	3,000	850	3,946	3,000	946	26
REZ2025-00016	Bay Creek Middle School	1646	1,150	496	1,704	1,150	554	1,755	1,150	605	18
	Trip Elementary School	1,708	1,200	508	1,776	1,200	576	1,838	1,200	638	33
	Parkview High School	3148	2,900	248	3,120	2,900	220	3,093	2,900	193	5
REZ2025-00017	Trickum Middle School	2203	2,275	-72	2,148	2,275	-127	2,104	2,275	-171	3
	Arcado Elementary School	917	750	167	908	750	158	899	750	149	6
	Dacula High School	2429	2,550	-121	2,477	2,550	-73	2,526	2,550	-24	75
REZ2025-00018	Dacula Middle School	1921	1,900	21	1,959	1,900	59	1,948	1,900	48	51
	Dacula Elementary School	1131	1,550	-419	1,117	1,550	-433	1,110	1,550	-440	95

Exhibit J: Maps

[attached]



REZ2025-00016

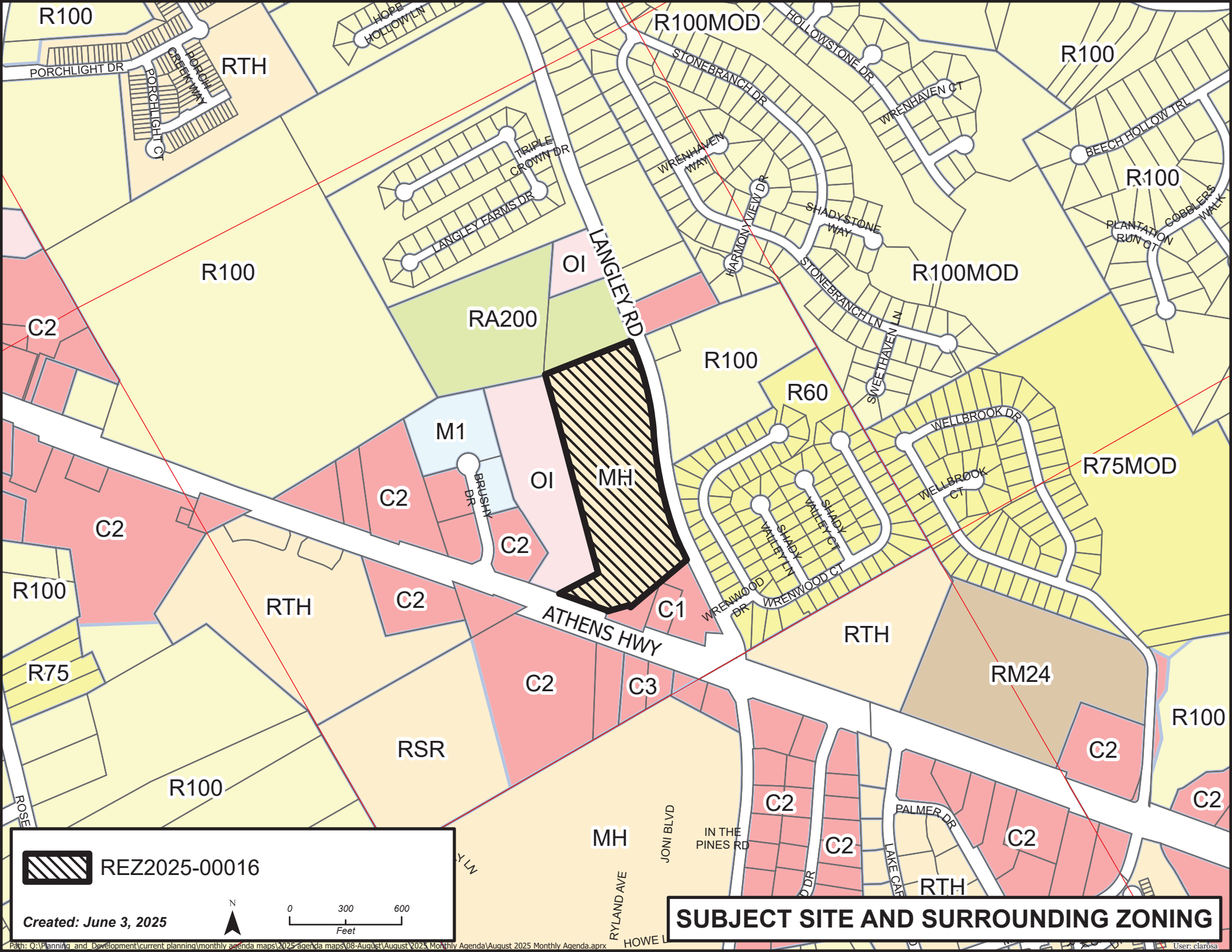
Created: June 3, 2025



0 125 250
Feet

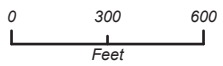
Gwinnett County GIS

User: claros

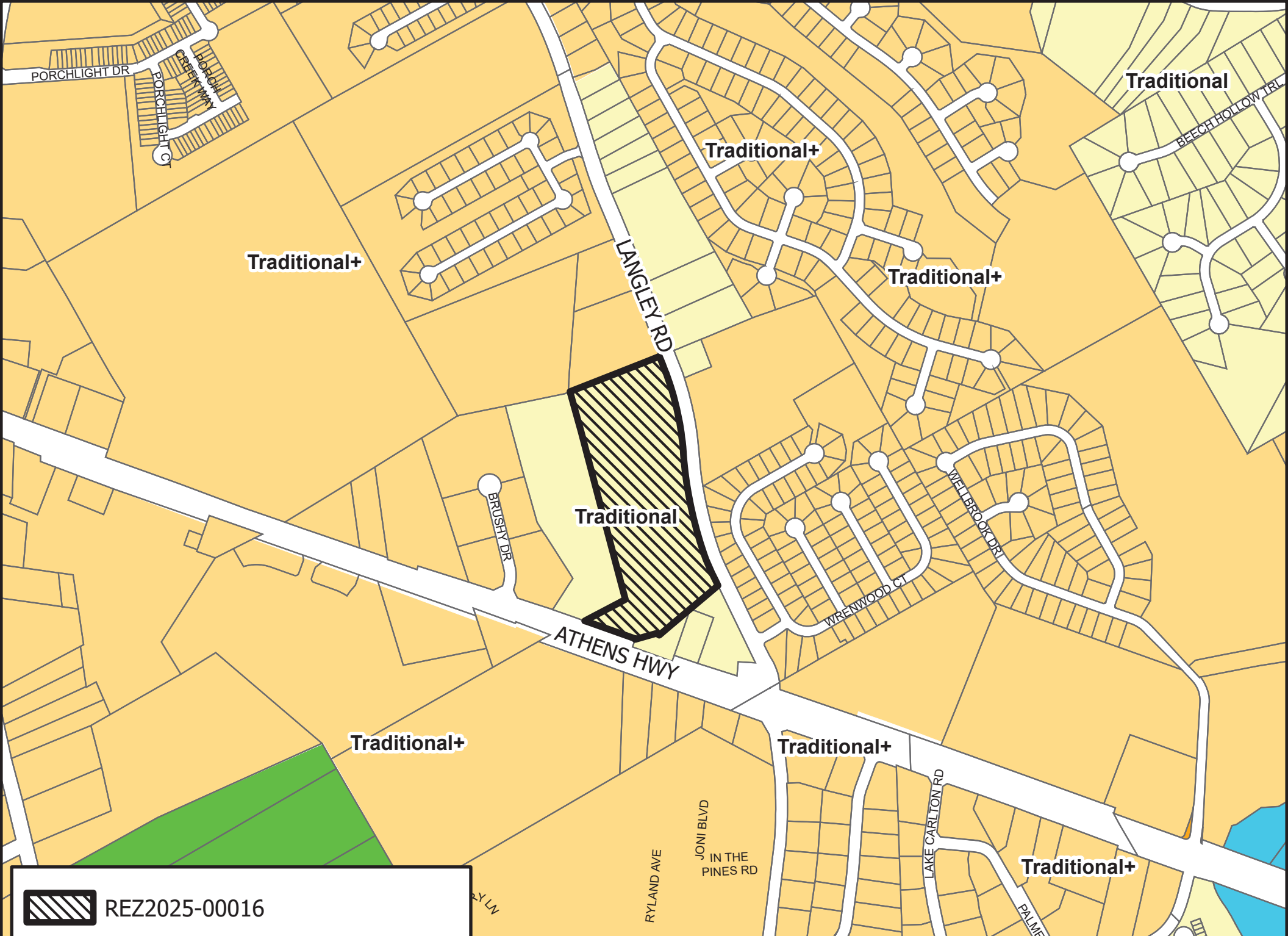


 REZ2025-00016

Created: June 3, 2025



SUBJECT SITE AND SURROUNDING ZONING



PORCHLIGHT DR

PORCHLIGHT CT

GREENWAY

ROBSON

Traditional+

Traditional+

Traditional+

Traditional

BEECHHOLLOW TR

LANGLEY RD

Traditional

BRUSHY DR

ATHENS HWY

WRENWOOD CT

WELLBROOK DR

Traditional+

Traditional+

Traditional+

JONI BLVD
IN THE PINES RD

RYLAND AVE

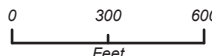
LAKE CARLTON RD

PALME



REZ2025-00016

Created: June 3, 2025



2045 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION

PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: REZ2025-00017

Current Zoning: R-75 (Single-Family Residence District) and RA-200 (Agriculture-Residence District)

Request: Rezoning to R-60 (Single-Family Residence District)

Additional Requests: Waivers

Addresses: 94, 100, 110, and the 100 Block of Harmony Grove Road

Map Numbers: R6137 036C, 036D, 144, and 215

Site Area: 12.61 acres

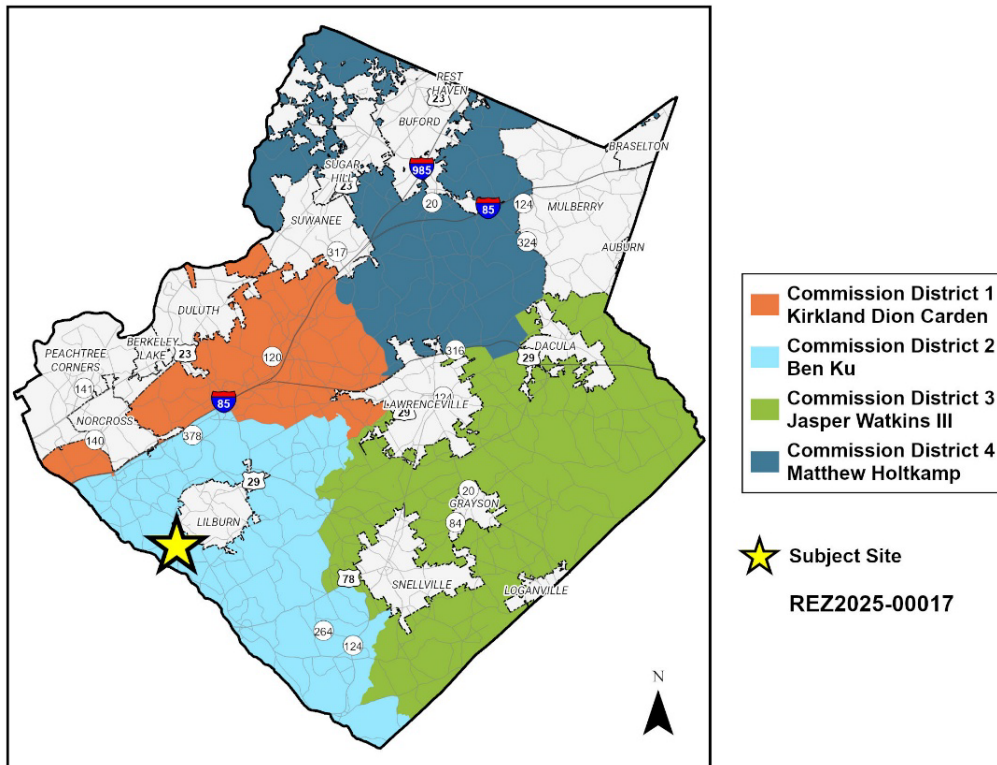
Units: 15

Proposed Development: Single-Family Detached Subdivision

Commission District: District 2 – Commissioner Ku

Future Development Type: Suburban Residential

Staff Recommendation: APPROVAL WITH CONDITIONS



Applicant: Dynamic Investment & Holdings, LLC
c/o LJA Engineering, Inc.
4889 Provence Circle
Vestavia, AL 35242

Owner: Hoang Anh Tu
2925 Pinehigh Court
Duluth, GA 30096

Contact: Tyler Lasser

Phone: 470.202.9321

Zoning History

The site contains four parcels. The two southern parcels are zoned R-75 (Single-Family Residence District), and no prior zoning requests are on record for these properties. The two northern parcels were rezoned in 1983, from R-100 (Single-Family Residence District) to RA-200 (Agriculture-Residence District) for a plant nursery, pursuant to RZ-183-83.

Existing Site Condition

The subject property is a 12.61-acre assemblage of four parcels located along Harmony Grove Road, northeast of its intersection with Lost Grove Drive. The property contains two residences and accessory structures. Abandoned greenhouses, dumpsters, and debris are situated near the northern property line. Streams run along the southern and eastern property lines, resulting in the majority of the site being situated within the floodplain. A guardrail is located along the southern portion of Harmony Grove Road where the site slopes downward approximately 10 feet. There is no sidewalk along the property frontage. The nearest Ride Gwinnett transit stop is approximately 0.75 miles from the subject property.

Surrounding Use and Zoning

The site is surrounded by single-family detached residences within subdivisions, as well as commercial uses. The Harmony Point, Arendell Acres, and Harmony Grove Estates subdivisions are located to the north and east. The Galilee Grove and Lost Springs subdivisions are located to the west, across Harmony Grove Road. The site is bounded by a 100-foot-wide railroad right-of-way to the south. Farther south, across the railroad, are a warehouse, convenience store with fuel pumps, and Harmony Grove Park. The following is a summary of surrounding uses and zoning:



Location	Land Use	Zoning	Density
Proposed	Single-Family Residential	R-60	1.19 units per acre
North	Single-Family Residential	R-75	2.59 units per acre
East	Single-Family Residential	R-75	1.47 units per acre
South	Industrial (Warehouse) Commercial (Gas Station)	M-2 C-2	N/A
West	Single-Family Residential	R-75	1.09 units per acre

Project Summary

The applicant requests rezoning of a 12.61-acre assemblage of four parcels from R-75 and RA-200 to R-60 for a single-family detached subdivision, including:

- 15 single-family detached residences on lots ranging from 7,735 to 11,500 square feet, yielding a density of 1.19 units per acre.
- Two-story, front-loaded residences with two-car garages, and a minimum heated floor area of 2,800 square feet.
- Exterior building materials of brick and stone on all façades.
- 7.17 acres of open space, with 0.63 acres of usable open space located at the subdivision entrance and north of the floodplain, comprised of a pocket park, playfield, and trail.
- A mail kiosk with two parallel parking spaces at the end of the cul-de-sac.
- One full-access entrance with a deceleration lane and 5-foot-wide sidewalk along Harmony Grove Road, outside of the stream buffer and floodplain.
- A 40-foot-wide setback with a 10-foot-wide landscape strip along Harmony Grove Road.
- A stormwater management facility north of the playfield.

Zoning and Development Standards

The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Density	Maximum 4.0 units per acre	1.35 units per acre	YES
Lot Size	Minimum 7,200 square feet	>7,200 square feet	YES
Lot Width	Minimum 60'	>60'	YES
Lot Coverage	Maximum 60%	<60%	YES
Front Yard	Minimum 15'	15'	YES
Rear Yard	Minimum 20'	20'	YES
Side Yard	Minimum 5'	5'	YES
Building Height	Maximum 35'	<35'	YES
Open Space	Minimum 10% or 1.26 acres	56.88% or 7.17 acres	YES
Usable Open Space	Minimum 5% or 0.63 acres	5% or 0.63 acres	YES
Landscape Strip	Minimum 10'	10'	YES

Waiver Requests

The applicant is seeking waivers from the following provisions of Title III of the UDO:

1. Section 360-20.2.F.2. Dead End Street Requirements

The applicant is requesting not to connect to the existing stub street in the Harmony Grove Estates subdivision to the east.

2. Section 360-60.3. Horizontal Street Alignment Requirements

The applicant is requesting to reduce the minimum street radius from 181 feet to 100 feet.

3. Section 360-90.1. Sidewalk and Curb Ramp Installation and Timing Requirements

The applicant is requesting not to extend the sidewalk along the portion of Harmony Grove Road which lies within the stream buffer and floodplain.

Public Participation

The applicant held a community meeting on June 9, 2025, at Lucky Shoals Park in Tucker. There were 14 community members in attendance who raised questions regarding traffic, lot width, and sidewalk connectivity. The applicant responded by removing two lots to increase the width of the remaining lots, and by providing a 5-foot-wide sidewalk along Harmony Grove Road to the existing guardrail. The public participation plan and report are shown in Exhibit H.

Internal and External Agency Review

Internal and external agency review comments are attached (Exhibit I). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Rezoning Request Analysis: The standards governing the exercise of zoning power are outlined in Section 270-20.6 of the UDO. Staff makes the following findings related to the zoning requests:

A. Whether a proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The property is surrounded by single-family detached residences. Nearby subdivisions have compatible-sized residences and densities to this development. The proposed rezoning is suitable in view of the use and development of adjacent and nearby property.

B. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.

The proposal is compatible with the context, character, and development pattern of nearby residential subdivisions. The stream along the eastern property line would provide a natural separation, and all lots along the northern property line meet the R-75 lot width standards. The proposed rezoning will not adversely affect the existing use or usability of adjacent or nearby property.

C. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.

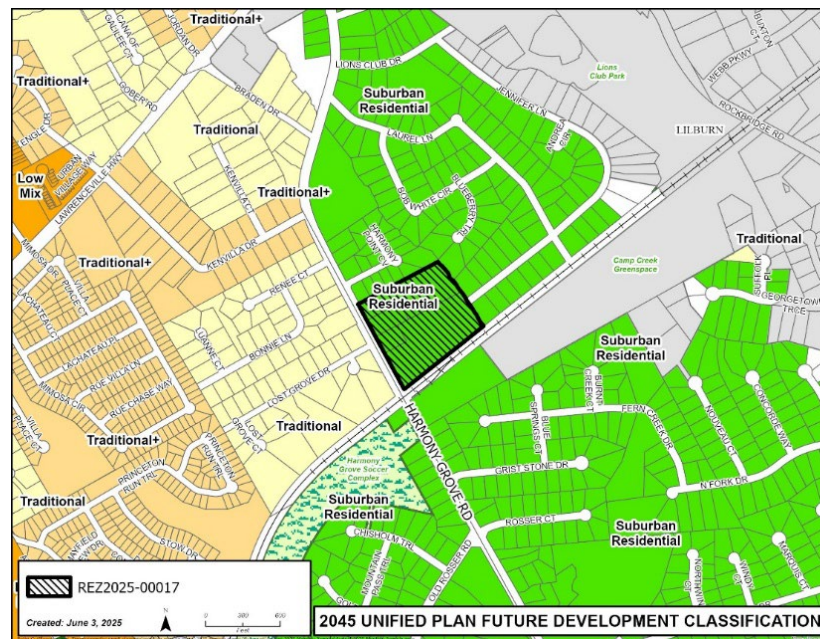
The property has a reasonable economic use as currently zoned.

D. Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

An increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. The traffic impact study (Exhibit G) estimated that the development would generate 14 morning and 18 evening peak hour trips, and the level of service of key intersections would remain unchanged. An increased impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit I).

E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map; and

The Unified Plan's Future Development Map indicates "Suburban Residential" for the subject property. Single-family detached is a recommended land use and R-60 is a recommended zoning district. The proposed development is in conformity with the policy and intent of the Unified Plan and Future Development Map.



F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning.

There are no other conditions giving support for approval or disapproval of the proposal.

Waiver Request Analysis: The standards for granting waivers are outlined in Section 300-30.2 of the UDO. Staff make the following findings related to the waiver request:

The site is encumbered by steep topography, a stream, and floodplain. In order to preserve these environmental features, the applicant is requesting three waivers, including to not connect to an existing stub street in the adjacent subdivision, to reduce the minimum street radius, and to not extend the sidewalk along a portion of Harmony Grove Road. Approval of these requests would allow for the preservation of environmentally sensitive features and would not nullify the intent of the development standards.

Staff Recommendation

Based on the staff's evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

In addition, staff recommends **APPROVAL** of the following waivers:

1. To not connect to the existing stub street in the Harmony Grove Estates subdivision to the east.
2. To reduce the minimum street radius from 181 feet to 100 feet.
3. To not extend the street frontage sidewalk into the stream buffer and floodplain.

Staff Recommended Conditions

Approval as R-60 (Single-Family Residence District) for a single-family detached subdivision, subject to the following conditions:

1. The development shall be limited to single-family detached dwellings and accessory uses and structures, not exceeding 15 units.
2. The proposed development shall be constructed in general conformance with Exhibit B: Site Plan dated received June 24, 2025, and Exhibit C: Building Elevations dated received July 11, 2025, with revisions required by zoning conditions and the Unified Development Ordinance, subject to the review and approval of the Department of Planning and Development.
3. The minimum heated floor area shall be 2,800 square feet.
4. Usable open space shall be provided in general conformance with Exhibit B: Site Plan dated received June 24, 2025, including, but not limited to, a pocket park, playfield, and trail, subject to the review and approval of the Department of Planning and Development.
5. A full-access entrance and a deceleration lane shall be provided along Harmony Grove Road, prior to the issuance of a Certificate of Occupancy, subject to the review and approval of the Gwinnett County Department of Transportation.
6. Building lots shall not contain stream buffer and associated impervious surface setback, nor floodplain.

7. Natural vegetation shall remain on the property until the issuance of a development permit.
8. All grassed areas within lots and usable open space shall be sodded.

Exhibits:

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Application and Disclosure of Campaign Contributions
- F. DWR Sewer Capacity Certification Letter
- G. Traffic Impact Study
- H. Public Participation Plan and Report
- I. Internal and External Agency Review Comments
- J. Maps

Exhibit A: Site Visit Photos



View of existing residence



View of existing residence



View of existing dumpsters



View of parked vehicle



View of Harmony Grove Road facing south



View of Harmony Grove Road facing north



View of residences within the Galilee Grove subdivision



View of residences within the Harmony Point subdivision

Exhibit B: Site Plan

[attached]

RECEIVED

6.24.2025

SITE DATA

GROSS ACREAGE:	12.606 ACRES
APPROX. FLOOD HAZARD:	7.17 ACRES
EXISTING ZONING:	RA-200 & R-75
PROPOSED ZONING:	R-60
PROPOSED LOTS:	15 UNITS
MAX DENSITY:	4 U/A
GROSS DENSITY:	1.19 U/A
MIN. LOT WIDTH:	60' MINIMUM
MIN. LOT SIZE:	775 MINIMUM FOR LOTS 5-10 7,200 SF
SETBACKS:	
FRONT:	10'
SIDE:	5'
REAR:	20'
MAX BUILDING HEIGHT:	35'
MAX BUILDING HEIGHT PROPOSED:	35'
LANDSCAPE STRIP:	10'
OTHER:	
MAX LOT COVERAGE ALLOWED:	60%
LOT COVERAGE PROVIDED:	+/- 38%
OPEN SPACE REQUIRED:	10% OR 1.26 ACRES
OPEN SPACE PROVIDED:	+/- 57% OR 7.17 ACRES
USABLE OPEN SPACE REQUIRED:	5% OR 0.63 ACRES
USABLE OPEN SPACE PROVIDED:	+/- 5% OR 0.63 ACRES (27,471 SF)
HEATED FLOOR AREA PROVIDED:	2,800 SF. MIN.

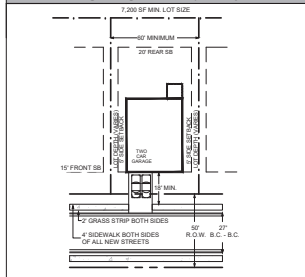
SITE LEGEND

(S)	25' STATE STREAM BUFFER
(C)	50' COUNTY STREAM BUFFER
(S)	75' IMPERVIOUS SETBACK
(S)	STORMWATER MANAGEMENT (RETENTION OR DETENTION)
(K)	MAIL KIOSK
(G)	GRASS PLAY AREA
(P)	PLAYFIELD (5,660 SF)
(P)	POCKET PARK (5,971 SF)
(P)	PLANTED AREA
(B)	BENCH
(T)	4' GRAVEL TRAIL (WITH 10' OFFSET ON EACH SIDE TO COUNTY TOWARDS USABLE OPEN SPACE - 660 LF X 24" = 15,840 SF)
(W)	WETLAND
(O)	OPEN SPACE
(U)	USABLE OPEN SPACE
(C)	CROSSWALK (WHITE PAVEMENT MARKINGS)

PARKING CALCCS

TYPE	GARAGE	DRIVEWAY	UNIT	TOTAL	TOTAL
SF					
TOTAL PARKING SPACES REQUIRED FOR RESIDENTIAL					30/40
MINIMUM 2 SPACES PER UNIT / MAXIMUM 4 SPACES PER UNIT					
AMENITY PARKING REQUIRED:					1/1
MINIMUM 1 PER 20 HOMES / MAXIMUM 1 PER 10 HOMES					
AMENITY PARKING PROVIDED (PARALLEL ON STREET)					1
MAIL KIOSK PARKING					1
TOTAL PARKING SPACES PROVIDED FOR RESIDENTIAL					62

TYPICAL LOT DETAIL: 1"=40'



PROPERTY ADDRESS:
100 HARMONY GROVE RD
LILBURN, GA 30047

PROPERTY OWNERS:
PID 6137 0362 - ANH TU HOANG
PID 6137 144 - ANH TU HOANG
PID 6137 215 - ANH TU HOANG
PID 6137 0362 - ANH TU HOANG

STORMWATER NOTE:
STORMWATER WILL BE PROVIDED ON SITE.

SEWER NOTE:
SEWER PROVIDED BY GWINNETT COUNTY.

WATER NOTE:
WATER PROVIDED BY GWINNETT COUNTY.

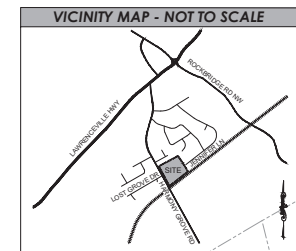
FEMA NOTE:
ACCORDING TO FIRM NUMBER 13135C0124F
DATED 09/29/2006 FOR GWINNETT COUNTY
GEORGIA, THE PROPERTY SHOWN DOES LIE
WITHIN A SPECIAL FLOOD HAZARD AREA.

SURVEY NOTE:
PLAN REFERENCES PLAT DATED 9/9/2016
SURVEY SYSTEMS & ASSOC., INC.
657 LAKE DRIVE, SNELLVILLE, GA 30039
404-760-0010

STREAM & WETLANDS NOTE:
STREAM AND WETLANDS DELINEATION DATED 3/10/25
LJA ENVIRONMENTAL SERVICES, LLC
4525 SOUTH LEE STREET, BUFORD, GA 30518
770-225-4730

CIS NOTE:
TOPOGRAPHY, FLOOD PLAN, AND UTILITY INFORMATION IS
COLLECTED FROM GIS DATA.

"DRAINAGE"
1. HORIZONTAL CENTERLINE ROAD RADIUS REDUCTION, FROM
181' TO 100' AS SHOWN, (UDC 360-60.3)
2. FULL SIDEWALKS NOT REQUIRED ON ABUTTING EXTERNAL
STREETS (UDC 360-60.1)
3. NO STUB STREET CONNECTION REQUIRED FOR JENNIFER
LANE. (UDC 360-20.2.F.2)



LJA
LJA ENGINEERING
299 S. MAIN STREET
ALPHARETTA, GA 30009
770.325.4730

SOHIL LALANI

SITE ZONING PLAN FOR
100 HARMONY GROVE
LILBURN, GA 30047
PROJECT NUMBER
GA6391-2501
SHEET TITLE
ZONING PLAN
SHEET NUMBER
06.24.25

Exhibit C: Building Elevations

[attached]

RECEIVED

7.11.2025



FRONT SIDE ELEVATION



LEFT SIDE ELEVATION



BACK SIDE ELEVATION



RIGHT SIDE ELEVATION

Homes to be constructed primarily with brick and stone
. Maximum height shall be 35-feet.

Exhibit D: Letter of Intent and Applicant's Response to Standards

[attached]

Applicant's Letter of Intent
Rezoning Request: RA-200/R-75 to R-60

Dynamic Investment & Holdings, LLC (the "Applicant") respectfully submits this request to rezone an approximately 12.606-acre site from RA-200 (Agriculture-Residence District) and R-75 (Single-Family Residence District) to R-60 (Single-Family Residence District) in order to develop a high-quality residential community of single-family detached homes. The subject property is located on the east side of Harmony Grove Road, across from the Galilee Grove subdivision. To the north, the site abuts the Harmony Point subdivision, a 17-lot development with a density of approximately 2.59 units per acre. To the south, the property borders a 100-foot-wide railroad right-of-way. Across the railroad lies an existing convenience store, a warehouse, and Harmony Grove Park. In accordance with the Gwinnett County 2045 Comprehensive Plan, the site falls within and aligns with the Suburban Residential future land use designation. This category specifically includes R-60 among its recommended zoning classifications, due to its low density and consistency with existing housing patterns and anticipated future development in the area.

The proposed development will consist of 15 homes, resulting in a low density of 1.19 units per acre—lower than that of adjacent subdivisions. Access to the site will be provided via a single entrance from Harmony Grove Road, which will include a deceleration lane to accommodate northbound traffic. Two internal streets will include sidewalks to promote walkability and provide access to the open space within the community. Approximately 7.17 acres of the site will remain open space, including several pocket parks with landscaping and benches, and a recreational play/athletic field accessible via a trail from the cul-de-sac. A significant portion of the site consists of stream buffers and floodplain areas, which will be preserved in their natural state. Additional site improvements will include parallel parking spaces near the internal mail kiosk, a stormwater management pond, and a 10-foot-wide landscape strip along the Harmony Grove Road frontage.

The homes will be two-story residences beginning at approximately 2,800 heated square feet. Each home will include a two-car front-entry garage and will be constructed with high-end materials including brick and stone,—complementing the architectural character of nearby subdivisions.

In conjunction with the rezoning request, the Applicant also seeks the following waivers due to site topography, existing site constraints, and surrounding conditions:

- Reduce horizontal centerline road radius from 181 feet to 100 feet, as shown. (360-60.3)
- Waive requirement for sidewalks along the abutting external street. (360-90.1)
- Waive stub street connection to Jennifer Lane. (360-20.2.F.2)

The Applicant believes this proposed R-60 community is compatible with the surrounding area and will provide much-needed high-quality housing for Gwinnett County. Please refer to the attached site plan and architectural elevations for additional information.

Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

Exhibit E: Application and Disclosure of Campaign Contributions

[attached]

REZONING APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
Name: <u>Dynamic investment & Holdings, LLC c/o LJA Engineering, Inc.</u> Address: <u>4889 Provence Circle</u> City: <u>Vestavia</u> State: <u>AL</u> ZIP: <u>35242</u> Phone: <u>470.202.9321</u> Email: <u>tlasser@lja.com</u>	Name: <u>HOANG ANH TU</u> Address: <u>2925 PINEHIGH CT</u> City: <u>Duluth</u> State: <u>GA</u> ZIP: <u>30096</u> Phone: <u>470.202.9321</u> Email: <u>tlasser@lja.com</u>
Contact Person: <u>Tyler Lasser (LJA)</u> Phone: <u>470.202.9321</u> Contact's Email: <u>tlasser@lja.com</u>	
APPLICANT IS THE: <div style="display: flex; justify-content: space-around; align-items: center;"> <input type="checkbox"/> Owner's Agent <input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Contract Purchaser </div>	
Current Zoning District(s): <u>RA-200/R-75</u> Requested Zoning District: <u>R-60</u> Parcel Number(s): <u>6137 036C, 6137 144, 6137 215, 6137 036D</u> Acreage: <u>12.606</u> Property Address(es): <u>HARMONY GROVE RD (100 BLOCK)</u> Proposed Development: <u>15 single-family homes</u> Variance(s): <u>None</u> Waiver(s): <u>3: See attached LOI</u>	
RESIDENTIAL DEVELOPMENT No. of Dwelling Units: <u>15</u> Dwelling Unit Sq. Ft.: <u>2,800</u> Density: <u>1.19</u> Floor Area Ratio (LRR, MRR, HRR): _____	NON-RESIDENTIAL DEVELOPMENT No. of Buildings: _____ Total Building Sq. Ft.: _____ Floor Area Ratio: _____
MIXED-USE DEVELOPMENT No. of Dwelling Units: _____ Dwelling Unit Sq. Ft.: _____ Total Non-Residential Sq. Ft.: _____ Floor Area Ratio: _____	

GWINNETT COUNTY

CASE NUMBER : REZ2025-00017

OWNER INFORMATION

OWNER NAME	ADDRESS	PHONE#	CITY/STATE/ZIP

CONTACTS INFORMATION

CONTACTS ROLE	NAME	ADDRESS	PHONE#	CITY/STATE/ZIP
Applicant	Sohil Lalani	4889 Provence Circle		Vestavia Alabama 35242
Contact	Tyler Lasser		4702029321	
Property Owner	ANH HOANG		4702029321	

CASE INFORMATION

ADDITIONAL DETAILS

CONSTRUCTING MORE THAN 5,000SQ FEET OF NONRESIDENTIAL BUILDINGS AND/OR ADDITIONS?:

NO

CREATING MORE THAN 10 NEW RESIDENTIAL UNITS?:

YES

DISTRIBUTING MORE THAN 10,000 SQUARE FEET OF LAND?:

UNDEFINED

PUBLIC PARTICIPATION PLAN REQUIRED:

YES

APPLICANT INFORMATION

APPLICANT IS THE:

OWNER'S AGENT

CAMPAIGN CONTRIBUTIONS

ANY CAMPAIGN CONTRIBUTIONS?:

NO

DIGITAL SIGNATURE

APPLICANT DIGITAL SIGNATURE:

TYLER LASSER

PRE-APPLICATION DETAILS

PRE-APPLICATION RECORD NUMBER:

ZAM2025-00044

PROJECT DETAILS

DESCRIPTION:

15 SINGLE-FAMILY HOMES, ZONED R-60

PROJECT NAME:

HARMONY GROVE SUBDIVISION

REZONING DETAILS

APPLICATION REFERENCE:

REZ1

CURRENT ZONING:

RA-200, R-75

PARCEL ID:

6137 036C,6137 144,6137 215,6137 036D

PROPOSED DENSITY:

1.19

PROPOSED DWELLING UNIT:

15

PROPOSED MINIMUM DWELLING SIZE:

2800

PROPOSED ZONING:

R-60

Page 21 of 45

Exhibit F: DWR Sewer Capacity Certification Letter

[attached]



May 12, 2025

Sohil Lalani
4889 Provence Circle
Vestavia, AL 35242

<input checked="" type="checkbox"/>	APPROVED
<input type="checkbox"/>	DENIED
<input type="checkbox"/>	CONDITIONALLY APPROVED
Sewer Capacity Request #C2025-108-05	
Expiration Date: 05/12/2026	
Tie-In Manhole FID: 279955	

RE: Sewer Availability for Proposed Development – 100 Harmony Grove Rd
Parcel ID 6137 036C, 6137 144

Dear Mr. Lalani:

This letter supersedes the earlier Sewer Capacity Certification C2025-077-04 dated April 4, 2025.

Gwinnett County Department of Water Resources (GCDWR) has reviewed the impact of the proposed development consisting of 17 single-family homes on the above parcels and determined:

Gwinnett County has adequate sewer capacity to serve the proposed development.

This confirmation is based on your anticipated annual average daily flow of 2.95 gpm discharging to the sewer tie-in manhole at Facility ID **279955**.

Capacity Allocation: Sewer capacities are allocated only upon the issuance of a Development Permit, by Gwinnett County Planning & Development and after all applicable conditions established in this Sewer Capacity Certification, if any, are met.

Certification Expiration: The Sewer Capacity Certification is valid for 12 months from the date of this letter. If rezoning is approved, GCDWR will issue a revised Sewer Capacity Certification based on the approved units, as needed. The capacity request can be renewed for an additional 12 months. If a Development Permit has not been obtained by the expiration date above the developer may apply for renewal by providing evidence of active rezoning, plan review, or permitting efforts.

Once the Sewer Capacity Certification expires, the capacity is no longer allocated, and a new Sewer Capacity Certification request must be submitted for re-evaluation with no guarantee of available capacity. The evaluation will be based on the updated conditions of the sewer system.

Certification Invalidation: This certification is not valid if there are proposed changes to your development that could impact downstream sewer capacity (e.g. land use density, sewer tie-in manhole, parcel changes, and/or rezoning). In this case the development must resubmit for a



new Sewer Capacity Request with updated information prior to the expiration of the previous one.

Please contact us at 678-376-7026 if you have any questions.

Sincerely,

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES

Della Taylor, PE
Division Director, Infrastructure Support
678.376.2130

C: Gwinnett County DWR – Lorraine Campagne, Section Manager; Raghu Vemuru, Engineer V; Mikala Weston, Engineer III
Gwinnett County P&D – Charli Young, Planning Manager; Geniva Sylvain, Engineer I; Christina Dejarnette, Engineer I;
Wendell Tumale Engineer III

Exhibit G: Traffic Impact Study

[attached]

TRAFFIC IMPACT STUDY
FOR
HARMONY GROVE ROAD



LJA Project No. GA6391-2501.107

Project Address:
100 Harmony Grove Road
Lilburn, GA 30047



LJA Engineering, Inc.

299 South Main Street
Alpharetta, GA 30009
Phone: 770.225.4730
www.ljaengineering.com

April 11, 2025

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2.2 Land Use	2
Figure 2 – Zoning Area of Site Location	2
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1. Introduction

This report presents the summary of findings for the Traffic Impact Study (TIS) prepared by LJA Engineering, Inc. (LJA) for the proposed **100 Harmony Grove Road** development in Lilburn (Gwinnett County), Georgia. This development will consist of 16 units of **single-family detached housing (ITE Land Use Code 210)**. It will have one access driveway, at the intersection of Harmony Grove Road and Lost Grove Drive. The general area of where the development will be located is shown in **Figure 1**. A copy of the proposed site concept plan is in **Appendix A**.

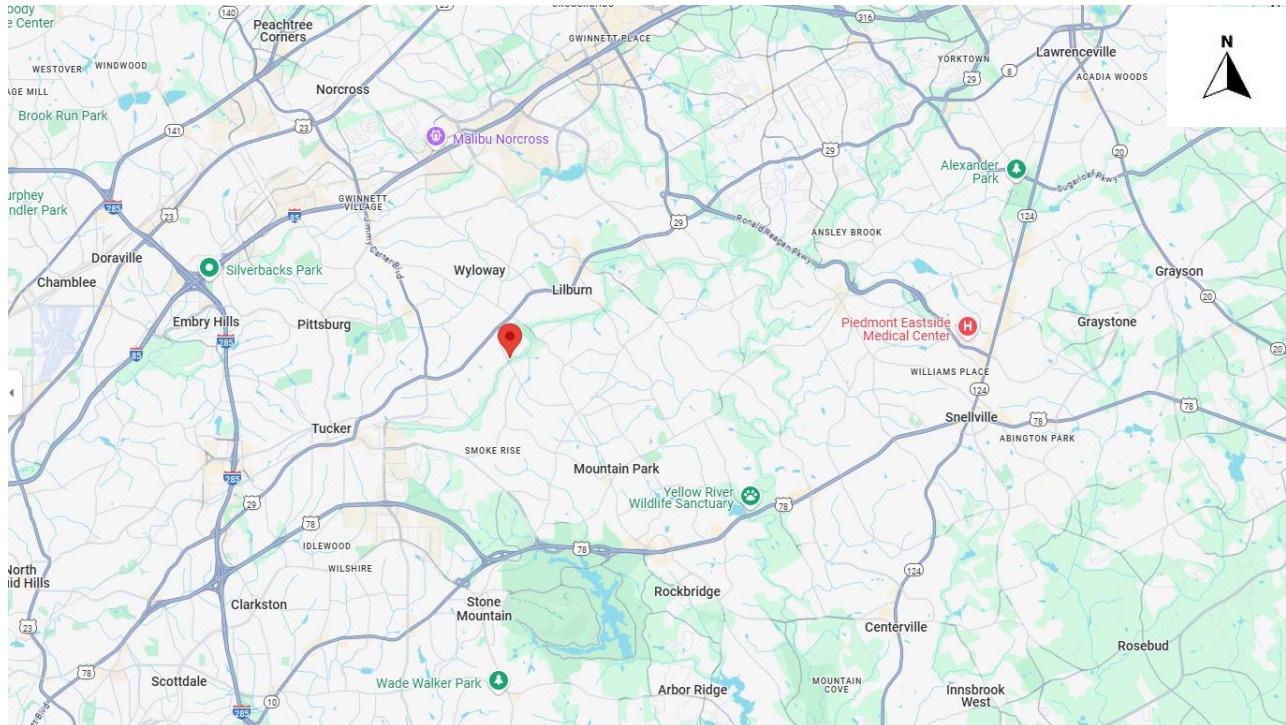


Figure 1 – Proposed Site Location

2. Analysis

2.1 Surrounding Roadways and Roadway Classification

Using the GDOT Traffic Analysis & Data Application (TADA), the roadway classifications for the roads within the study area are as following:

- Harmony Grove Road – Urban Major Collector
- Lost Grove Drive – Urban Local Road

The proposed development will be located at the intersection of Harmony Grove Road and Lost Grove Drive. Both Harmony Grove Road and Lost Grove Drive are two-lane 24-foot-wide undivided roadways.

2.2 Land Use

Using the Gwinnett County GIS Data Browser, the current land uses of the parcels where the development will be built can be found below:

- RA-200 – Agriculture/Residence
- R-75 – Single Family Residence

Based on the site plan, multiple parcels will be acquired and will be reclassified as R-60 (Single-Family Residence District). The zoning change is currently under county review. The parcels are shown in **Figure 2** below. The surrounding land consists of low-density residential housing.

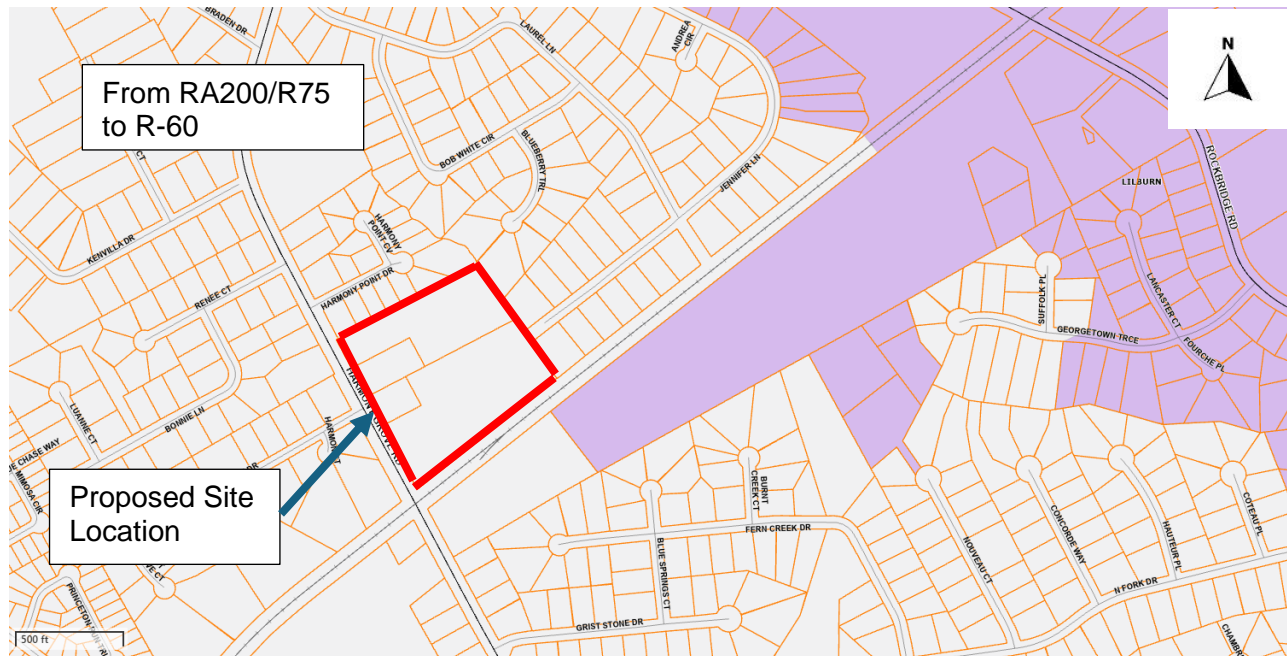


Figure 2 – Zoning Area of Site Location

2.3 Posted Speed

Using the GDOT TADA, all posted speeds of the roadways within the study area are shown below:

- The posted speed along Harmony Grove Road is 40 miles per hour.
- The posted speed along Lost Grove Drive is 25 miles per hour.

LJA does not propose changing the posted speed within the study area.

2.4 Future Identified Projects

There are currently no GDOT or Gwinnett DOT projects under construction in the vicinity of the proposed development.

2.5 Access Management Review

The proposed development will have access through one driveway, along Harmony Grove Road. Access 1 is located at the intersection of Harmony Grove Road and Lost Grove Drive. **Figure 3** shows an aerial view of where the driveways will be located.



Figure 3 – Location of Access Driveways

As for driveway spacing, Gwinnett County Table 360.3 mandates a minimum spacing between driveways on a roadway. **Figure 4** below shows the minimum driveway spacing based on the posted speed of the road.

Posted Speed	Minimum
MPH	Driveway Spacing
25	125
30	219
35	244
40	294
45	369
50	419
55	444
60	494
65	550

Figure 4 – Minimum Driveway Spacing from Gwinnett County

Since Harmony Grove Road has a posted speed of 40 miles per hour, the minimum driveway spacing is 294 feet. Looking back at Figure 3 above, all of the accesses for the proposed development meet the requirements. Additionally, there are also no other existing driveways near the proposed development.

2.6 Trip Generation

The amount of traffic a proposed development generates is dependent on several factors including the nature, size, and location of the proposed development. **Table 1** below shows the estimated amount of vehicle trips which will be generated by the proposed development using the average rates found in the *Trip Generation Manual – 11th Edition*, published by the Institute of Transportation Engineers (ITE).

Table 1 - Trip Generation Totals for Proposed Development

Land Use (ITE Code)	Units	AM Peak Hour			PM Peak Hour			Weekday 24-Hr Trips		
		In	Out	Total	In	Out	Total	In	Out	Total
Single-Family Detached Housing (210)	16 Units	4	10	14	11	7	18	93	94	187
Total		4	10	14	11	7	18	93	94	187

The overall proposed development is expected to generate 187 daily trips with 14 trips during the AM peak hour period (4 in, 10 out) and 18 trips during the PM peak hour period (11 in, 7 out). This means that according to the Gwinnett County Traffic Impact Study Guidelines, a Level 1 TIS report will be required for this development.

2.7 Intersection Sight Distance

LJA considered Intersection Sight Distance (ISD) calculations at each access driveway by using the respective cases listed below in **Table 2** as found in the AASHTO Green Book. The ISD was using Harmony Grove Road as the major road, a 40 miles per hour road and Lost Grove Drive as the minor road, a 25 miles per hour road.

- Left Turn from the Minor Road (Case B1)
- Right Turn from the Minor Road (Case B2)
- Left Turn from the Major Road (Case F)

Table 2 – Required Intersection Sight Distance

Intersection	Required ISD (feet)		
	Case B1	Case B2	Case F
Harmony Grove Road and Lost Grove Drive	445	385	325

The ISD is calculated based on the posted speed along Harmony Grove Road which is 40 miles per hour. Therefore, at the proposed driveway, there is adequate sight distance available.

3. Conclusion

The proposed development is expected to generate 187 daily trips with 14 trips during the AM peak hour period (4 in, 10 out) and 18 trips during the PM peak hour period (11 in, 7 out). Thus, based on Tables 1 and 2 of the Gwinnett County Traffic Impact Study Guidelines, if a site generates less than 21 peak hour trips, only a Level 1 TIS is required which is presented in this report. Based on this report's findings, the development traffic does not adversely impact the existing roadway volumes and hence, the proposed development is recommended without any mitigations.

Exhibit H: Public Participation Plan and Report

[attached]



Public Participation Plan

1. Who do you intend to contact in addition to property owners within 1,000 feet of the site, if any?

Property owners and district planning commissioners will be invited

2. Where do you plan to host the Public Participation Meeting? Ensure that the meeting is held in person at a convenient location for interested parties.

Lucky Shoals Park meeting room

3. What date and time do you plan to host the Public Participation Meeting? Ensure that the meeting is held at a convenient time for interested parties, e.g. not during typical work hours on weekdays.

June 9th at 7pm

4. What is your method for providing opportunities for discussion with interested parties at the Public Participation Meeting?

After a short presentation, there will be time for a q&a for attendees



Public Participation Report

1. List all groups that you notified of the requested application. Include a copy of the notification package and stamped Postal Service Form 3877 (attached) with itemized name and address of each addressee.

Every property owner within 1,000 feet and planning commissioner.

2. Provide the date, time, and location of all meeting(s) that the applicant and/or representative attended to discuss an application with interested parties.

Luck Shoals Community Center, June 9th at 7pm

3. Provide the number of people who participated in the meeting(s). Include the sign-in sheet(s) with meeting date, time, location, and attendee names.

14 people attended the meeting

4. What issues and concerns were expressed by attendees at the meeting(s)?

Clearing, traffic, lot width adjacent to subdivision, sidewalk.

5. What are the applicant's responses to the issues and concerns that were expressed at the meetings? What changes to the development will be made?

All lots adjacent to R-75 subdivision have been widened to R-75 standard (75').

All DOT requirements will be met for this development, including decel/turn lane.

Sidewalk has been extended to the north, and adjacent to the decel lane for bus pickup.

Exhibit I: Internal and External Agency Review Comments

[attached]



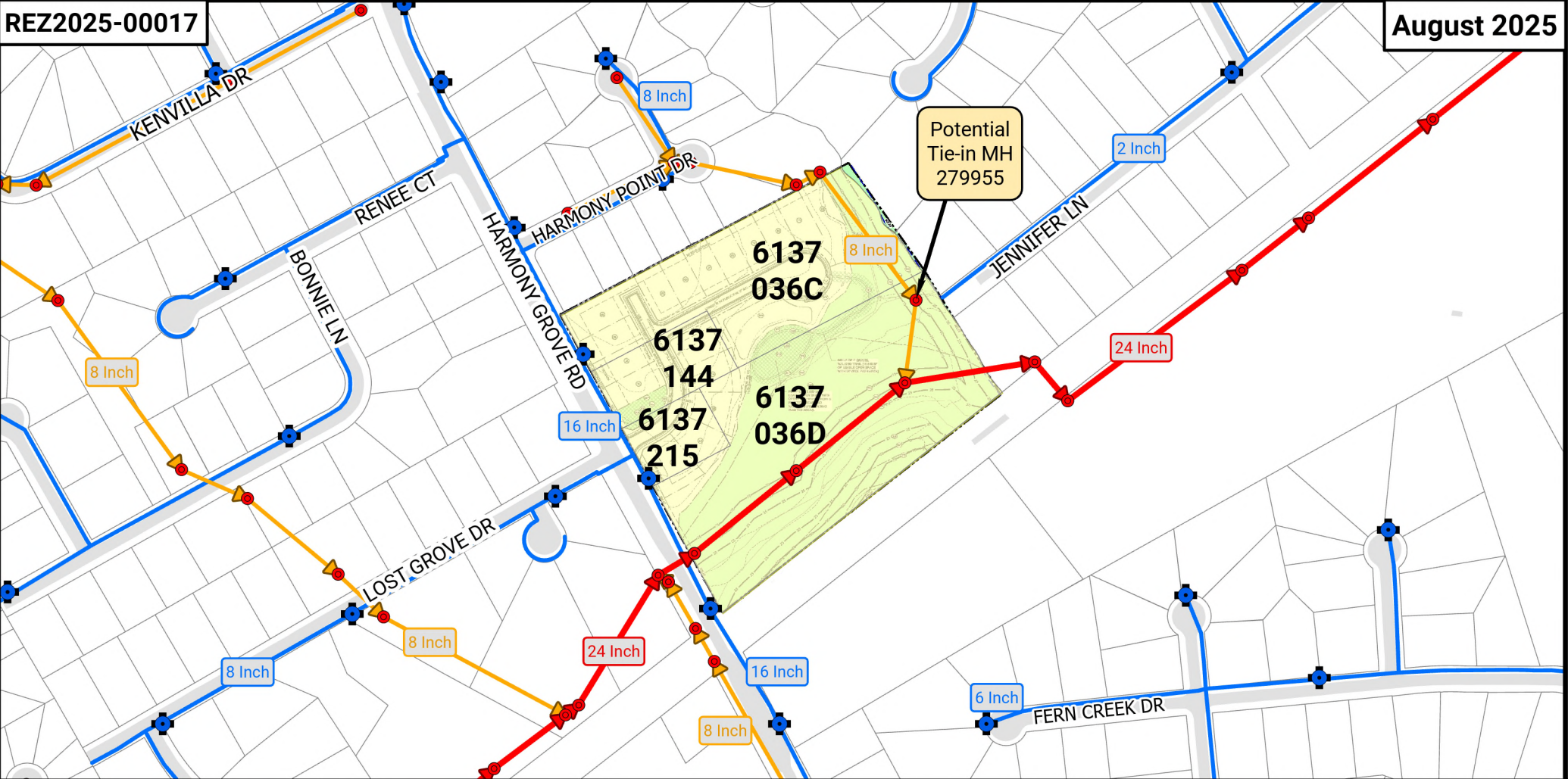
Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:		06.20.2025	
Department/Agency Name:		Transportation	
Reviewer Name:		Brent Hodges	
Reviewer Title:		Construction Manager 2	
Reviewer Email Address:		Brent.Hodges@gwinnettcounty.com	
Case Number:		REZ2025-00017	
Case Address:		110 Harmony Grove Road, Lilburn, 30047	
Comments:		<input checked="" type="checkbox"/> X	<input type="checkbox"/> YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/> NO
1	Harmony Grove Road is a major collector. The Average Daily Traffic (ADT) Volume is 8,067.		
2	The nearest Ride Gwinnett facility is located 0.75 mile to the north at Lawrenceville Highway and Harmony Grove Road (Stop 3081 / Route 30).		
3	A 5' concrete sidewalk shall be required along the entire site frontage of Harmony Grove Road, per UDO section 360-90.		
4			
5			
6			
7			
Recommended Zoning Conditions:		<input type="checkbox"/>	<input type="checkbox"/> YES
		<input checked="" type="checkbox"/> X	<input type="checkbox"/> NO
1			
2			
3			
4			
5			
6			
7			



Department of Planning and Development
TECHNICAL REVIEW COMMITTEE

TRC Meeting Date:				
Department/Agency Name:		DWR		
Reviewer Name:		Mike Pappas		
Reviewer Title:		GIS Planning Manager		
Reviewer Email Address:		Michael.pappas@gwinnettcounty.com		
Case Number:		REZ2025-00017		
Case Address:		100 & 110 Harmony Grove Rd		
Comments:		<input checked="" type="checkbox"/> X	<input type="checkbox"/> YES	<input type="checkbox"/> NO
1	Water: The proposed development may connect to an existing 16-inch water main on the eastern right-of-way of Harmony Grove Road. The existing 2-inch water main on Jennifer Lane shall not be tapped.			
2	Sewer: A Sewer Capacity Certification (C2025-108-05) was approved in May 2025 for 17 single family homes. The proposed development plans to connect to an existing 8-inch gravity sewer located on the subject site.			
3				
4				
5				
6				
7				
Recommended Zoning Conditions:		<input type="checkbox"/>	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> X NO
1				
2				
3				
4				
5				
6				
7				

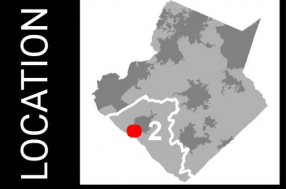
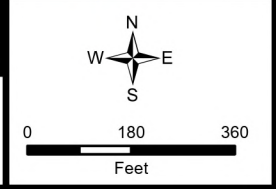


LEGEND

	Flow Management		Hydrant		Sewer Collector
	Pump Station		City		Sewer Interceptor
	Regional		Water Main		Sewer Force Main
	Manhole		Proposed Water Main		Proposed Sewer Collector

100 & 110 Harmony Grove Rd
RA-200 & R-75 to R-60

Water & Sewer
Utility Map



Water Comments: The proposed development may connect to an existing 16-inch water main on the eastern right-of-way of Harmony Grove Road. The existing 2-inch water main on Jennifer Lane shall not be tapped.

Sewer Comments: A Sewer Capacity Certification (C2025-108-05) was approved in May 2025 for 17 single family homes. The proposed development plans to connect to an existing 8-inch gravity sewer located on the subject site.

Water Availability: Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

Sewer Availability: A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

Water and Sewer Design and Construction Requirements: Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

Private Road Developments: Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

Residential Rezoning Impact on Local Schools
Prepared for Gwinnett County BOC, AUGUST, 2025

											Proposed Zoning
	School	2025-26			2026-27			2027-28			Approximate Student Projections from Proposed Developments
		Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	
	Grayson High School	3738	3,000	738	3,850	3,000	850	3,946	3,000	946	26
REZ2025-00016	Bay Creek Middle School	1646	1,150	496	1,704	1,150	554	1,755	1,150	605	18
	Trip Elementary School	1,708	1,200	508	1,776	1,200	576	1,838	1,200	638	33
	Parkview High School	3148	2,900	248	3,120	2,900	220	3,093	2,900	193	5
REZ2025-00017	Trickum Middle School	2203	2,275	-72	2,148	2,275	-127	2,104	2,275	-171	3
	Arcado Elementary School	917	750	167	908	750	158	899	750	149	6
	Dacula High School	2429	2,550	-121	2,477	2,550	-73	2,526	2,550	-24	75
REZ2025-00018	Dacula Middle School	1921	1,900	21	1,959	1,900	59	1,948	1,900	48	51
	Dacula Elementary School	1131	1,550	-419	1,117	1,550	-433	1,110	1,550	-440	95

Exhibit J: Maps

[attached]



RENEE CT

HARMONY
POINT CV

BLUEBERRY
TRL

HARMONY POINT DR

JENNIFER LN

BONNIE LN

LOST GROVE DR

HARMON CT

HARMONY GROVE RD

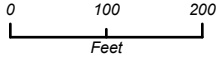
BLUE SPRINGS CT

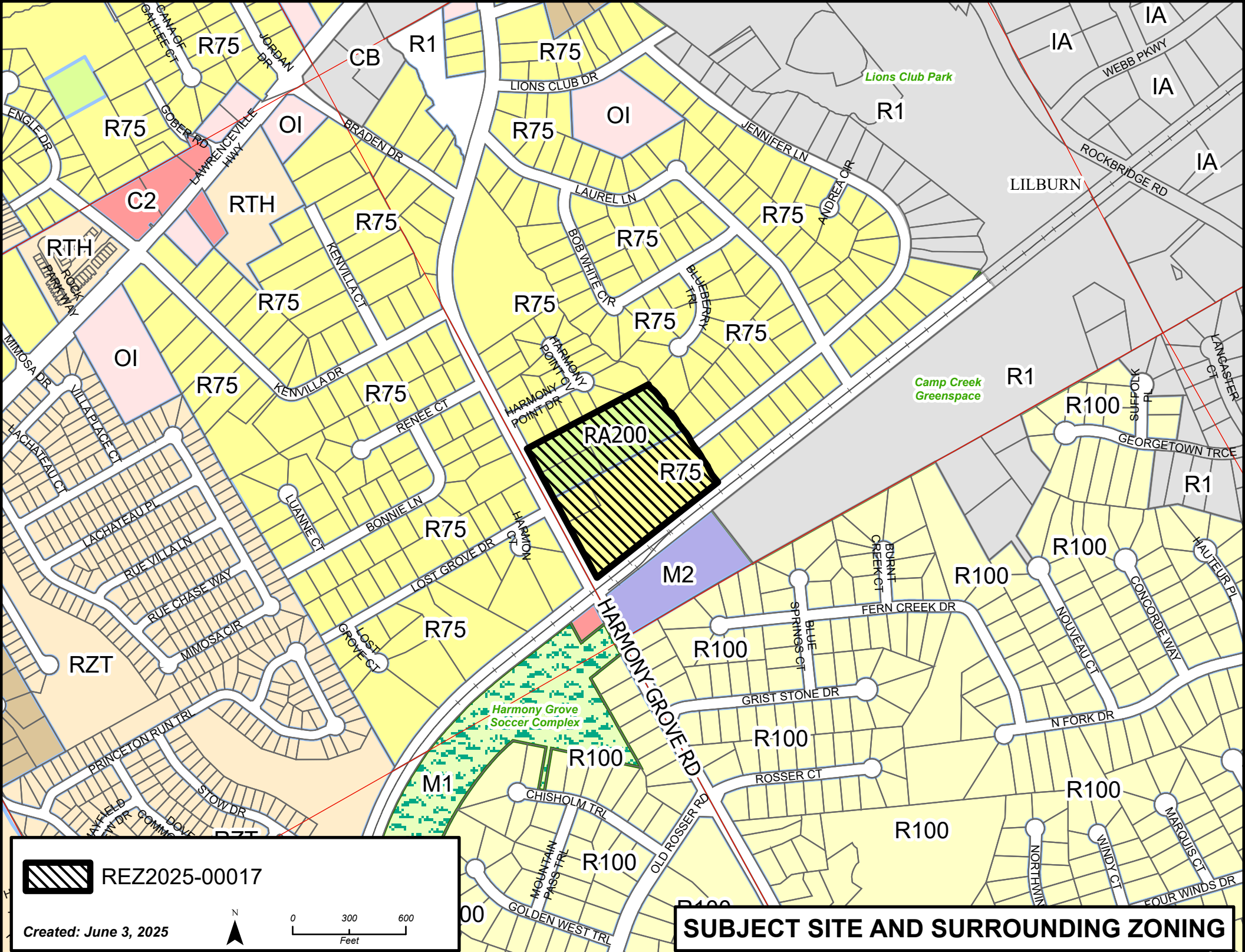
FERN CREEK DR




REZ2025-00017

Created: June 3, 2025





 REZ2025-00017

Created: June 3, 2025



0 300 600
Feet

SUBJECT SITE AND SURROUNDING ZONING

